

City Plan Commission Agenda
October 14, 2025
Reedsburg City Hall Council Chambers
6:00 PM

NOTICE IS HEREBY GIVEN THAT A MAJORITY OF THE MEMBERS OF THE COMMON COUNCIL MAY ATTEND THIS MEETING TO GATHER INFORMATION ABOUT A SUBJECT OVER WHICH THE COMMON COUNCIL HAS DECISION-MAKING AUTHORITY. IF A QUORUM OF THE COMMON COUNCIL ATTENDS THIS MEETING, NO ACTION WILL BE TAKEN BY THE COMMON COUNCIL AT THIS MEETING.

CALL TO ORDER

APPROVAL OF MINUTES

I. APPROVE MINUTES FOR THE MEETING HELD ON SEPTEMBER 9, 2025:

THE COMMITTEE WILL RECEIVE INFORMATION ON NON-AGENDA TOPICS BROUGHT BEFORE THE COMMITTEE BY MEMBERS OF THE PUBLIC. THE COMMITTEE WILL NOT DISCUSS THESE TOPICS, AND WILL NOT TAKE ACTION ON ANY OF THEM AT THIS MEETING

I. GENERAL BUSINESS:

- A. Consider site plan review for an approximate 5,000 sq ft addition to Madison College - Reedsburg under §690 Attachment 5. – 300 Alexander Ave; parcel #276-1908-00000 – Dimension IV Madison Design Group
- B. Consider tourist rooming house ordinance amendments
- C. Discuss noxious weed ordinance § 402-3(F)

II. ADJOURN:



The City of Reedsburg does not discriminate on the basis of disability in the admissions or access to, or treatment of or employment in, its programs or activities. Disability-related aids or services, including printed information in alternate formats, to enable persons with disabilities to participate in public meetings and programs are available by calling (608) 524-6404. To be able to meet the needs of a request for a different format contact the City Clerk-Treasurer at 134 S. Locust Street, Reedsburg, WI at least 48 hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

Reedsburg Plan Commission
September 9, 2025



Alder Missy Frenz called the meeting of the Reedsburg Plan Commission to order at 6:05 PM in Reedsburg City Hall.

Present: Mayor Dave Estes, Dan DeBaets, Beth

Absent: Alder Sonny Hyde, Steve Zibell, Derek Horkan

Staff: Brian Duvalle

Approval of Plan Commission Minutes: Motion by DeForge, seconded by DeBaets to approve the 8/12/25 meeting minutes as amended.

Motion approved

Consider site plan review for a new 2,500 sq ft credit union building under §690 Attachment 2. – 1825 E Main St; parcel # 276-2200-06000 – Kevin Kelroy of LaMacchia Group

The proposed credit union would replace a former Kwik Trip. Discussion was held on parking, utilities, trash enclosure, driveways, and parking lot circulation. The building and lighting heights are being worked on with SEH and the FAA.

Motion by DeForge, seconded by DeBaets to approve the site plan as presented and conditioned on airport/FAA review.

Motion approved

Discuss tourist rooming house ordinance

Discussion was held on having slightly different standards that would meet the state law versus current city ordinance, such as the rental timeframe of 7-29 days. Duvalle and Buckner will bring a new draft to the next meeting.

Motion by DeBaets, seconded by Estes to adjourn at 6:24 PM.

Motion approved

Respectfully submitted,
Brian Duvalle, Planner/Building Inspector

MADISON COLLEGE - REEDSBURG

DIMENSION IV PROJECT NO. 25061

MADISON COLLEGE PROJECT NO. #RFB26-005

Architecture: Dimension IV - Madison Design Group
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608-829-4444 www.dimensionivmadison.com

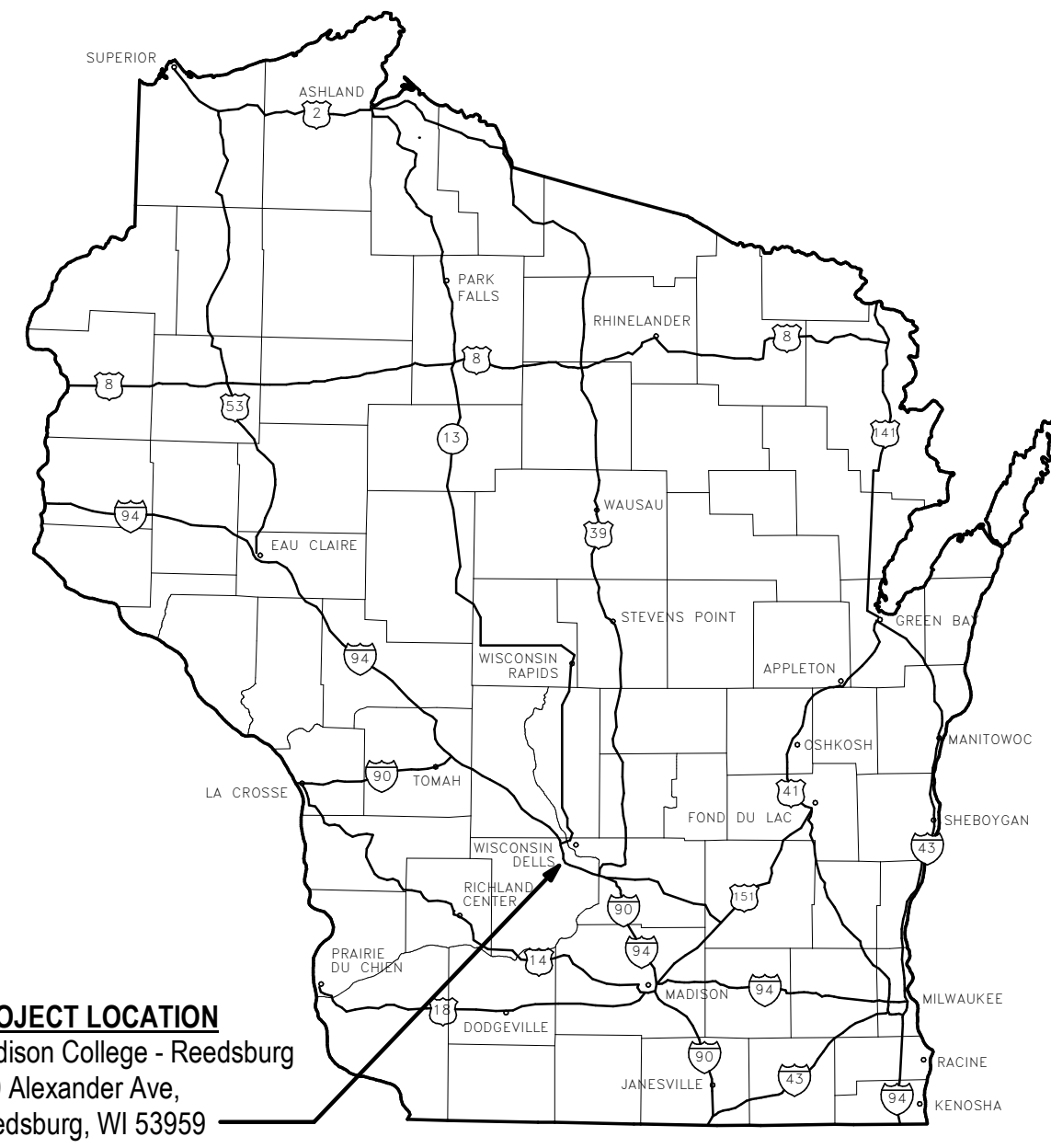
Mechanical Engineering: Pearson Engineers
402 Gammon Place, Suite 110, Madison, WI 53719
p: 608-274-3339 www.pearsonengineering.com

Civil Engineering: Wyser Engineering
300 East Front Street, Mount Horeb, WI 53572
p: 608-437-1980 www.wyserengineering.com

Plumbing and Electrical Engineering: Design Engineers
8215 Greenway Blvd, Suite 180, Middleton, WI 53562
p: 608.424.8815 www.designengineers.com

Structural Engineering: IMEG
2310 Crossroads Drive, Suite 3000, Madison, WI 53718
p: 608.332.8116 www.imegcorp.com

PROJECT INFORMATION	
SITE ADDRESS:	300 ALEXANDER AVE REEDSBURG, WI 53959
PARCEL IDENTIFICATION NUMBER	276-1908-0000
PROPERTY DESCRIPTION:	S 9-12-4 PRT NE1/4 SW1/4 COM NECOR - W330' - S660' TO POB - S657.6' - W993.6' - N657.6' - E991.3' TO POB EXC THAT PRT COM S1/4 COR SD SEC - N 1315.92' - N89°33'55"W 329.92' TO POB - N89°33'55"W 33' - N00°11'33"E 656.26' - S89°34'05"E 33' - S00°11'33"W 656
SITE ACREAGE:	12.48 ACRES
USE OF PROPERTY:	INSTITUTIONAL/EDUCATION
ZONING:	GOVERNMENT (G)
SETBACKS:	MAINTAIN SIDE AND REAR YARD SETBACKS AS ADJACENT RESIDENTIAL ZONING REAR YARD: 25 FEET SIDE YARD: 8 FEET
PARKING:	REQUIRED: 38 STAFF X 0.5 = 19 PARKING STALLS 650 STUDENTS X 0.1 = 65 PARKING STALLS 84 PARKING STALLS REQUIRED.
PROVIDED:	182 STALLS, INCLUDING 8 ADA STALLS (EXISTING) (NO PARKING OR DRIVEWAY ALTERATIONS PROPOSED)
APPLICABLE CODE:	2021 IBC 2021 IEBC
BUILDING FOOTPRINT:	EXISTING: = 29,366 SQFT ADDITION: = 4,911 SQFT TOTAL: = 34,277 SQFT
BUILDING HEIGHT:	1 STORY, PLUS MEZZANINE 35'-0" ABOVE GRADE PLANE, MAX ALLOWED 27'-0" TO EXISTING MEZZANINE PARAPET
USES AND OCCUPANCY:	B - BUSINESS
FIRE SUPPRESSION:	UNSPRINKLERED



PROJECT LOCATION
Madison College - Reedsburg
300 Alexander Ave,
Reedsburg, WI 53959

VICINITY MAP

STATE MAP

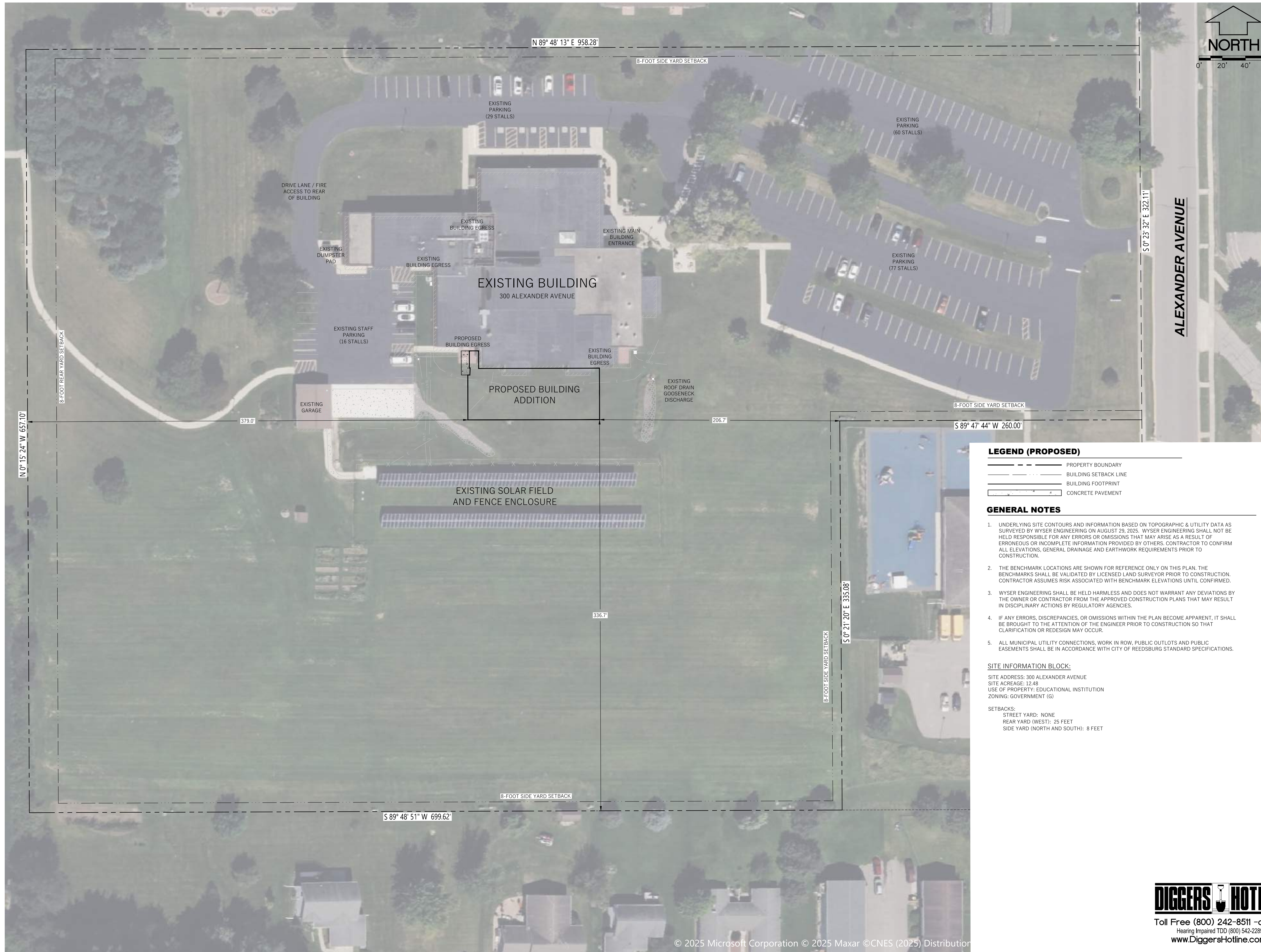
LIST OF DRAWINGS

SHEET NO.	SHEET NAME
GENERAL	
G001	COVER SHEET
CIVIL	
C100	OVERALL SITE PLAN
C101	SITE PLAN
C200	GRADING PLAN
ARCHITECTURAL	
A100	COMPOSITE FLOOR PLAN
A200	EXTERIOR ELEVATIONS
A700	EXTERIOR RENDERING

SITE PLAN SUBMITTAL

09/29/2025

G001



MADISON COLLEGE - REEDSBURG CAMPUS EMS - NURSING REMODEL

Issue date: 09/29/2025
Madison College Project No.

Dimension IV Project No. **#25063**

Revision: _____ Date: _____



6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719
p608.829.4444 f608.829.4445
dimensionivmadison.com



SHEET NUMBER

C100

OVERALL SITE PLAN

LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- - - BUILDING SETBACK LINE
- ▭ BUILDING FOOTPRINT
- ▭ CONCRETE PAVEMENT

GENERAL NOTES

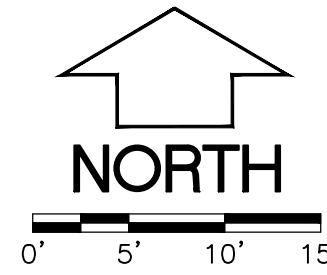
1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON AUGUST 29, 2025. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
4. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
5. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF REEDSBURG STANDARD SPECIFICATIONS.

SITE INFORMATION BLOCK:

SITE ADDRESS: 300 ALEXANDER AVENUE
SITE ACREAGE: 12.48
USE OF PROPERTY: EDUCATIONAL INSTITUTION
ZONING: GOVERNMENT (G)

SETBACKS:
STREET YARD: NONE
REAR YARD (WEST): 25 FEET
SIDE YARD (NORTH AND SOUTH): 8 FEET





MADISON COLLEGE - REEDSBURG CAMPUS EMS - NURSING REMODEL

Issue date: 09/29/2025

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Revision: Date:



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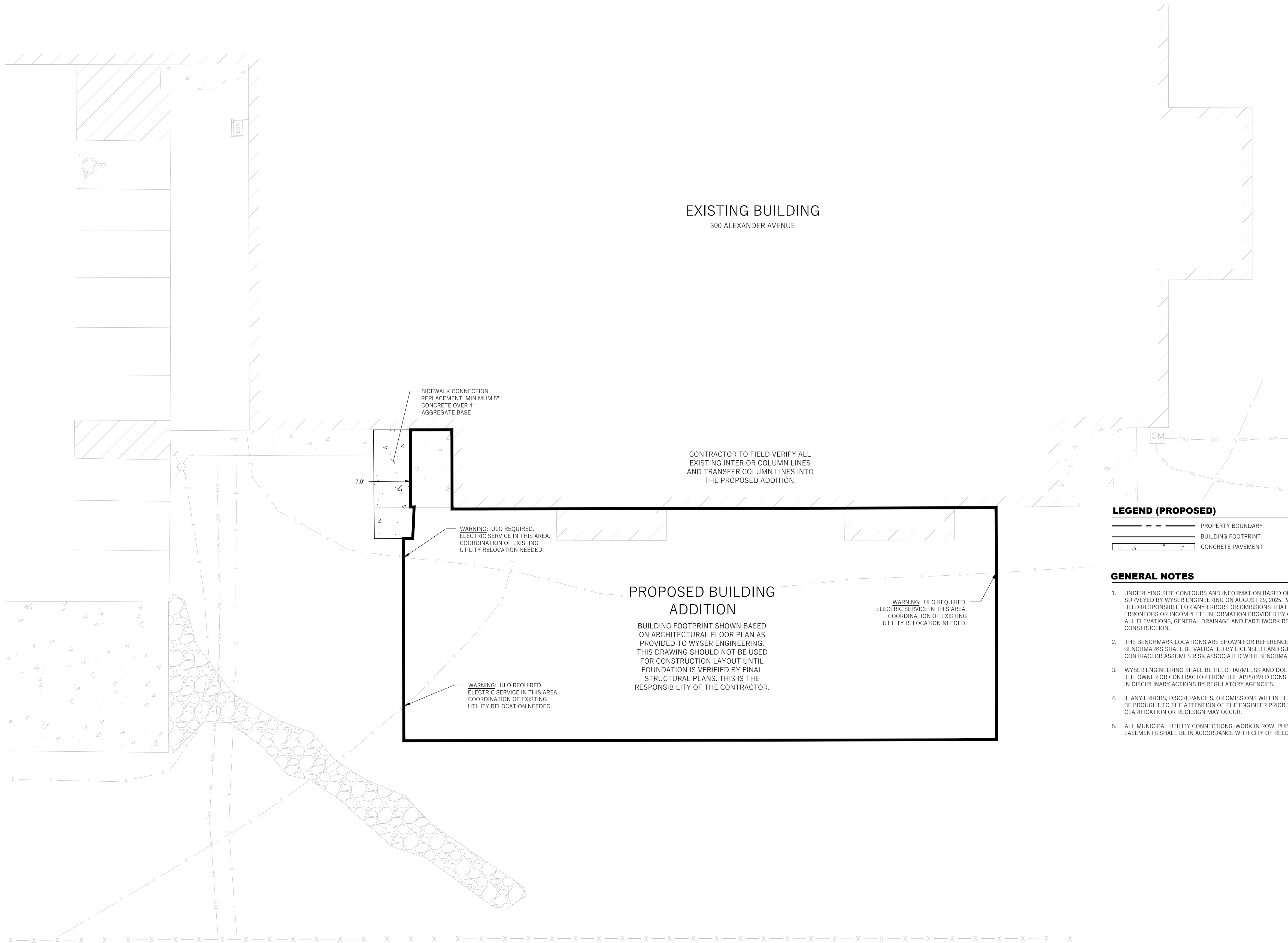
WYSER ENGINEERING

SHEET NUMBER

C101

SITE PLAN

DIGGERS HOTLINE
Toll Free (800) 242-8511 -or- 811
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com



EXISTING BUILDING
300 ALEXANDER AVENUE

CONTRACTOR TO FIELD VERIFY ALL EXISTING INTERIOR COLUMN LINES AND TRANSFER COLUMN LINES INTO THE PROPOSED ADDITION.

SIDEWALK CONNECTION REPLACEMENT. MINIMUM 5" CONCRETE OVER 4" AGGREGATE BASE

7.0'

WARNING: ULO REQUIRED. ELECTRIC SERVICE IN THIS AREA. COORDINATION OF EXISTING UTILITY RELOCATION NEEDED.

PROPOSED BUILDING ADDITION

BUILDING FOOTPRINT SHOWN BASED ON ARCHITECTURAL FLOOR PLAN AS PROVIDED TO WYSER ENGINEERING. THIS DRAWING SHOULD NOT BE USED FOR CONSTRUCTION LAYOUT UNTIL FOUNDATION IS VERIFIED BY FINAL STRUCTURAL PLANS. THIS IS THE RESPONSIBILITY OF THE CONTRACTOR.

WARNING: ULO REQUIRED. ELECTRIC SERVICE IN THIS AREA. COORDINATION OF EXISTING UTILITY RELOCATION NEEDED.

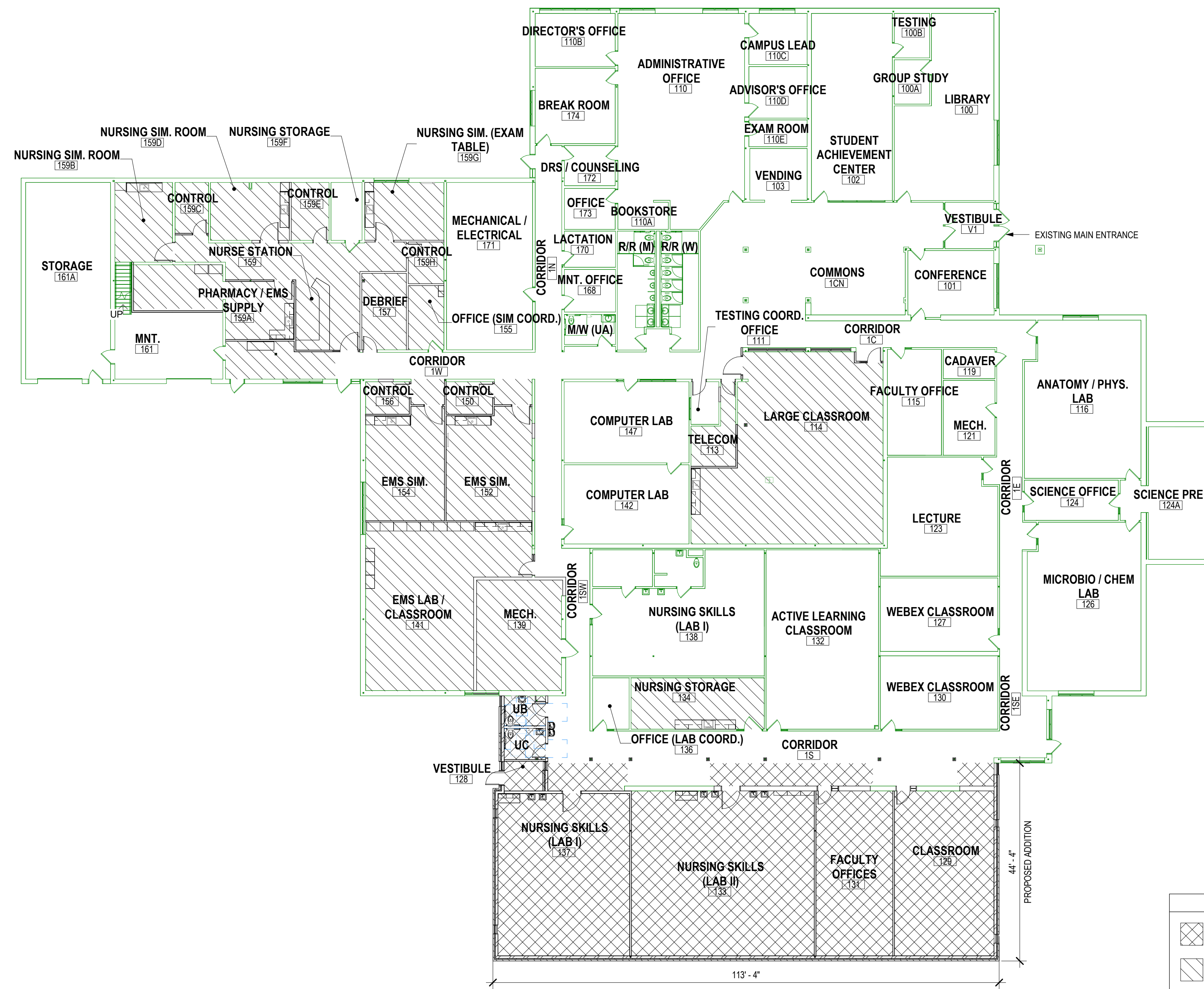
WARNING: ULO REQUIRED. ELECTRIC SERVICE IN THIS AREA. COORDINATION OF EXISTING UTILITY RELOCATION NEEDED.

LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- BUILDING FOOTPRINT
- CONCRETE PAVEMENT

GENERAL NOTES

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1 FIRST FLOOR PLAN
1/16" = 1'-0"

SHEET NUMBER

A100

COMPOSITE
FLOOR PLAN

DIMENSIONIV
Madison Design Group
architecture · interior design · planning
6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719
p608.829.4444 f608.829.4445
dimensionivmadison.com



IMAGE 1
EXISTING BUILDING - WEST FACADE

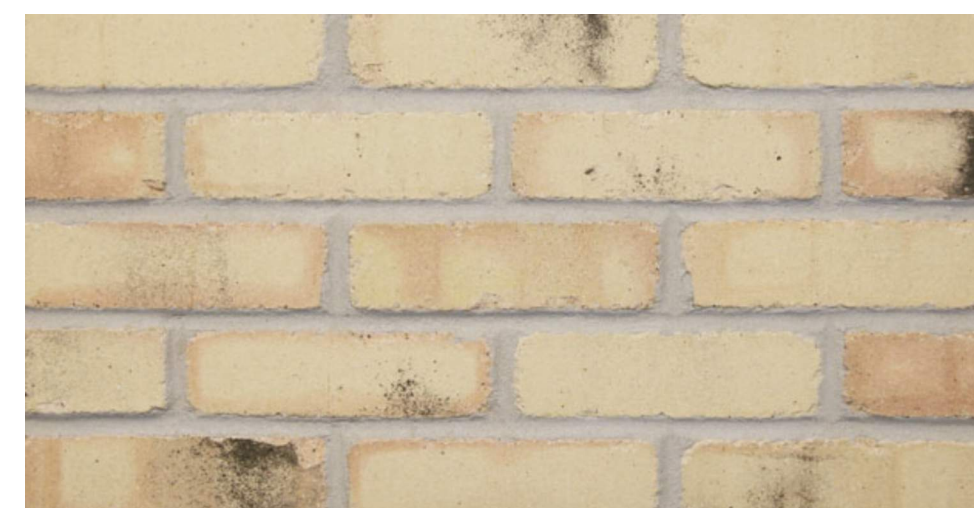


IMAGE 2
EXISTING BUILDING - SOUTH FACADE

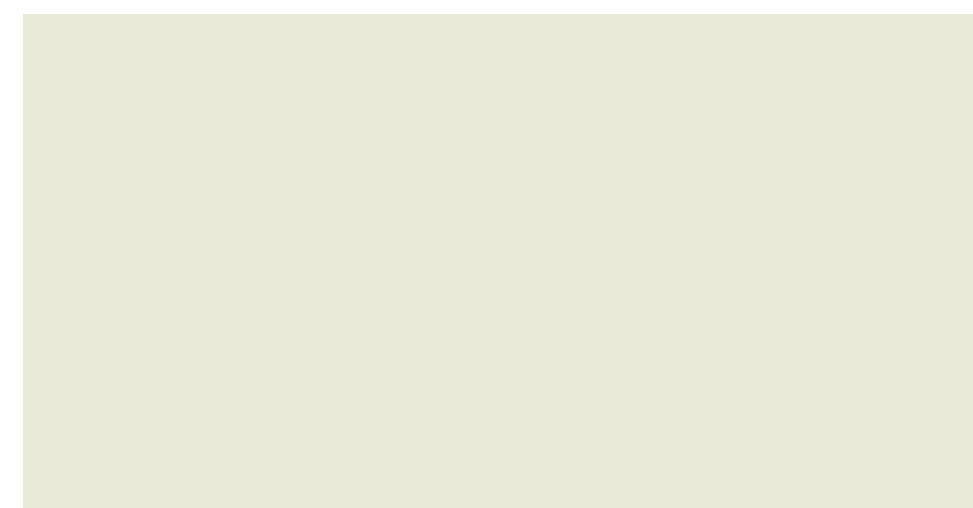


IMAGE 3
EXISTING BUILDING - EAST FACADE

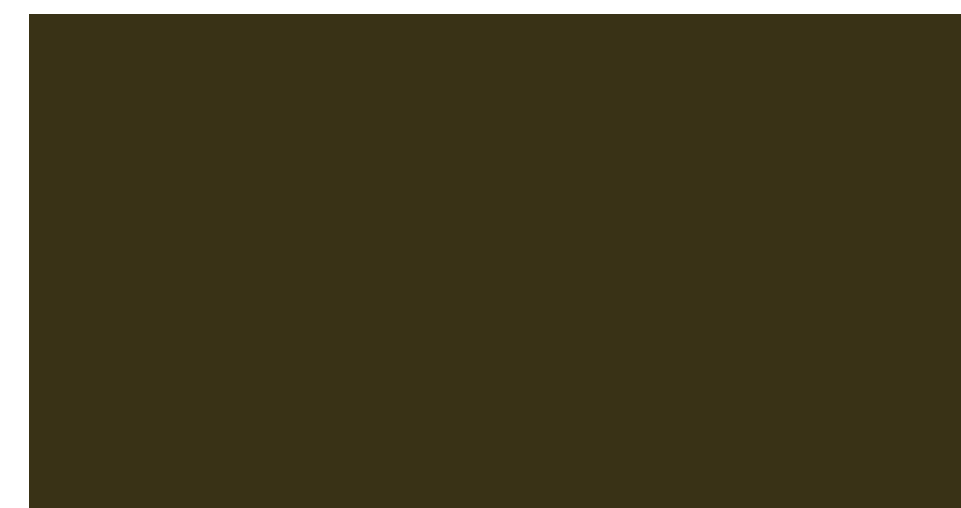
EXISTING BUILDING



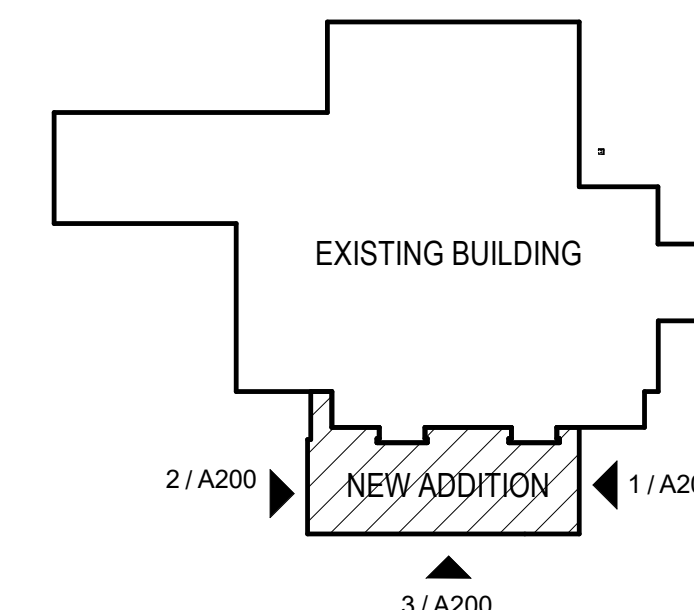
BR-1
SUMMIT BRICK - CHICAGO SMOOTH FACE



MTL-1
PAC-CLAD MODULAR ALUMINUM METAL WALL
PANEL SYSTEM - ALMOND

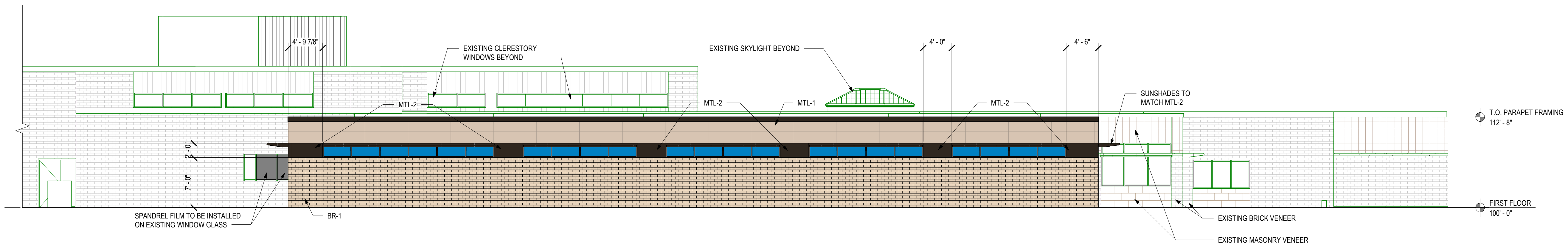


MTL-2
PAC-CLAD MODULAR ALUMINUM METAL WALL
PANEL SYSTEM - DARK BRONZE

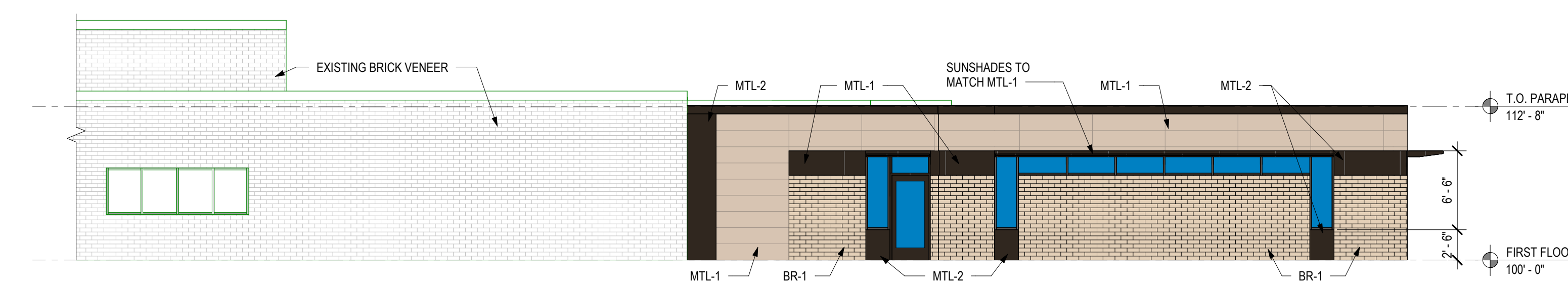


KEY PLAN

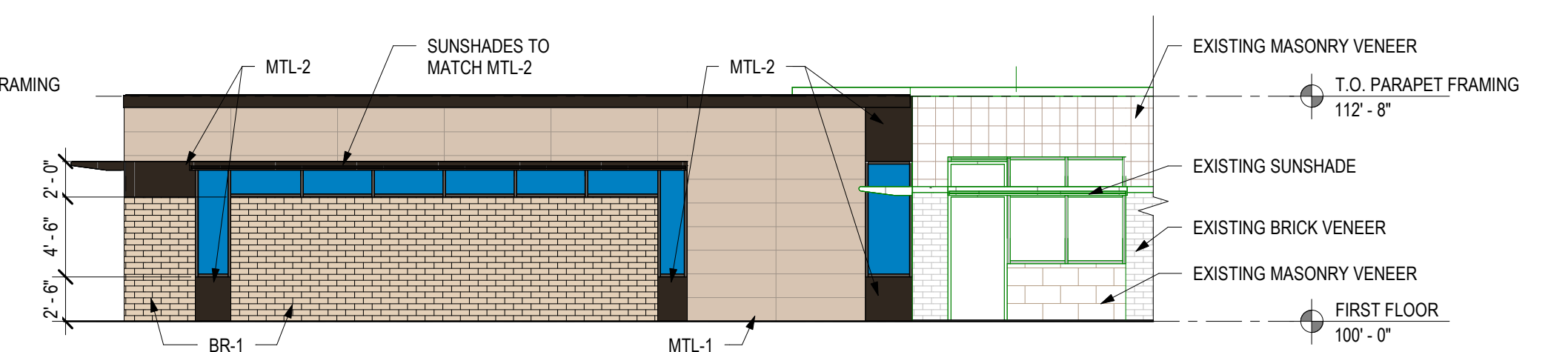
EXTERIOR MATERIALS



3 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

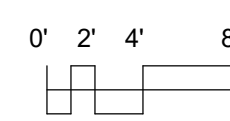


1 EAST ELEVATION
1/8" = 1'-0"

SHEET NUMBER

A200

**EXTERIOR
ELEVATIONS**



MADISON COLLEGE -
REEDSBURG CAMPUS EMS -
NURSING REMODEL

Issue date: 09/29/2025

Madison College Project No.
#RFB26-005

Dimension IV Project No.
#25063

Revision: _____ Date: _____

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RENDERING VIEW FROM THE SOUTHEAST

SHEET NUMBER

A700

EXTERIOR
RENDERING

Plan Commission

DATE: 10/14/25

APPLICANT: Madison College - Reedsburg

LOCATION: 300 Alexander Ave; parcel #1908

ZONING: Government

DESCRIPTION: Consider site plan for 5,000 SF addition.

General Findings

SURROUNDING LAND USES:

- North – Residential
- West – Sauk County Health Care Center
- South – Residential
- East – Westside School

ZONING:

- North- R-3 Residential
- West- R-2 Residential
- South- R-2 Residential
- East- Government

TOPOGRAPHY: Flat slopes

STREET R.O.W./TRAFFIC/ACCESS: Alexander Ave; 66' ROW

ENVIRONMENTAL HAZARDS/CONDITIONS: None known

COMPREHENSIVE PLAN DESIGNATION: Government & Institutional

COMMENTS:

ADMINISTRATOR:

AMBULANCE:

FIRE:

POLICE:

PUBLIC WORKS:

UTILITIES:

Site Plan Review Findings of Fact for Section 690-33(A-G)

Topography and vegetation. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property, the minimization of tree and soil removal and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.

1. The Board finds that the property currently contains Madison College – Reedsburg.
2. The Board finds that section § 690 Schedule 5 allows ‘Schools’ as a permitted use.
3. The Board finds that an approximate 5000 SF addition is proposed.
4. The Board finds that the addition would contain labs, offices and a classroom.
5. The Board finds that the parcel is zoned G-Government.
6. The Board finds that the property is 12.48 acres.

Stormwater. Special attention shall be given to proper site drainage so that removal of stormwaters will not adversely affect neighboring properties.

1. The Board finds that an approximate 5000 SF addition is proposed.
2. The Board finds that new stormwater drains would be installed to existing stormwater facilities.

Emergency Services. All buildings shall be so arranged as to permit emergency vehicle access by some practical means.

1. The Board finds that there is an existing driveway on Alexander Ave.
2. The Board finds that no new access is required.

Exterior lighting shall be arranged as follows:

- It is deflected away from adjacent properties.
 - It does not impede the vision of traffic along adjacent streets.
 - It does not unnecessarily illuminate night skies.
1. The Board finds that new exterior lighting would be located at the exit doors.

Traffic generation, circulation and parking areas. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area.

1. The Board finds that there is an existing driveway on Alexander Ave.
2. The Board finds that there is an existing parking lot with about 180 spaces.

Architectural plans; existing and proposed structures. The proposed conditional land use shall be designed, constructed, operated, and maintained so to complement the surrounding area. Physical buffers shall be added as needed for neighboring conformance.

1. The Board finds that building elevations are attached.

Consistency with other plans and statutes. Site plans shall conform to all applicable requirements of City, state and federal statutes and the City of Reedsburg Comprehensive Plan, and approval may be conditioned on the applicant receiving necessary City, state and federal permits.

1. The Board finds that future use is Government & Institutional.

STAFF COMMENTS: The addition would go onto a vacant green space, with existing parking and stormwater (less than an acre disturbance) being sufficient and not requiring any new facilities for either. Actual construction will require DSPS plan review.

Exhibit List

- A. City of Reedsburg Comprehensive Plan
- B. Zoning Ordinance, City of Reedsburg, Wisconsin
- C. September 9, 2025, Plan Commission Agenda
- D. Land Use Change Application
- E. Staff Report

ORDINANCE NO. 19XX-25
(Amending Chapter 556 – Tourist Rooming Houses)

The Common Council of the City of Reedsburg, Sauk County, Wisconsin, does hereby ordain as follows:

SECTION 1: PURPOSE.

The main purpose of this ordinance is to amend Chapter 556 to align with state statutes and recent court decisions.

SECTION II: PROVISIONS AMENDED.

City of Reedsburg Code Chapter 556 is hereby amended by this ordinance:

§ 556-1. Purpose.

The purpose of this chapter is to establish local license, administration and enforcement standards for tourist rooming houses.

§ 556-2. Definitions; license and registration; room tax. [Amended 8-26-2019 by Ord. No. 1888-19; 7-13-2020 by Ord. No. 1905-20]

A "tourist rooming house" (TRH) is any lodging place or tourist cabin and cottage, other than hotels and motels, in which sleeping accommodations are offered for pay to tourists or transients. It does not include private boarding or rooming houses not accommodating tourists or transients, bed-and-breakfast establishments or units operated by a hotel, motel or resort. An "owner" means the holder of record of an estate in possession in fee simple, or for life, in land or real property, or a vendee of record under a land contract for the sale of an estate in possession in fee simple or for life but does not include the vendor under a land contract. A tenant in common or joint tenant is an owner to the extent of his or her interest. **“Residential dwelling” is any building, structure, or part of the building or structure, that is used or intended to be used as a home, residence, or sleeping place by one person or by two or more persons maintaining a common household, to the exclusion of all others**

- A. The TRH shall have a current license from the Department of Agriculture, Trade and Consumer Protection or the successor state licensing agency.
- B. The owner shall register with the Clerk-Treasurer's office and pay room tax as required under Chapter 72, Finance and Taxation, of the Code of the City of Reedsburg. **The Clerk-Treasurer’s office shall create an application form that requires reasonable and necessary information related to the requirements under this Chapter, City of Reedsburg Ordinances, County Ordinances, State, and Federal laws and regulations.**
- C. **Any dwelling may be used as a TRH for 7-29 consecutive days as well as 180 consecutive days per 365-day period. The 180-day period shall be specified at the time of application with the city. A registry shall be submitted annually to the building inspector for verification.**
- D. **An owner may operate, outside of the 7-29 and 180 consecutive standards, one non-owner-occupied TRH, otherwise only the owner-occupant of the property may operate a TRH.**
- E. An annual TRH license is not transferable to a new owner.

~~F. A non-owner occupied TRH may not be rented to non-associated parties during the same dates.~~

G. The license shall remain in effect, subject to annual reviews by the Building Inspector, to verify in writing that a lodging license has been obtained and is current and the conditions attached to the license and all requirements of this chapter are adhered to. Reapplication for renewal shall be required with a change in ownership, alterations to the operational rules, noncompliance with the standards of this chapter, or documented violations. If there are two nuisance violations during an annual licensing period, the license may be revoked following a hearing by the Plan Commission.

§ 556-3. Standards for tourist rooming houses.

A. The TRH shall comply with Ch. 97, Wis. Stats., and Ch. ATCP 72, Wis. Adm. Code, or the successor statute and/or administrative code that is in effect at the time.

B. The maximum number of tenants allowed to reside in the TRH for overnight accommodations shall not exceed two persons per bedroom, plus two persons.

C. Each TRH shall have a registry available on site for inspection, indicating the identity of all guests and dates of stay. The registry shall include all information from the current registry year and the year immediately prior. [The owner of any TRH shall provide a copy of an up to date registry on or up to five \(5\) days before January 15, April 15, July 15, and October 15 of each year.](#)

D. Contact information shall be posted on an exterior wall near the main and/or transient entrance and an interior common area of the TRH with a minimum display area of five inches by seven inches. The following must be provided:

(1) Address of property.

(2) Emergency contact information (police, fire, ambulance).

(3) Owner's and local contact person's telephone numbers.

(4) Maximum number of occupants allowed.

E. No TRH, [outside of the 7-29 and 180 consecutive standards](#), shall be located within 250 feet from any other TRH, bed-and-breakfast, or boardinghouse unless approved by the Plan Commission after notifying parties of interest. **[Amended 7-13-2020 by Ord. No. 1905-20]**

F. At least one on-site, off-street, [or paved parking space shall be available. The maximum allowable cars per TRH visit shall be one car per two guests.](#)

G. No tourist shall use a gas grill, charcoal grill, or other similar device on or under any combustible surface or use a recreational camping vehicle in conjunction with the TRH.

H. Garbage and refuse shall be stored inside a building or concealed from public and neighbor view. It shall be placed in proper containers and comply with Chapter 518, Solid Waste, of the Code of the City of Reedsburg.

I. Performance standards shall comply with Chapter 690, Zoning, of the Code of the City of Reedsburg. The appearance of the dwelling shall not be altered in a manner that would cause the premises to differ from its residential character either by the use of colors, materials,

construction, lighting, signs, or the emission of sounds, odors, dust, vibrations, or other effects that can carry beyond the premises.

SECTION III: VALIDITY.

Should any section, clause or provision of the ordinance be declared by the courts to be invalid, the same shall not affect the validity of the ordinance as a whole or any part thereof, other than the part so declared to be invalid.

SECTION IV: CONFLICTING PROVISIONS REPEALED.

All ordinances in conflict with any provisions of this ordinance are hereby repealed.

SECTION V: EFFECTIVE DATE.

This ordinance shall be in force from and after its introduction and publication as provided by statute.

SECTION VI: PART OF CODE:

This Ordinance becomes part of the City of Reedsburg Code, Chapter 556.

Dated this __ day of _____.

David G. Estes, Mayor

Jacob Crosetto, Clerk/Treasurer

1st Reading at Council:
Public Hearing Noticed:
2nd Reading at Council/Public Hearing:
Published, Enactment Date: