

City Plan Commission Agenda
August 13, 2024
Reedsburg City Hall Council Chambers
6:00 PM

DUE TO THE RESTRICTIONS CAUSED BY THE COVID-19 PANDEMIC, SOME VOTING MEMBERS MAY BE PRESENT VIA TELECONFERENCE OR VIDEO CONFERENCE, AS PROVIDED BY THE RECOMMENDATIONS OF THE WISCONSIN DEPARTMENT OF JUSTICE. [HTTPS://WWW.DOJ.STATE.WI.US/NEWS-RELEASES/OFFICE-OPEN-GOVERNMENT-ADVISORY-CORONAVIRUS-DISEASE-2019-COVID-19-AND-OPEN-MEETINGS](https://www.doj.state.wi.us/news-releases/office-open-government-advisory-coronavirus-disease-2019-covid-19-and-open-meetings)

NOTICE IS HEREBY GIVEN THAT A MAJORITY OF THE MEMBERS OF THE COMMON COUNCIL MAY ATTEND THIS MEETING TO GATHER INFORMATION ABOUT A SUBJECT OVER WHICH THE COMMON COUNCIL HAS DECISION-MAKING AUTHORITY. IF A QUORUM OF THE COMMON COUNCIL ATTENDS THIS MEETING, NO ACTION WILL BE TAKEN BY THE COMMON COUNCIL AT THIS MEETING.

CALL TO ORDER

APPROVAL OF MINUTES

I. APPROVE MINUTES FOR THE MEETING HELD ON JULY 9, 2024:

THE COMMITTEE WILL RECEIVE INFORMATION ON NON-AGENDA TOPICS BROUGHT BEFORE THE COMMITTEE BY MEMBERS OF THE PUBLIC. THE COMMITTEE WILL NOT DISCUSS THESE TOPICS, AND WILL NOT TAKE ACTION ON ANY OF THEM AT THIS MEETING

I. GENERAL BUSINESS:

- A. Consider Conditional Use Permit a new business of frozen pizza assembly and retail – 420 Plum St; parcel #276-1640-20000 – Old School Pizza, Lisa Nelson
- B. Consider Site Plan Review for a new Pizza Ranch building with two additional commercial spaces; 2010 Viking Dr; Parcel #s 276-2725-00000 & 276-2726-00000 – KMD Development, LLC
- C. Discuss possible new alleys on Rusalka Ct as part of My Home Estates
- D. Consider Ordinance 1973-24 adding conditional uses to the B-3 zone

II. ADJOURN:



The City of Reedsburg does not discriminate on the basis of disability in the admissions or access to, or treatment of or employment in, its programs or activities. Disability-related aids or services, including printed information in alternate formats, to enable persons with disabilities to participate in public meetings and programs are available by calling (608) 524-6404. To be able to meet the needs of a request for a different format contact the City Clerk-Treasurer at 134 S. Locust Street, Reedsburg, WI at least 48 hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

Reedsburg Plan Commission

July 9, 2024



Mayor Dave Estes called the meeting of the Reedsburg Plan Commission to order at 6:00 PM in Reedsburg City Hall.

Present: Alder Mike Gargano, Steve Zibell, Beth DeForge, Derek Horkan

Absent: Alder Sonny Hyde, Dan DeBaets

Staff: Brian Duvalle

Approval of Plan Commission Minutes: Motion by DeForge, seconded by Gargano to approve the 6/24/24 meeting minutes.

Motion approved

Consider variance as part of Certified Survey Map review to allow a cul-de-sac street in new business park per § 674-7(D)(5). Skinner Dr; parcel #276-2244-58100 – City of Reedsburg

This cul-de-sac was not part of the original survey. Neighbor Dave Heidtke criticized the amount of water and sand run-off he gets on his property. Zibell stated it will be removed and corrected once the utilities are addressed and final grading is done.

Motion by Gargano, seconded by Horkan to approve the variance as presented.

Motion approved

Consider Certified Survey Map for a new cul-de-sac street in new business park. – Skinner Dr; parcel #276-2244-58100 – City of Reedsburg

Motion by Zibell, seconded by Gargano to recommend approval as presented.

Motion approved

Consider Certified Survey Map review to create Lot 1 from parent parcel. – Wengel Dr/Zinga Dr; parcel #276-2245-11000– City of Reedsburg

Motion by DeForge, seconded by Gargano to recommend approval as presented.

Motion approved

Consider Site Plan Review for phase 1 of Storage Building Condominiums – Wengel Dr/Zinga Dr; Parcel # 276-2245-11000 – Devin Coyle

Discussion was held on the building façades as required in the I-4 zone. Only the two street-facing buildings require it, but Coyle is concerned about the uniformity of their look with the other buildings. Discussion was held on other options listed in the ordinance such as glass and wood. Adding wood trim around the windows would satisfy the façade requirement. Shrubs would also be installed along the street-side.

Motion by Gargano, seconded by DeForge to approve the site plan as presented and pending window trim review by staff.

Motion approved

Motion by Gargano, seconded by DeForge to adjourn at 6:27 PM.

Motion approved

Respectfully submitted,

Brian Duvalle
Planner/Building Inspector

City of Reedsburg Land Use Application

134 S. Locust St.
PO Box 490
Reedsburg, WI 53959

Ph: 608-524-6404
Fax: 608-524-8458
bduvalle@ci.reedsburg.wi.us

APPLICANT: Old School Pizza - Lisa Nelson
ADDRESS: 420 Plum St **CITY:** Reedsburg **STATE:** WI
ZIP: 53959 **PHONE:** 608-393-8777 **PARCEL #:** 1640-2
E-MAIL: lnelson1965@gmail.com
PROPERTY OWNER: (if different from Applicant) Dan Debaets

LOCATION: (if different from address above) _____

LAND USE REQUEST

(Please describe one or more as applicable – attach extra pages/maps if necessary)

- ☐ **Certified Survey Map (CSM):** _____
- ☒ **Conditional Use Permit:** Frozen Pizza Assembly & Retail Sale Formerly Ruffe Trucking
For **CONDITIONAL USE PERMIT** requests, also answer "A, B & C" on back page.
- ☐ **Preliminary Plat:** _____ **Final Plat:** _____ **Name of Plat:** _____
- ☐ **Rezoning - From:** _____ **To:** _____ **TID #** _____
- ☐ **Site Plan Review:** (See "B & C" on back page) _____
- ☐ **Zoning Appeal / Interpretation:** _____
- ☐ **Zoning Variance:** _____
For **VARIANCE** requests, also answer "D" on back page.
- ☐ **Other or Annexation:** _____

AFFIDAVIT

I certify that the information and plans submitted are true and accurate to the best of my knowledge. I also give permission to City zoning officials to enter my property for inspection purposes and for a temporary Zoning sign to be placed in my yard prior to the meeting.

Lisa Nelson 1-7-16-24
Applicant Signature / Date

Dan Debaets 1-7-16-24
Owner Signature / Date

Account #10-461500-00

**The applicant or representative
MUST ATTEND the meeting(s).**

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Cond Use Permit	\$200	☒
Cond Use-Agriculture	\$400	_____
Variance	\$125	_____
Rezoning	\$200	_____
C.S.M.	\$175	_____
Subdivision Plat	\$610	_____
- w/ Stormwater Plan	\$100	_____
Site Plan Review	\$175	_____
Annexation	\$200	_____
Plan Amend	\$200	_____
Date Paid	<u>7-16-24</u>	_____
Receipt #	<u>1.048015</u>	_____

Plan Commission

DATE OF MEETING: August 13, 2024

APPLICANT: Lisa Nelson

LOCATION: 420 Plum St; Parcel #276-1640-20000

PROPOSED LAND USE CHANGE: Conditional Use Permit (CUP)

DESCRIPTION OF PROPERTY/IMPROVEMENTS: Consider CUP for a frozen pizza assembly and retail sales per § 690 Attachment 2.

General Findings

SURROUNDING LAND USES:

- North – Residential
- West – Residential
- South – Residential
- East – Residential; Park

ZONING:

- North – R-1 Residential
- West – R-1 Residential
- South – R-1 Residential
- East – R-1 Residential; Government

TOPOGRAPHY: Flat slopes

STREET R.O.W./TRAFFIC/ACCESS: Plum St & S. Locust St; 66' ROW

ENVIRONMENTAL HAZARDS/CONDITIONS: None known

COMPREHENSIVE PLAN DESIGNATION: Government & Institutional

COMMENTS:

POLICE:

FIRE:

PUBLIC WORKS:

UTILITIES:

SCHOOLS:

PARKS:

ADMINISTRATOR:

Site Plan Review Findings of Fact for Section 690-33(A-G)

Topography and vegetation. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property, the minimization of tree and soil removal and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.

1. The Board finds that the property is the former South School with current residential apartments.
2. The Board finds that a frozen pizza assembly and retail is proposed.
3. The Board finds that the parcel is zoned B-3.
4. The Board finds that section §690 Attachment 2 allows food stores as a conditional use.
5. The Board finds that the overall property is 1.89 acres.

Stormwater. Special attention shall be given to proper site drainage so that removal of stormwaters will not adversely affect neighboring properties.

1. The Board finds that stormwater would not be affected.

Emergency Services. All buildings shall be so arranged as to permit emergency vehicle access by some practical means.

1. The Board finds that the property has existing driveways on S Locust and S Pine Streets.

Exterior lighting shall be arranged as follows:

- It is deflected away from adjacent properties.
 - It does not impede the vision of traffic along adjacent streets.
 - It does not unnecessarily illuminate night skies.
1. The Board finds that exterior lighting would be located at exterior exits.

Traffic generation, circulation and parking areas. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area.

1. The Board finds that the property has existing driveways on S Locust and S Pine Streets.
2. The Board finds that there is a parking area on the east side of the property.
3. The Board finds that 1-4 staff members are proposed.

Architectural plans; existing and proposed structures. The proposed conditional land use shall be designed, constructed, operated, and maintained so to complement the surrounding area. Physical buffers shall be added as needed for neighboring conformance.

1. The Board finds that elevations would not be affected.

Consistency with other plans and statutes. Site plans shall conform to all applicable requirements of City, state and federal statutes and the City of Reedsburg Comprehensive Plan, and approval may be conditioned on the applicant receiving necessary City, state and federal permits.

1. The Board finds that future use is Government & Institutional.

Conditional Use Permit Findings of Fact for Section 690-19(A-C)

Proposed operation. No conditional use shall be approved by the Plan Commission unless it finds that the use for which such permit is sought will not be injurious to the neighborhood or otherwise detrimental to the public welfare and will be in harmony with the general purpose of this chapter and will not place demands on fire, police, or other public resources in excess of current capacity.

1. The Board finds that the property is the former South School with current residential apartments and public gymnasium.
2. The Board finds that a frozen pizza assembly and retail is proposed.
3. The Board finds that the proposed space is the former school offices.
4. The Board finds that the parcel is zoned B-3.
5. The Board finds that section §690 Attachment 2 allows food stores as a conditional use.
6. The Board finds that the overall property is 1.89 acres.
7. The Board finds that additional comments from the applicant are included.

Character and use of adjoining buildings and those in the vicinity. The proposed conditional land use shall not involve uses, activities, processes, materials, or equipment that would create a substantially negative impact on other conforming properties in the area by reason of traffic, noise, smoke, fumes, glare, and odors.

1. The Board finds that surrounding parcels contain mostly single-family uses with nearby Government and business uses.
2. The Board finds that the area is zoned G and R-1.

Utilities. The proposed conditional land use will be adequately served by electric, water & sewer facilities and refuse collection & disposal services.

1. The Board finds that proposed utilities will have to conform to RUC requirements.

STAFF COMMENTS: The proposed space for this is the former school office area. If you're not familiar with that location, it is located along the south hallway behind the gym/stage. This use will also require Health Dept review and very possibly DSPS review.

From the applicant:

- Number of employees on staff 1-4
- Typically working during daytime hours
- Exception may be groups of school kids that would assist in making pizzas as part of their fundraiser on rare occasions
- Equipment is limited to the prep (chop and slicing of vegetables) for pizza toppings, prep table to use for pizza assembly, shrink wrap machine for packaging
- Boxing of pizzas for large orders may occur at times and require 4-6 people to prepare fundraising orders
- 80%+ time will be 2-3 employees 3 days a week working between 7-4.
- Noise would be consistent with chatting and possibly a radio at low volume

Exhibit List

- A. City of Reedsburg Comprehensive Plan
- B. Zoning Ordinance, City of Reedsburg, Wisconsin
- C. August 13, 2024, Plan Commission Agenda
- D. Land Use Change Application
- E. Staff Report
- F. Request for Review and Comment
- G. Notice of Public Meeting



July 31, 2024

Brian Duvalle
Building Inspector/Planning/Zoning Administrator
City of Reedsburg
134 S. Locust
Reedsburg, WI 53959

RE: Site Plan Review
Pizza Ranch – Reedsburg
2010 Viking Drive, Reedsburg

Dear Mr. Duvalle,

Enclosed, please find architectural and engineering drawings for the proposed development associated with the above-referenced project.

The proposed project involves the construction of a Pizza Ranch Restaurant as well as two commercial spaces to be rented out. The development is located at 2010 Viking Drive on parcels 276-2726-00000 and 276-2725-00000. The two parcels will be combined with the use of a Certified Survey Map (CSM). The water and sewer services will connect to the existing stub outs located on Cottontail Lane.

The development will have on-site stormwater management which will be submitted to the Wisconsin Department of Natural Resources (WDNR).

The requirements of Section B of the Land Use Application is described on the following page.

At this time, we are requesting a Site Plan Review of this project. If you or your staff have any questions regarding this application, please contact me at 920-621-3240 or lhansen@vierbicher.com.

Sincerely,

Logan Hansen, PE

Enclosure(s)
City of Reedsburg Land Use Application
Engineering Plan Set
Architectural Plans
Lighting Plan



201 E. Main Street Suite 100
Reedsburg, Wisconsin 53959
(608) 524-6468 phone
www.vierbicher.com

- B. Please describe how your request meets each of the following Site Plan standards, as applicable.
- A. Topography and vegetation. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property, the minimization of tree and soil removal and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.
- The parcel is surrounded by City ROW so future development is not impeded. The existing vegetation is a grass field with no trees on the property.**
- B. Stormwater. Special attention shall be given to proper site drainage so that removal of stormwaters will not adversely affect neighboring properties.
- A stormwater management plan is to be created and submitted to the WDNR. A bio-retention pond is proposed along the east side of the property.**
- C. Emergency Services. All buildings shall be so arranged as to permit emergency vehicle access by some practical means.
- Correspondence with Craig Douglas (Fire Chief) have occurred to insure that fire protection is adequate.**
- D. Exterior lighting shall be arranged as follows:
- (1) It is deflected away from adjacent properties.
 - (2) It does not impede the vision of traffic along adjacent streets.
 - (3) It does not unnecessarily illuminate night skies.
- See attached lighting plan**
- E. Traffic generation, circulation and parking areas. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area.
- Required stall count is 60 Stalls and 106 stalls are shown. A bike rack is proposed for bike traffic.**
- F. Architectural plans; existing and proposed structures. The proposed conditional land use shall be designed, constructed, operated, and maintained so to complement the surrounding area. Physical buffers shall be added as needed for neighboring conformance.
- See architectural plans**
- G. Consistency with other plans and statutes. Site plans shall conform to all applicable requirements of City, state and federal statutes and the City of Reedsburg Comprehensive Plan, and approval may be conditioned on the applicant receiving necessary City, state and federal permits.

City of Reedsburg Land Use Application

134 S. Locust St.
PO Box 490
Reedsburg, WI 53959

Ph: 608-524-6404
Fax: 608-524-8458
bduvalle@ci.reedsburg.wi.us

APPLICANT: KMD Development, LLC(Max Dvorak)

ADDRESS: E9290 Hogsback Rd **CITY:** Baraboo **STATE:** WI

ZIP: 53913 **PHONE:** 608-345-1905 **PARCEL #:** 276-2726-00000 & 276-2725-00000

E- MAIL: Truemusicmax@gmail.com

PROPERTY OWNER: (if different from Applicant) _____

LOCATION: (if different from address above) 2010 Viking Drive

LAND USE REQUEST

(Please describe one or more as applicable – attach extra pages/maps if necessary)

☐ **Certified Survey Map (CSM):** _____

☐ **Conditional Use Permit:** _____

For *CONDITIONAL USE PERMIT* requests, also answer "A, B & C" on back page.

☐ **Preliminary Plat:** _____ **Final Plat:** _____ **Name of Plat:** _____

☐ **Rezoning - From:** _____ **To:** _____ **TID #** _____

☒ **Site Plan Review:** (See "B & C" on back page) _____

☐ **Zoning Appeal / Interpretation:** _____

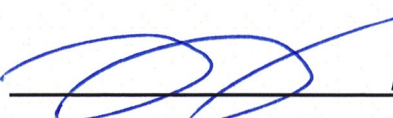
☐ **Zoning Variance:** _____

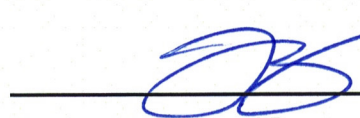
For *VARIANCE* requests, also answer "D" on back page.

☐ **Other or Annexation:** _____

AFFIDAVIT

I certify that the information and plans submitted are true and accurate to the best of my knowledge. I also give permission to City zoning officials to enter my property for inspection purposes and for a temporary Zoning sign to be placed in my yard prior to the meeting.

 , 7-31-24
Applicant Signature / Date

 , 7-31-24
Owner Signature / Date

Account #10-461500-00

**The applicant or representative
MUST ATTEND the meeting(s).**

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Cond Use Permit	\$200	_____
Cond Use-Agriculture	\$400	_____
Variance	\$125	_____
Rezoning	\$200	_____
C.S.M.	\$175	_____
Subdivision Plat	\$610	_____
- w/ Stormwater Plan	\$100	_____
Site Plan Review	\$175	_____
Annexation	\$200	_____
Plan Amend	\$200	_____
Date Paid		_____
Receipt #		_____

A. Please describe how your request meets each of the following Conditional Use standards, as applicable.

- A. Proposed operation. No conditional use shall be approved by the Plan Commission unless it finds that the use for which such permit is sought will not be injurious to the neighborhood or otherwise detrimental to the public welfare and will be in harmony with the general purpose of this chapter and will not place demands on fire, police, or other public resources in excess of current capacity.
- B. Character and use of adjoining buildings and those in the vicinity. The proposed conditional land use shall not involve uses, activities, processes, materials, or equipment that would create a substantially negative impact on other conforming properties in the area by reason of traffic, noise, smoke, fumes, glare, and odors.
- C. Utilities. The proposed conditional land use will be adequately served by electric, water & sewer facilities and refuse collection & disposal services.

B. Please describe how your request meets each of the following Site Plan standards, as applicable.

- A. Topography and vegetation. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property, the minimization of tree and soil removal and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.
- B. Stormwater. Special attention shall be given to proper site drainage so that removal of stormwaters will not adversely affect neighboring properties.
- C. Emergency Services. All buildings shall be so arranged as to permit emergency vehicle access by some practical means.
- D. Exterior lighting shall be arranged as follows:
 - (1) It is deflected away from adjacent properties.
 - (2) It does not impede the vision of traffic along adjacent streets.
 - (3) It does not unnecessarily illuminate night skies.
- E. Traffic generation, circulation and parking areas. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area.
- F. Architectural plans; existing and proposed structures. The proposed conditional land use shall be designed, constructed, operated, and maintained so to complement the surrounding area. Physical buffers shall be added as needed for neighboring conformance.
- G. Consistency with other plans and statutes. Site plans shall conform to all applicable requirements of City, state and federal statutes and the City of Reedsburg Comprehensive Plan, and approval may be conditioned on the applicant receiving necessary City, state and federal permits.

C. Site Plan Requirements, as applicable.

- (A) North arrow
- (B) Location of property lines, dimensions, and setbacks.
- (C) Location of existing and proposed public roads, rights-of-way and private easements of record.
- (D) Location of existing water bodies, surface drainage ways, stormwater controls, floodplains, and wetlands.
- (E) Location of existing and proposed buildings.
- (F) Location of parking areas and all exterior lighting.
- (G) Location of all loading / unloading areas.
- (H) Location of all sidewalks, walkways, bicycle paths and areas for public use.
- (I) Location of all utilities on the site.
- (J) Location and specifications for all fences, walls, and other screening features.
- (K) Location and specifications for all existing and proposed perimeter and internal landscaping.
- (L) Location and specifications for screening of all trash receptacles and other solid waste disposal facilities.
- (M) Location and specifications for proposed signs.
- (N) Elevation drawings for proposed commercial structures.
- (P) Floor plans, when needed to determine the number of parking spaces required.

D. Please describe how your request meets each of the following Variance standards. Attach additional pages if needed.

To grant a variance, the Board of Appeals must find four things:

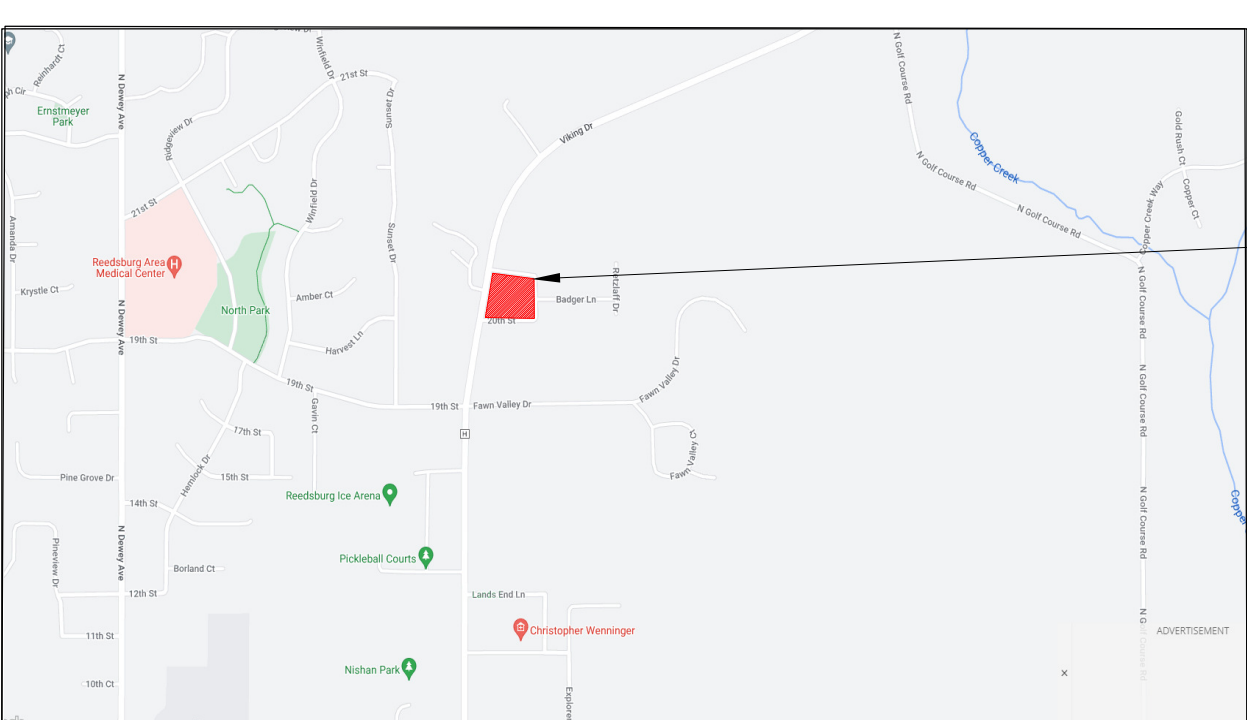
- 1) The variance will not be contrary to the public interest.
- 2) Substantial justice will be done by granting the variance. _____
- 3) The variance is needed so that the spirit of the ordinance is observed.
- 4) Due to special conditions, a literal enforcement of the provisions of the zoning ordinance will result in unnecessary hardship.

Variance Hardship. A property owner bears the burden of proving "unnecessary hardship" by demonstrating either of the following:

- 1) For an area variance, that strict compliance with a zoning ordinance would unreasonably prevent the property owner from using the property for a permitted purpose or would render conformity with the zoning ordinance unnecessarily burdensome.
- 2) For a use variance, that strict compliance with a zoning ordinance would leave the property owner with no reasonable use of the property in the absence of a variance. In both situations, the property owner bears the burden of proving that the unnecessary hardship is based on conditions unique to the property, rather than personal considerations, and that the unnecessary hardship was not created by the property owner.

REEDSBURG PIZZA RANCH

CITY OF REEDSBURG
SAUK COUNTY, WISCONSIN



PROJECT LOCATION



CITY OF
REEDSBURG

SAUK
COUNTY

WISCONSIN



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

NOT FOR CONSTRUCTION

SHEET NO.	DESCRIPTION	REVISIONS	
		NO.	DATE
T100	TITLE SHEET		
C100	EXISTING CONDITIONS		
C200	SITE PLAN		
C300	UTILITY PLAN		
C400	GRADING & EROSION CONTROL PLAN		
C500	BIORETENTION BASIN DETAILS		
C600-604	DETAILS		

TITLE

PIZZA RANCH - REEDSBURG
CITY OF REEDSBURG
SAUK COUNTY, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

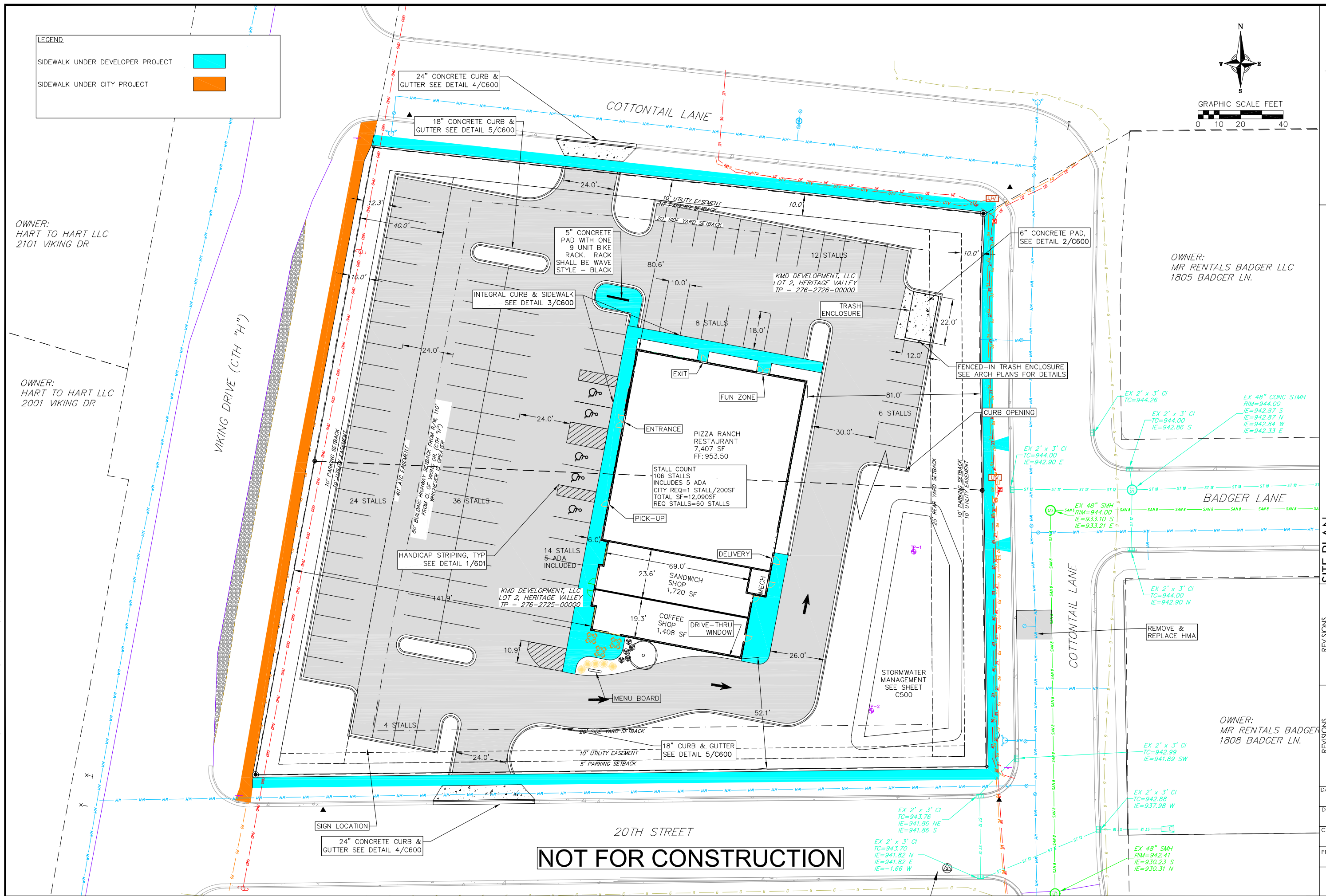
DATE	JULY, 2024
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PROJECT NO.	240058

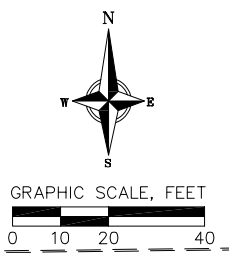
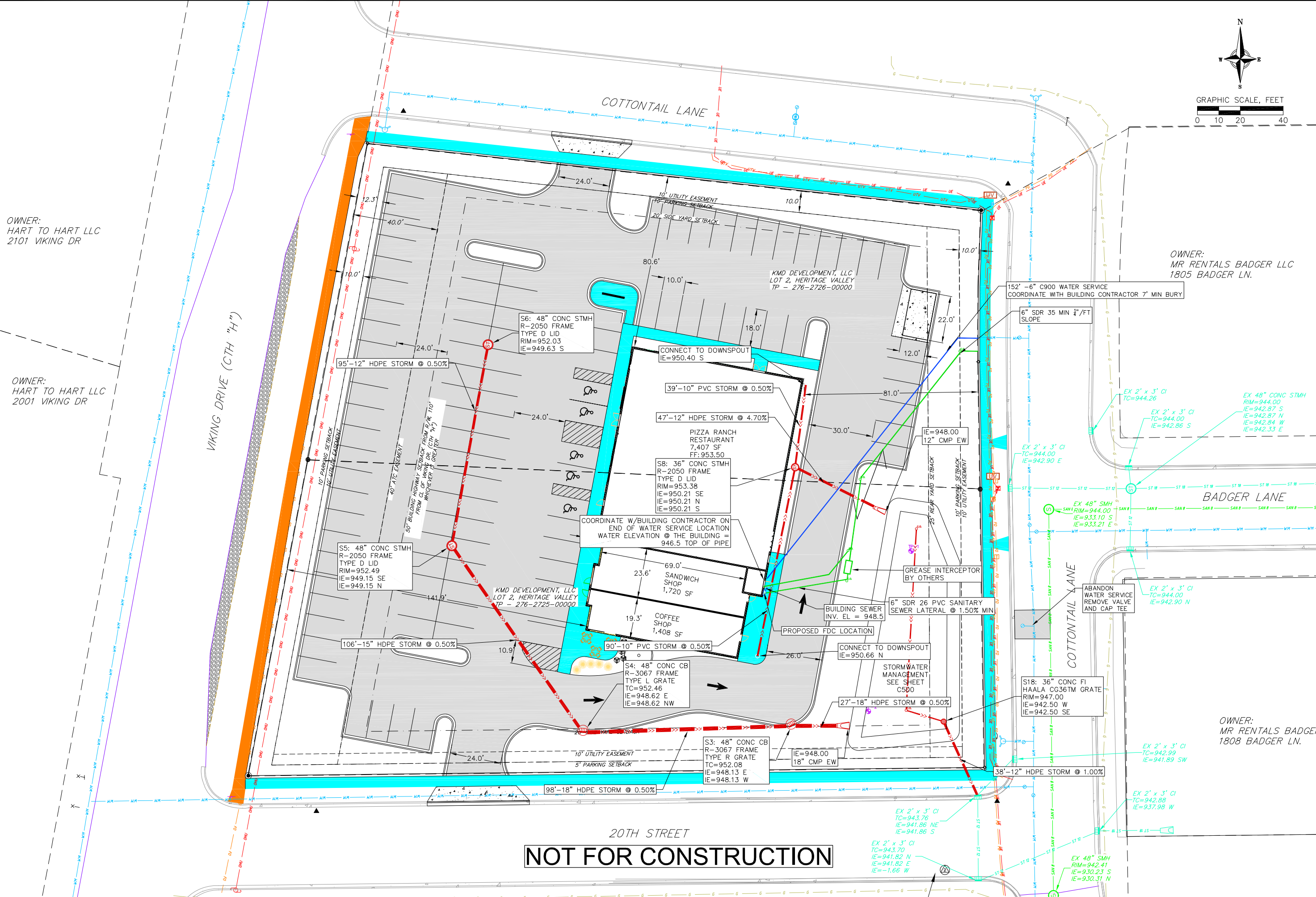
ISSUED DATE: 07/31/2024

T100



vierbicher
planners | engineers | advisors







vierbicher
planners engineers advisors

UTILITY PLAN

PIZZA RANCH - REEDSBURG
CITY OF REEDSBURG
SAUK COUNTY, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

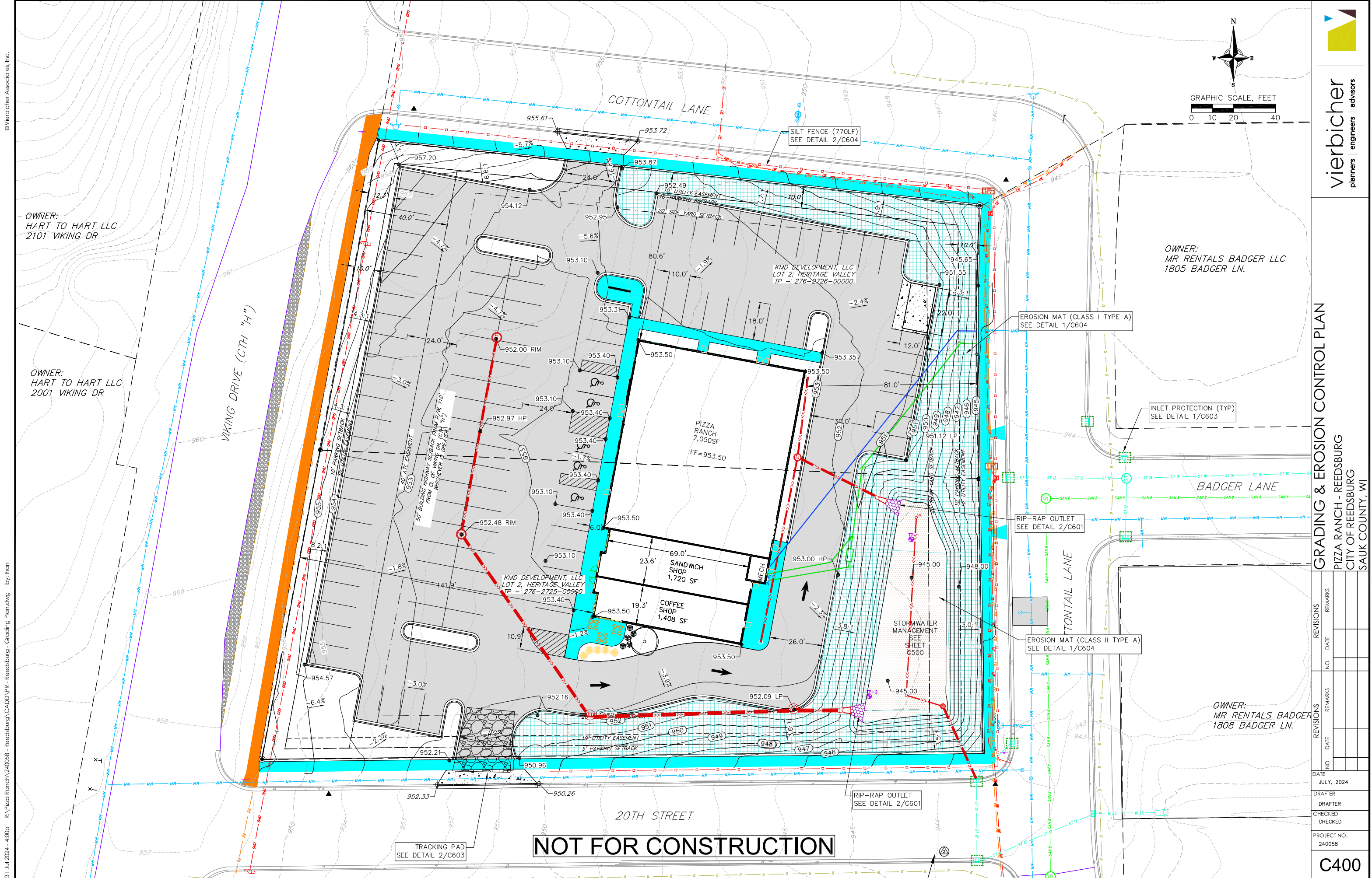
DATE: JULY, 2024

DRAFTER: LHAN

CHECKED: MMUC

PROJECT NO.: 240058

C300



31 Jul 2024 - 4:00p R:\Pizza Ranch\240058 - Reedsburg\CADD\PR - Reedsburg - Grading Plan.dwg By: lhan



vierbicher
planners engineers advisors

GRADING & EROSION CONTROL PLAN

PIZZA RANCH - REEDSBURG
CITY OF REEDSBURG
SAUK COUNTY, WI

REVISIONS		REVISIONS	
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DATE
JULY, 2024

DRAFTER
DRAFTER

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CHECKED

PROJECT NO.
240058

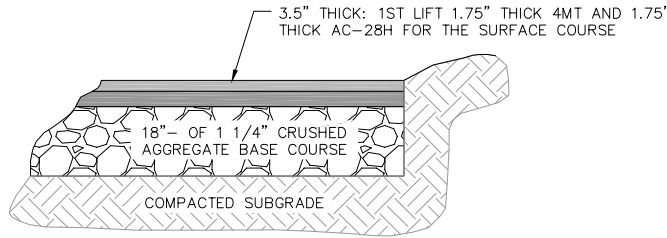
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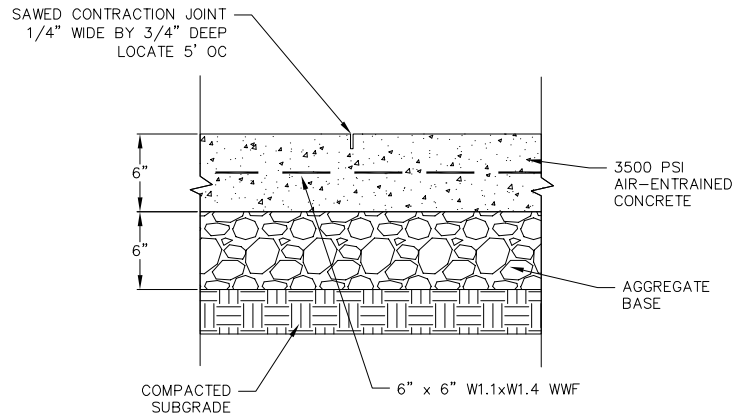
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DATE	JULY, 2024
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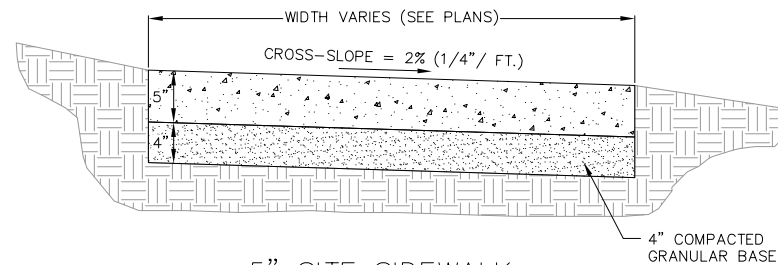
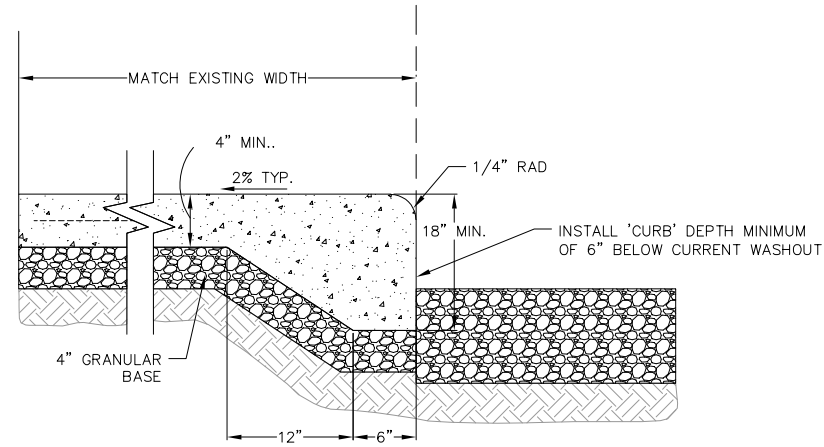
1 SITE PAVEMENT
C600 NOT TO SCALE



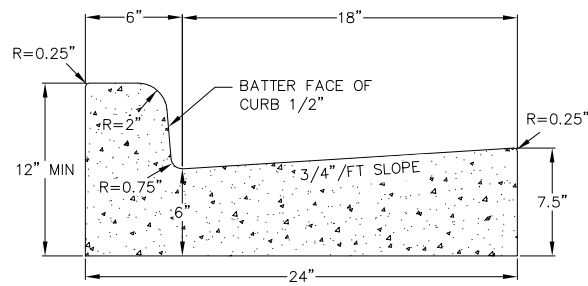
2 CONCRETE PAD
C600 NOT TO SCALE



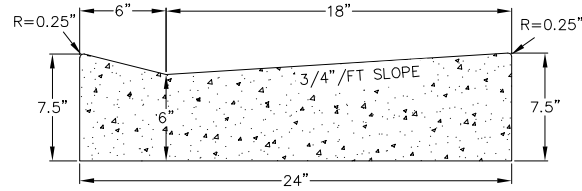
3 INTEGRAL CURB SIDEWALK DETAIL
C600 NOT TO SCALE



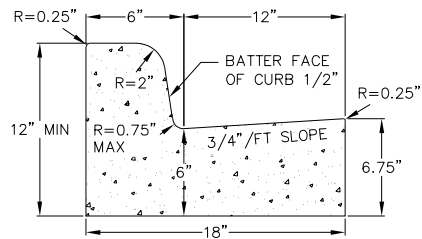
5" SITE SIDEWALK



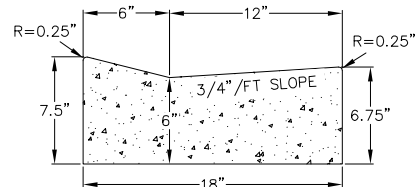
CURB AND GUTTER
CROSS SECTION



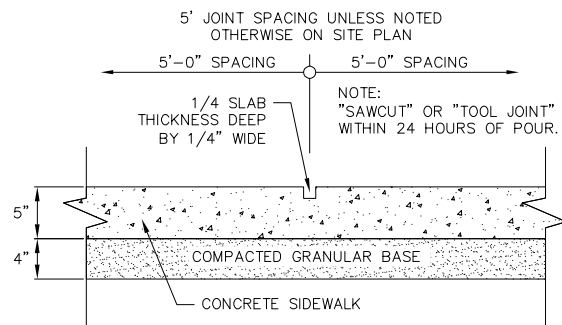
DRIVEWAY GUTTER
CROSS SECTION



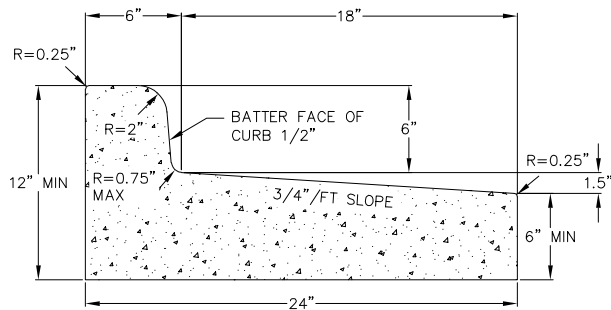
CURB AND GUTTER
CROSS SECTION



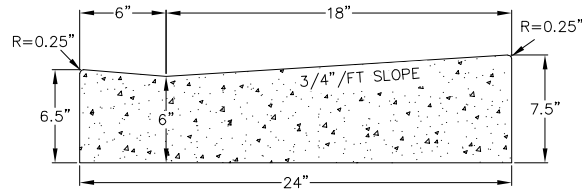
DRIVEWAY GUTTER
CROSS SECTION



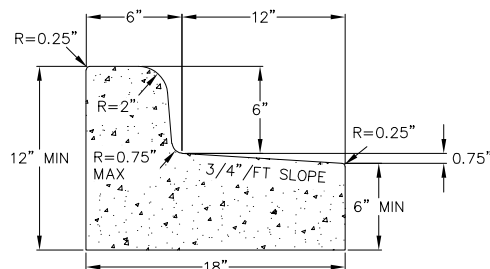
SIDEWALK CONTROL JOINT



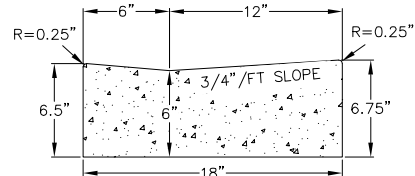
CURB AND GUTTER
REJECT SECTION



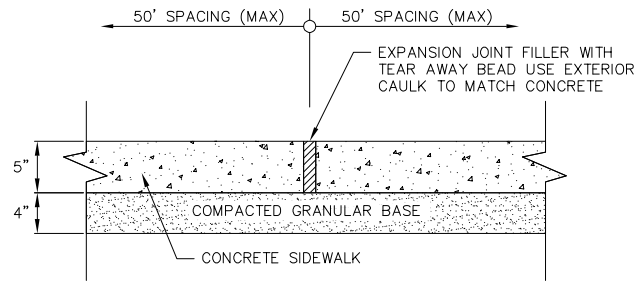
HANDICAP RAMP
GUTTER CROSS SECTION



CURB AND GUTTER
REJECT SECTION



HANDICAP RAMP
GUTTER CROSS SECTION

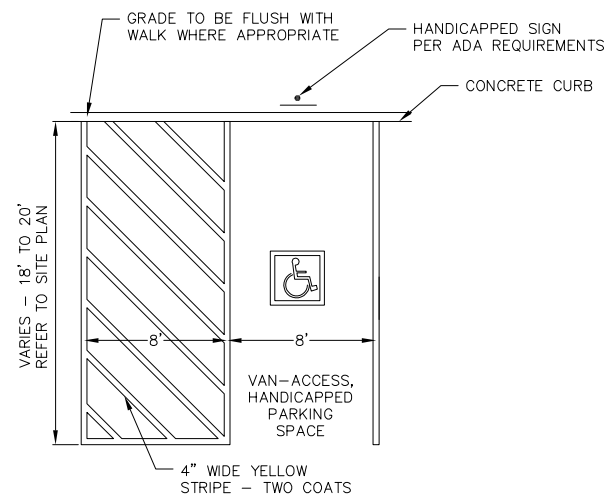


SIDEWALK EXPANSION JOINT

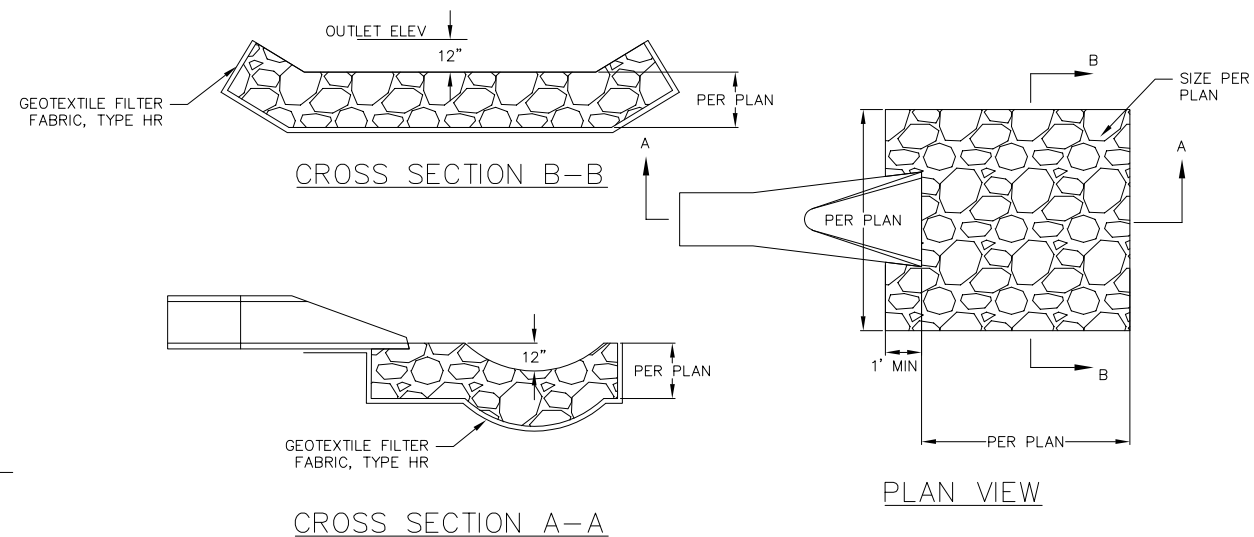
4 24" CONCRETE CURB AND GUTTER
C600 NOT TO SCALE

5 18" CONCRETE CURB AND GUTTER
C600 NOT TO SCALE

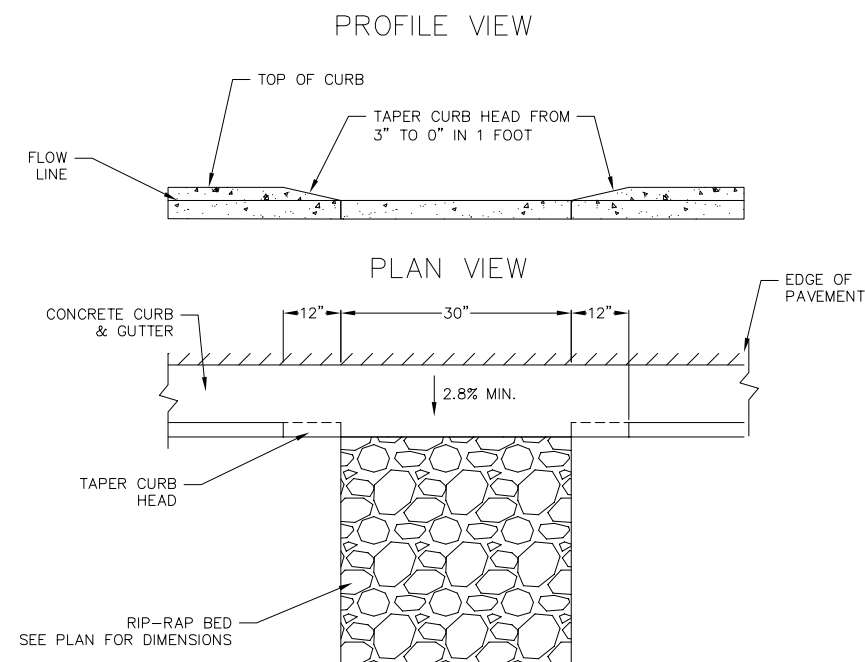
6 5" SIDEWALK
C600 NOT TO SCALE



1 HANDICAP STRIPING
C601 NOT TO SCALE

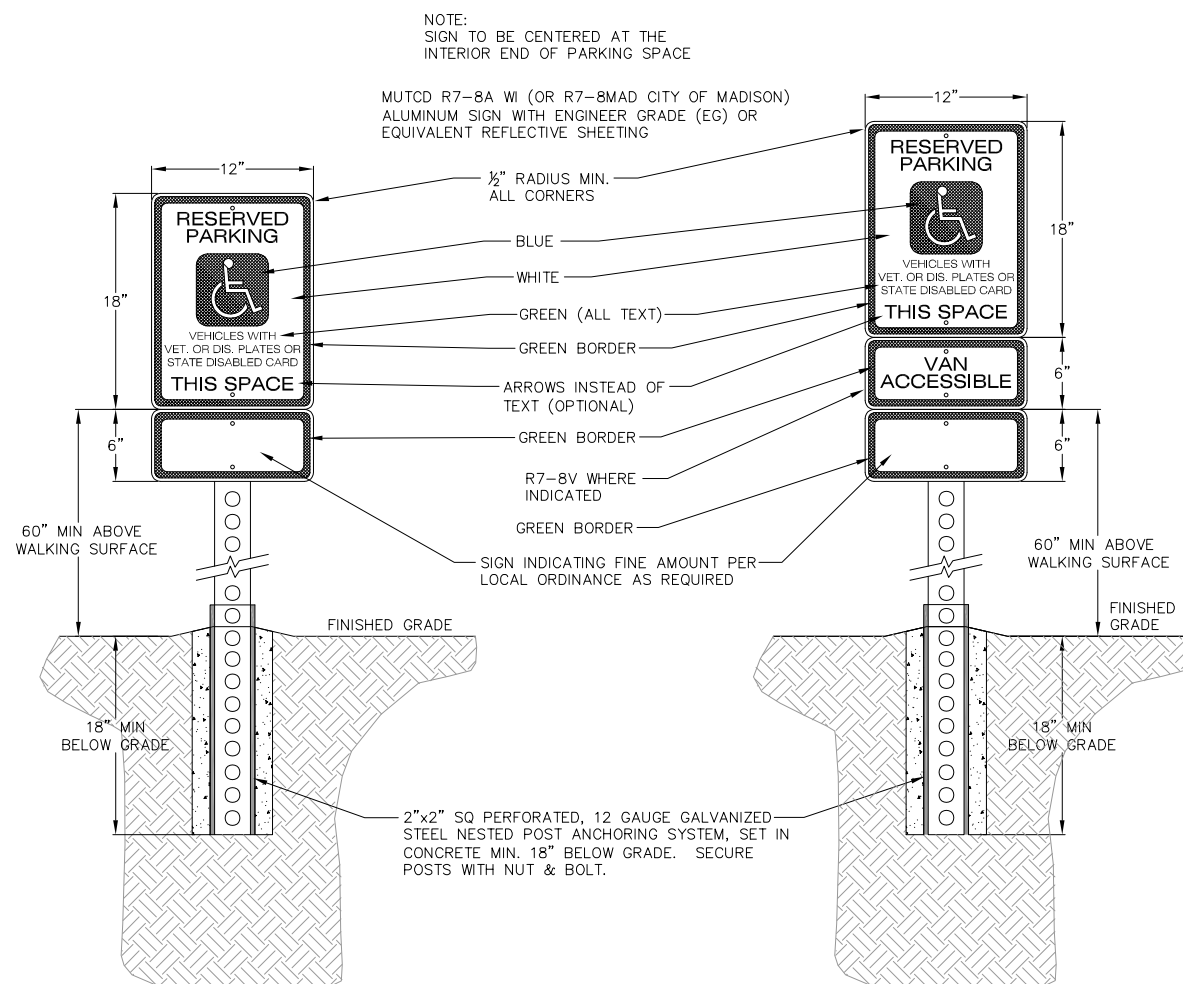


2 RIP-RAP OUTLET
c601 NOT TO SCALE



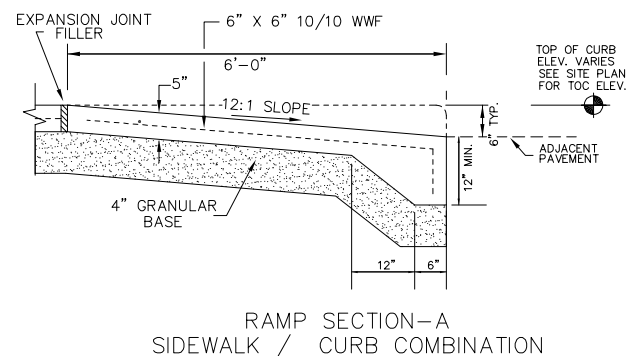
CURB CUT
NOT TO SCALE

3 CURB CUT
C601 NOT TO SCALE

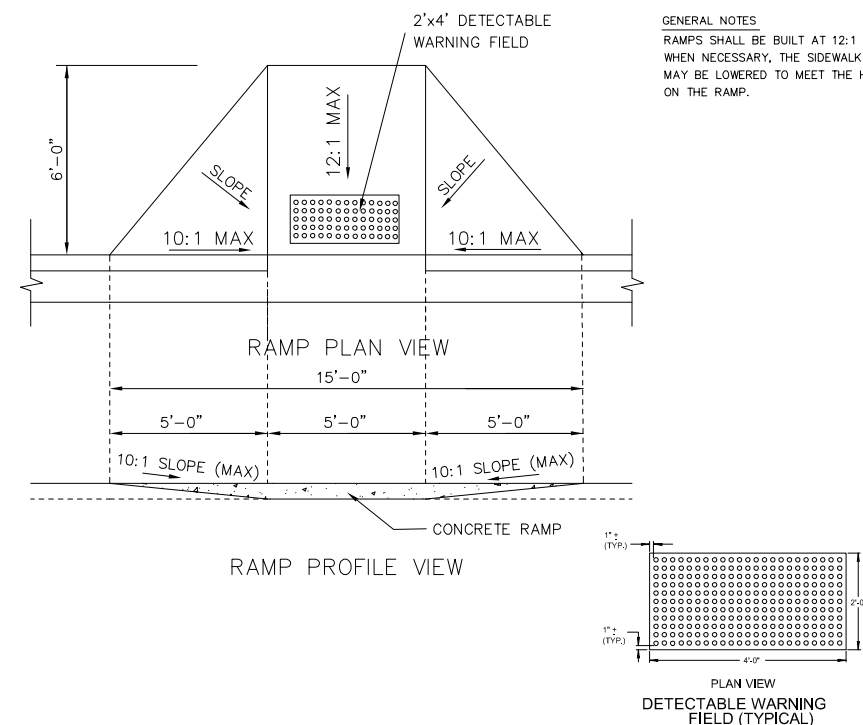


4 HANDICAP SIGN DETAIL

C601 NOT TO SCALE

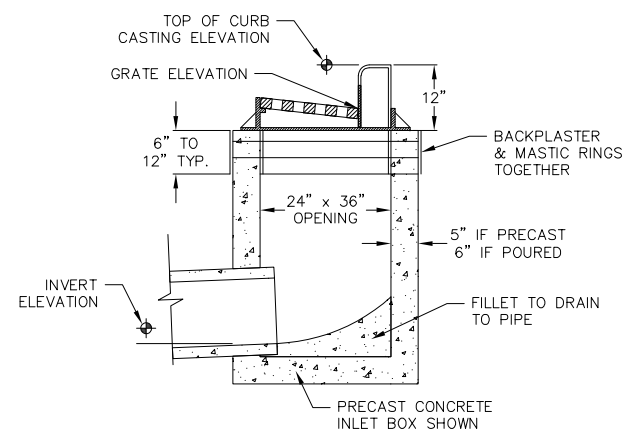


5 CURB RAMP DETAIL
c601 NOT TO SCALE

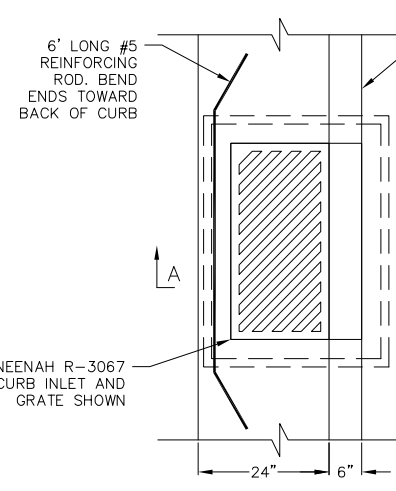


GENERAL NOTES
RAMPS SHALL BE BUILT AT 12:1 OR FLATTER
WHEN NECESSARY, THE SIDEWALK ELEVATION
MAY BE LOWERED TO MEET THE HIGH POINT
ON THE RAMP

C601	PROJECT NO. 240058		CHECKED MMUC		DRAFTER LHAN		DATE JULY, 2024	REVISIONS		REVISIONS		DETAILS PIZZA RANGE CITY OF RE SAUK COUNTY
								NO.	DATE	REMARKS		



SECTION A-A

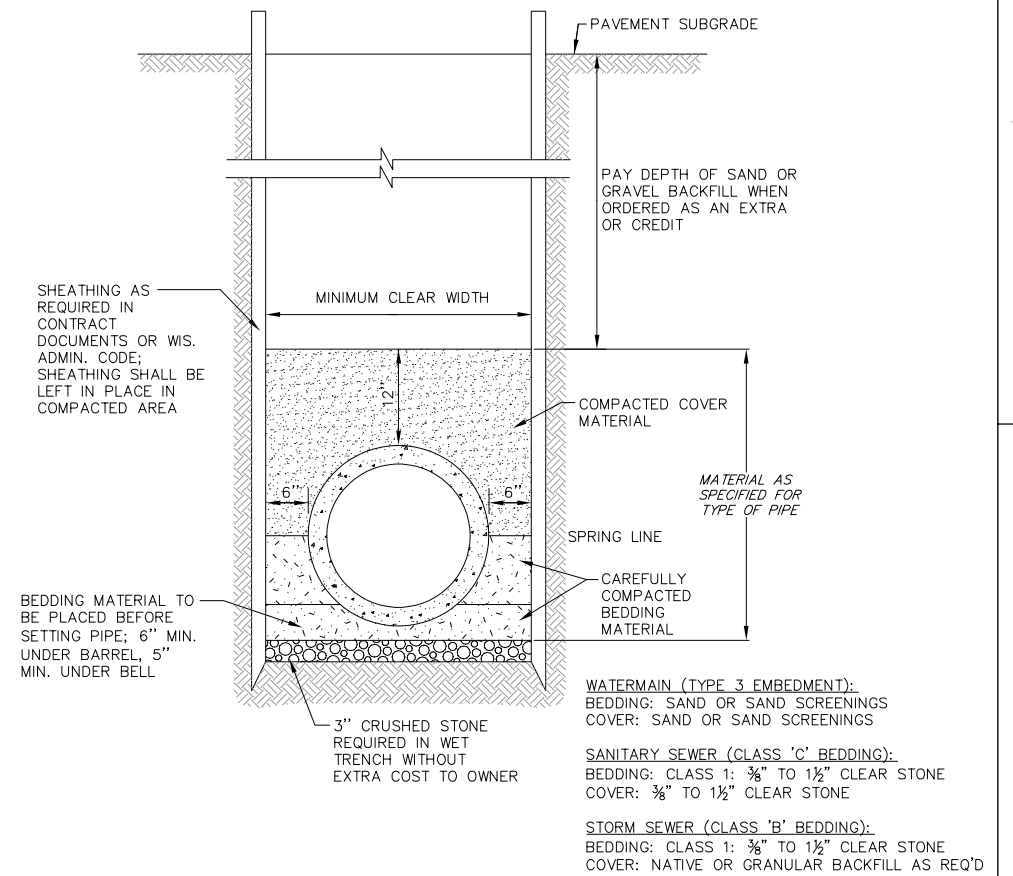


PLAN VIEW

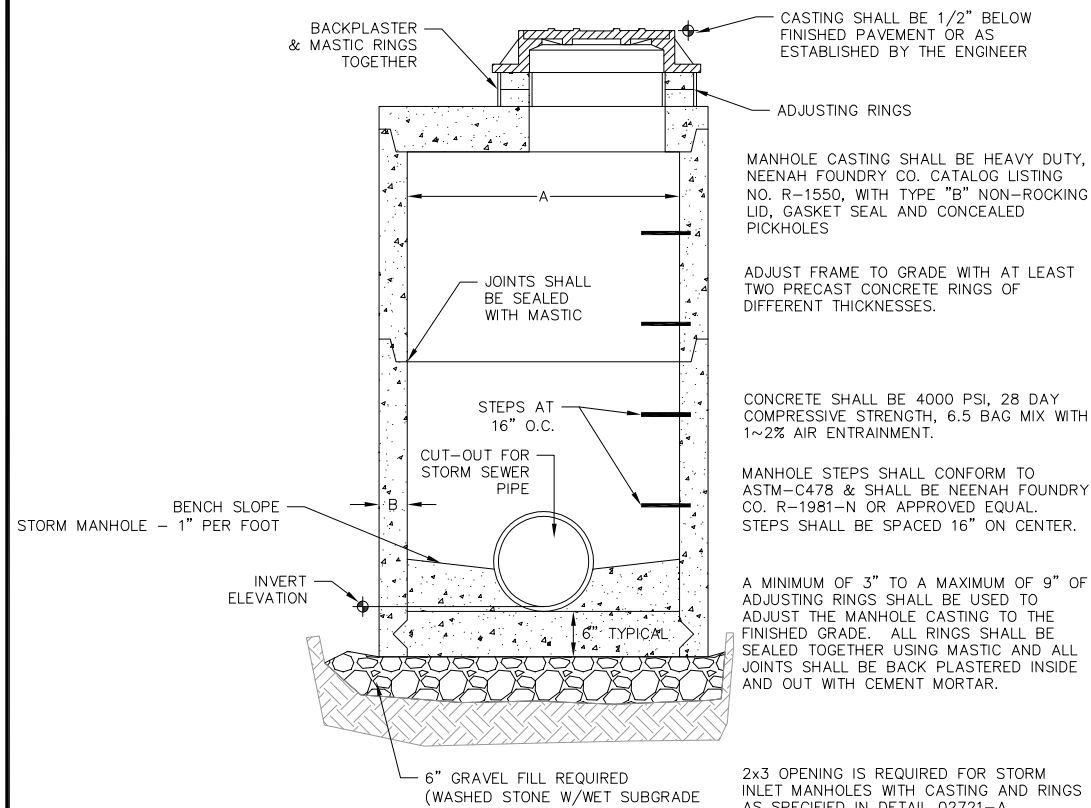
STANDARD CURB SECTION
SEE DETAIL 02522-A

NOTES:

- TOP OF CURB AND PIPE INVERT ELEVATIONS ARE SHOWN ON THE PLANS.
- THE GRATE ELEVATION SHALL BE DEPRESSED 0.1' FROM STRAIGHT GUTTER GRADE STARTING 5' FROM THE INLET AND EXTENDING IN BOTH DIRECTIONS.
- THE CASTING SHALL BE NENEAH FOUNDRY R-3067 CURB INLET WITH REVERSIBLE GRATES WHERE RUNOFF REACHES THE INLET FROM BOTH DIRECTIONS. WHERE RUNOFF REACHES THE INLET FROM ONE DIRECTION A NENEAH R-3067-L CASTING SHALL BE USED. DIRECTIONAL SLOTS TO BE LOCATED TO DIRECT THE FLOW INTO THE STREET INLET.
- FRAME ADJUSTING RINGS SHALL BE AT LEAST TWO CONCRETE RINGS OF VARIABLE THICKNESS. MASTIC BETWEEN RINGS AND BACKPLASTER A SMOOTH LAYER OF GROUT OVER THE ENTIRE INNER AND OUTER SURFACES OF THE RINGS.

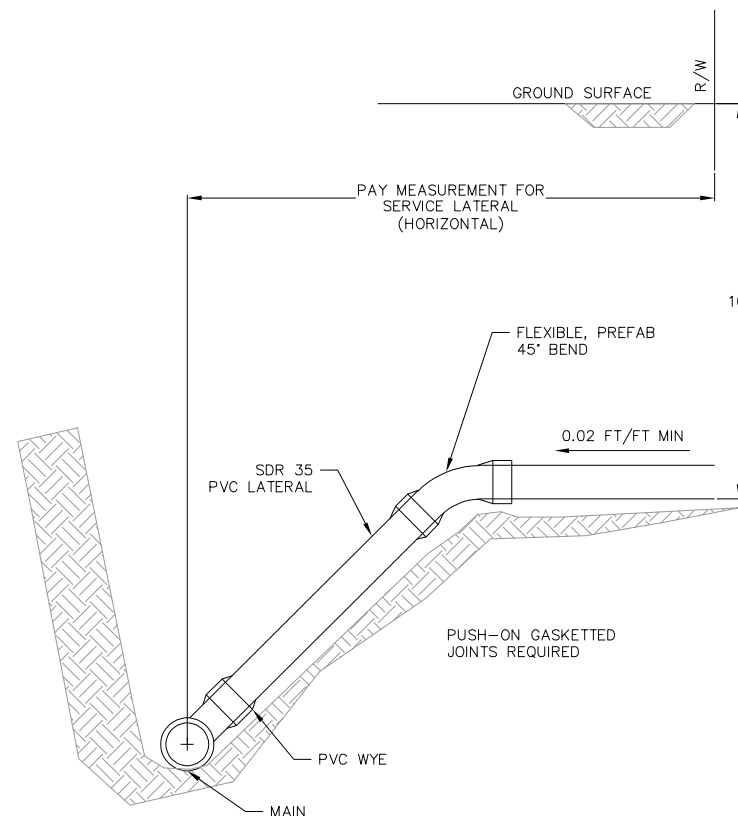


2 STANDARD TRENCH SECTION
C602 NOT TO SCALE



STORM MANHOLE DIMENSIONS

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"



NOTE:
UNLESS OTHERWISE STATED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING BODY, ALL LATERALS SHALL BE INSTALLED TO A POINT 10 FEET BEYOND THE BACK OF ANY PROPOSED SIDEWALK OR 5 FEET BEYOND THE LIMITS OF ANY UTILITY EASEMENTS IMMEDIATELY ADJACENT TO THE RIGHT-OF-WAY, WHICHEVER IS GREATER. CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM THE LENGTH OF LATERAL REQUIRED FOR INSTALLATION AND THE REQUIRED TERMINATION POINT.

1 STORM SEWER MANHOLE
C602 NOT TO SCALE

4 SANITARY SEWER LATERAL
C602 NOT TO SCALE

BAG TO BE CONSTRUCTED USING GEOTEXTILE FABRIC, WISDOT TYPE FF.

DIMENSIONS OF TOP OPENING OF BAG TO MATCH INLET GRATE.

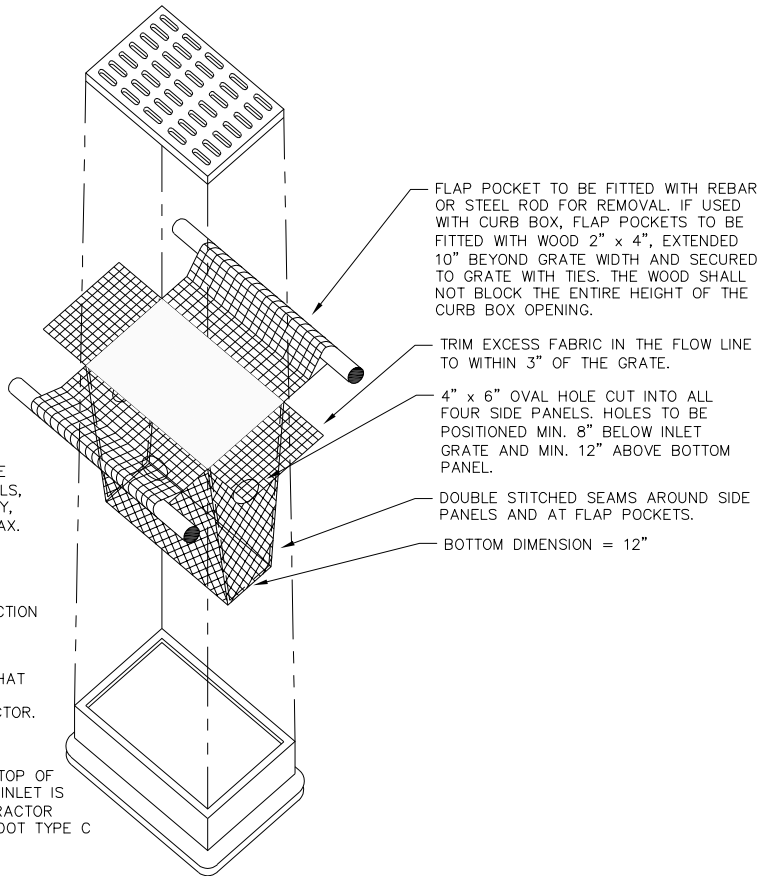
FRONT, BACK AND BOTTOM PANEL TO BE MADE FROM SINGLE PIECE OF FABRIC (NO SEAMS).

INSTALLED BAG SHALL HAVE A MIN. SIDE CLEARANCE OF 3" FROM THE INLET WALLS, MEASURED AT THE HOLES. IF NECESSARY, CONTRACTOR SHALL CINC THE BAG (MAX. 4" FROM BAG BOTTOM) TO ACHIEVE CLEARANCE.

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, ANY TRAPPED MATERIAL THAT FALLS INTO THE INLET SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.

IF INLET DEPTH FROM TOP OF GRATE TO BOTTOM OF INLET IS LESS THAN 30", CONTRACTOR SHALL SUBSTITUTE WISDOT TYPE C INLET PROTECTION.



1 INLET PROTECTION TYPE D

NOT TO SCALE

BIO-RETENTION AREA RESTORATION SPECIFICATIONS:

NOTE: BIO-RETENTION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.

BIO-RETENTION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1004 (BIORETENTION FOR INFILTRATION)

USE RAINWATER GARDEN SEED MIX FROM AGRECOL – OR ENGINEER APPROVED EQUAL.

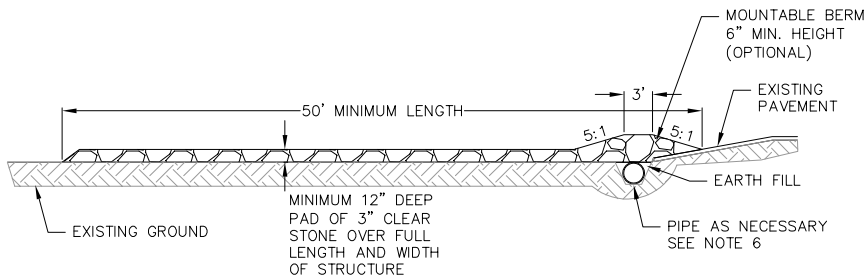
RESTORATION OF THE INFILTRATION AREA (NOT INCLUDING SIDE SLOPES):

- OVER-EXCAVATE THE AREA TO INFILTRATIVE LAYER TO BE DETERMINED IN THE FIELD, DURING EXCAVATION, BY DESIGN ENGINEER.
- CHISEL PLOW, OR ROTO-TILL THE BASE OF THE AREA TO BREAK UP ANY HARDPAN IN THE NATIVE SOIL LAYER.
- PLACE WASHED SAND (FREE OF P200 PARTICLES) TO 46 INCHES BELOW GROUND SURFACE (IF REQUIRED).
- PLACE 14.4 INCHES OF ENGINEERED SOIL, COMPRISED OF:
 - 70–85% WASHED SAND
 - 15–30% COMPOST (MUST MEET WDNR S100 SPECIFICATION)

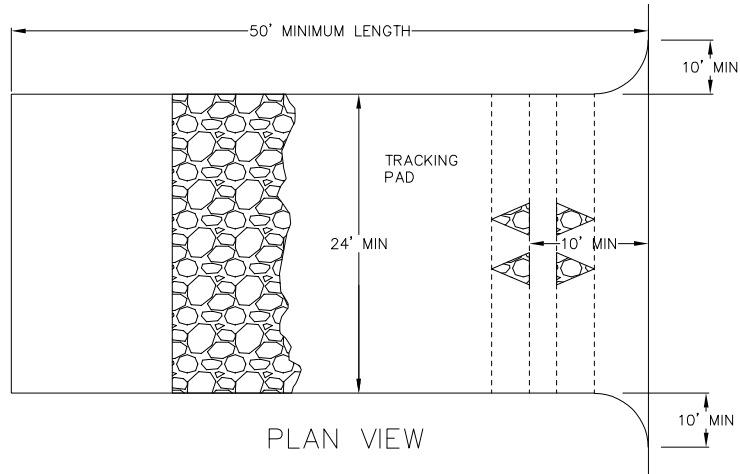
CLAY LINER CRITERIA

- 50% FINES (200 SIEVE) OR MORE.
- AN IN-PLACE HYDRAULIC CONDUCTIVITY OF 1×10^{-7} CM/SEC. OR LESS.
- AVERAGE LIQUID LIMIT OF 25 OR GREATER, WITH NO VALUE LESS THAN 20.
- AVERAGE PI OF 12 OR MORE, WITH NO VALUES LESS THAN 10.
- CLAY INSTALLED WET OF OPTIMUM IF USING STANDARD PROCTOR, AND 2% WET OF OPTIMUM IF USING MODIFIED PROCTOR.
- CLAY COMPACTION AND DOCUMENTATION AS SPECIFIED IN NRCS WISCONSIN CONSTRUCTION SPECIFICATION 300, CLAY LINERS.
- MINIMUM THICKNESS OF TWO FEET.

CONTRACTOR TO PROVIDE SAMPLE OF CLAY TO BE IMPORTED TO VERIFY IT MEETS THE STATED REQUIREMENTS.



PROFILE VIEW



PLAN VIEW

- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH – MINIMUM OF 50'
- WIDTH – 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE – CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER – ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION – A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

2 TRACKING PAD

NOT TO SCALE

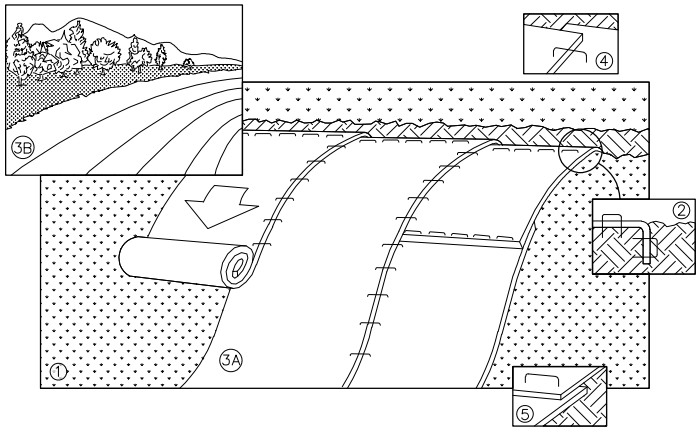
REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
DATE JULY, 2024			
DRAFTER LHAN			
CHECKED MMUC			
PROJECT NO. 240058			
C603			

EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF REEDSBURG EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (http://dnr.wi.gov/runoff/stormwater/techstds.htm) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER’S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3” CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7–CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25–FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN–WORKED FOR A PERIOD OF MORE THAN 7–CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE–WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE–WATERING).
10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
11. SEE DETAIL SHEETS FOR RIP–RAP SIZING. IN NO CASE WILL RIP–RAP BE SMALLER THAN 3” TO 6”.
12. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
13. USE DETENTION BASINS AS SEDIMENT BASINS DURING CONSTRUCTION (DO NOT USE INFILTRATION AREAS). AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.
14. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET (NOTE: ADD SEEDING RATE STANDARD OF DETAIL BLOCK TO PLAN) UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
15. TERRACES SHALL BE RESTORED WITH 6” TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6” TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
16. AFTER DETENTION BASIN GRADING IS COMPLETE, THE BOTTOM OF DRY BASINS SHALL RECEIVE 6” TOPSOIL AND SHALL BE CHISEL–PLOWED TO A MINIMUM DEPTH OF 12” PRIOR TO RESTORATION.
17. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
18. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
19. EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
20. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE–APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
21. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
22. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
23. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
24. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
25. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
26. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
27. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD
2. STRIP TOPSOIL–DETENTION BASINS
3. ROUGH GRADE DETENTION BASINS
4. SEED DETENTION BASINS
5. STRIP TOPSOIL–STREETS & LOTS
6. ROUGH GRADE STREETS & LOTS
7. SEED LOT AREAS AND INSTALL DRIVE–OVER VELOCITY CHECKS
8. CONSTRUCT UNDERGROUND UTILITIES
9. INSTALL INLET PROTECTION
10. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE–OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
11. RESTORE TERRACES
12. REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL–O–SEED, DO NOT SEED PREPARED AREA. CELL–O–SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.

2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6” DEEP BY 6” WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

3. ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE.

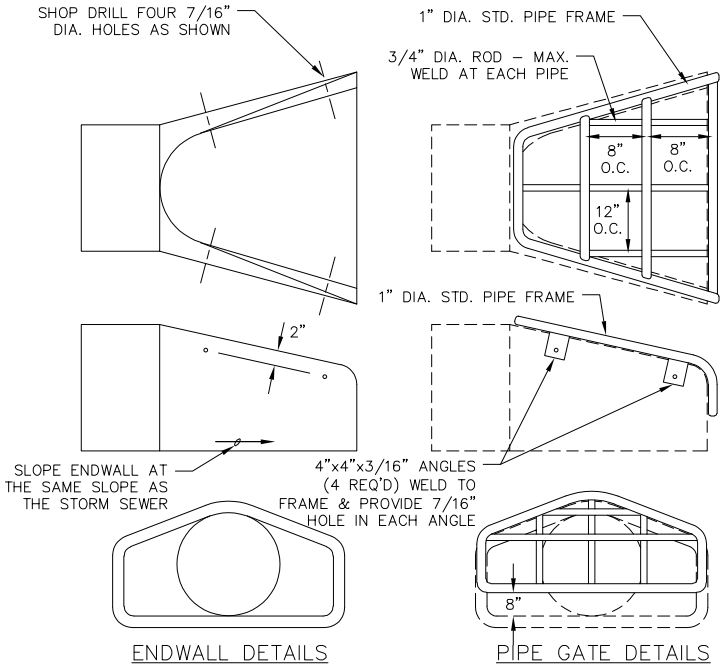
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2” OVERLAP.

5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4” OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12” APART.

6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

EROSION MAT

NOT TO SCALE



NOTES:

– THE CONTRACTOR SHALL BOLT THE PIPE GATE TO THE CONCRETE ENDWALL WITH FOUR 3/8”x6” MACHINE BOLTS WITH NUTS ON INSIDE WALL.

– THE CONTRACTOR SHALL PROVIDE JOINT TIES ON STORM SEWER SYSTEM INFALL AND OUTFALL PIPES. TIE THE ENDWALL AND THE LAST 2 PIPE SECTIONS.

PAINTING SPECIFICATIONS:

– THE PIPE GATE SHALL RECEIVE THE FOLLOWING PREPARATION & PAINTING. THE FIRST COAT SHALL BE RUS–OLEUM X–60 RED BARE METAL PRIMER OR APPROVED EQUAL. THE SECOND COAT SHALL BE RUS–OLEUM 960 ZINC CHROMATE PRIMER OR APPROVED EQUAL. THE THIRD COAT SHALL BE RUS–OLEUM 1282 HIGH GLOSS METAL FINISH OR APPROVED EQUAL.

PREPARATION STEPS:

1. BARE METAL SURFACES – TREAT WITH THE THREE–COAT PAINTING SYSTEM LISTED AFTER A THOROUGH SCRAPING, WIRE BRUSHING & CLEANING.

2. EACH COAT OF PAINT SHALL BE APPLIED OVER THE ENTIRE GATE SURFACE.

3. ALLOW 24–48 HOURS DRYING TIME AT 60° OR ABOVE BETWEEN COATS.

STANDARD ENDWALL

NOT TO SCALE

SEEDING RATES:

TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED

AFTER SEPTEMBER 15.

PERMANENT:

1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

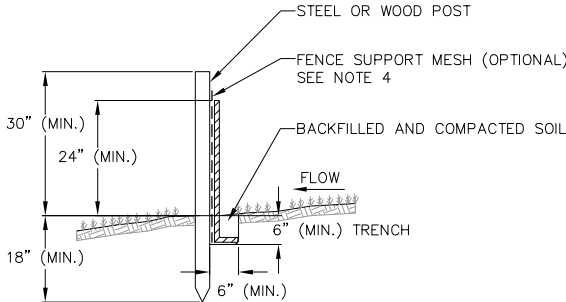
TEMPORARY AND PERMANENT:

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:

USE ½” TO 1–½” STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)

POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14–GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

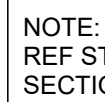
SILT FENCE

NOT TO SCALE

DETAILS

PIZZA RANCH - REEDSBURG
CITY OF REEDSBURG
SAUK COUNTY, WI

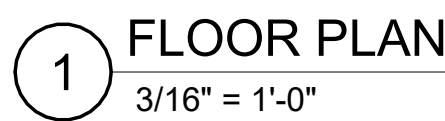
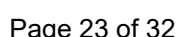
REVISIONS	NO.	DATE	REMARKS
DATE			
JULY, 2024			
DRAFTER			
LHAN			
CHECKED			
MMUC			
PROJECT NO.			
240058			
C604			



	EXISTING CONSTRUCTION TO REMAIN
	NEW CONSTRUCTION
	ACOUSTICAL INSULATION
	PARTICLE BOARD TO BE USED IN LIEU OF GYPSUM, REF. INTERIOR ELEVATION FOR HEIGHT & LOCATION

1. TRENCH DRAIN TO BE INSTALLED LEVEL AND 3/16" ABOVE THE SURFACE OF THE CONCRETE SLAB. CONCRETE TO HAVE A PROPER SLOPE OF 1/8" - 1/4" PER FOOT. FOR DETAILS
2. WHERE SHOWN AT FLOOR DRAINS, THE SLOPE SHOULD BE 3/8" IN DIAMETER MINIMUM AND NO MORE THAN 3/8" IN DEPTH.
3. ALL OTHER FLOOR PENETRATIONS SHOULD BE INSTALLED 3/16" ABOVE SUBSTRATE.

1. DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
2. COORDINATE ALL KITCHEN WALL LOCATIONS WITH EQUIPMENT SUPPLIER.
3. EQUIPMENT VENDOR TO FURNISH AND INSTALL STAINLESS STEEL (SSL) CLOSURE PANEL BETWEEN WALK-IN COOLER AND PROVIDE CONTINUOUS SEALANT AT JOINT.
- 4.
5. INSTALL PLYWOOD ON ALL KITCHEN AND OFFICE WALLS IN LIEU OF GYPSUM.



TRIM / ACCENT SCHEDULE					
MARK	MATERIAL TYPE	MANUFACTURER	MODEL	SIZE	COMMENTS
EF-2	ENGINEERED WOOD COMPOSITE	LP BUILDING PRODUCTS	SMARTSIDE	PREFIN EP-2	76 SERIES CEDAR TEXTURE PANEL, NO GROOVE
EF-5	ENGINEERED WOOD COMPOSITE	LP BUILDING PRODUCTS	SMARTSIDE	5/4" x 4"	PREFINISHED EP-1
EF-6	ENGINEERED WOOD COMPOSITE	LP BUILDING PRODUCTS	SMARTSIDE	5/4" x 6"	PREFINISHED EP-1
EF-6x	ENGINEERED WOOD COMPOSITE	LP BUILDING PRODUCTS	SMARTSIDE	5/4" x 6"	PREFINISHED EP-1
EF-7	ENGINEERED WOOD COMPOSITE	LP BUILDING PRODUCTS	SMARTSIDE	5/4" x 8"	PREFINISHED EP-1
EF-9	ENGINEERED WOOD COMPOSITE	LP BUILDING PRODUCTS	SMARTSIDE	5/4" x 12"	PREFINISHED EP-1
EF-13	METAL PLATE	--	--	--	PAINTED BLACK
EF-14	ENGINEERED WOOD COMPOSITE	LP BUILDING PRODUCTS	SMARTSIDE	PREFIN EP-2	8" GROOVE, CEDAR TEXTURE PLANEL
EF-16	ENGINEERED WOOD COMPOSITE	LP BUILDING PRODUCTS	SMARTSIDE	5/4" X 4"	PREFINISHED EP-5
EF-17	ENGINEERED WOOD COMPOSITE	LP BUILDING PRODUCTS	SMARTSIDE	5/4" X 6"	PREFINISHED EP-5

WALL MATERIAL SCHEDULE					
MARK	DESCRIPTION	MANUFACTURER	MODEL	COLOR	COMMENTS
EF-1	ENGINEERED WOOD COMPOSITE	LP BUILDING PRODUCTS	SMARTSIDE	FACTORY FINISHED CHESTNUT	7" LAP EXPOSURE
EF-1x	ENGINEERED WOOD COMPOSITE	LP BUILDING PRODUCTS	SMARTSIDE	FACTORY FINISHED (TENANT)	7" LAP EXPOSURE
EF-4	ENGINEERED WOOD COMPOSITE	LP BUILDING PRODUCTS	SMARTSIDE	PREFINISHED EP-4	76 SERIES CEDAR TEXTURE PANEL, NO GROOVE
EF-4x	ENGINEERED WOOD COMPOSITE	LP BUILDING PRODUCTS	SMARTSIDE	PREFINISHED EP-4	76 SERIES CEDAR TEXTURE PANEL, NO GROOVE
EF-17	ENGINEERED WOOD COMPOSITE	LP BUILDING PRODUCTS	SMARTSIDE	PREFINISHED EP-5	76 SERIES CEDAR TEXTURE PANEL, NO GROOVE

EXTERIOR PAINT SCHEDULE				
MARK	MANUFACTURER	FINISH	COLOR	COMMENTS
EP-1	SHERWIN WILLIAMS	SATIN	6083 SABLE	TYP AT EXTERIOR TRIM
EP-2	SHERWIN WILLIAMS	SATIN	6102 PORTABELLO	TYP AT EF-2 AND EF-14
EP-4	SHERWIN WILLIAMS	SATIN	6149 RELAXED KHAKI	TYP AT EF-4
EP-5	SHERWIN WILLIAMS	SATIN	6871 POSTIVE RED	TYP. EF-15, EF-16, EF-17

CAP FLASHING SCHEDULE				
MARK	MANUFACTURER	MODEL/TYPE	COLOR	COMMENTS
EF-11	UNA CLAD	SMOOTH	MEDIUM BRONZE	
EF-11	UNA CLAD	SMOOTH	MEDIUM BRONZE	

- SHEET NOTES
1. REF ADDITIONAL NOTES AND REQUIREMENTS ON ALL OTHER DOCUMENTS AND OTHER DISCIPLINES' DOCUMENTS.

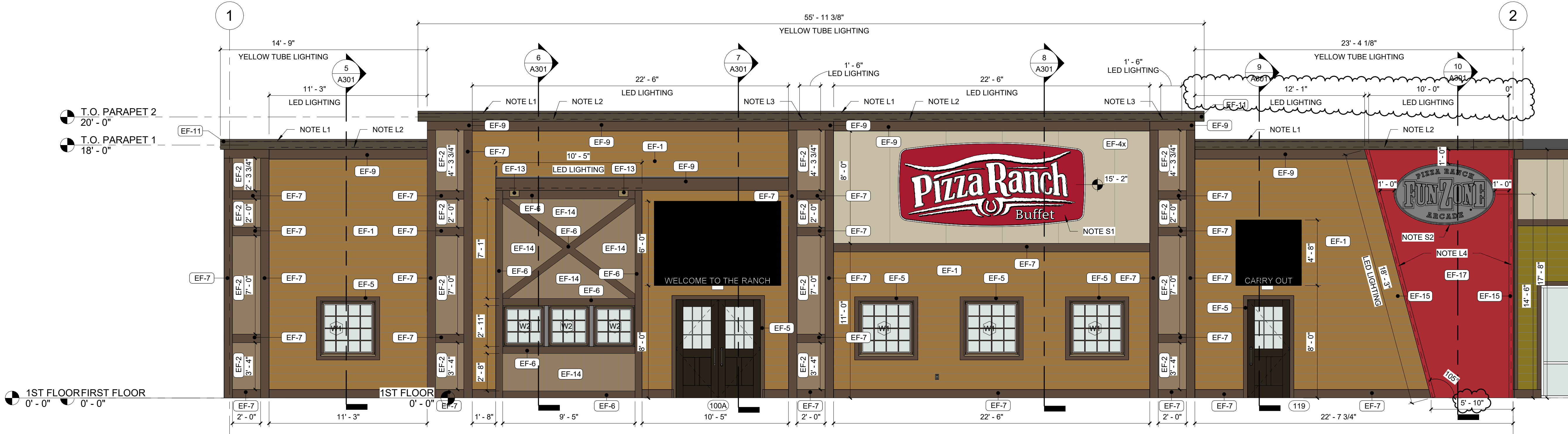
2. ALL HORIZONTAL TRANSITIONS BETWEEN DIFFERENT MATERIALS SHALL BE FLASHED CONTINUOUS FROM UP BEHIND TO UNDER UPPER MATERIAL AND EXTEND OVER TO EXTERIOR FACE OF LOWER MATERIAL.

3. ALL RETURNS OR BLIND ELEVATIONS NOT SHOWN SHALL BE SIMILAR IN MATERIAL AND MAKEUP TO ADJACENT CONDITIONS OR OTHER SIMILAR CONDITIONS.

4. SEAL ALL TRANSITIONS, CONTROL AND EXPANSION JOINTS AT ALL EXTERIOR MATERIALS.

5. INSULATE AND SEAL TO ENSURE ADEQUATE AIR INFILTRATION BARRIER AROUND ALL EXTERIOR PENETRATIONS TO PREVENT WATER AND SPRINKLER PIPE FREEZING.

6. PROVIDE POWER TO ALL BUILDING MOUNTED SIGNS. PROVIDE EXTERIOR LED LIGHTING ON PARAPET.

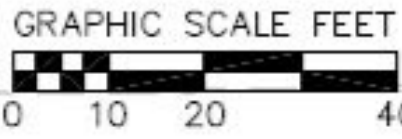
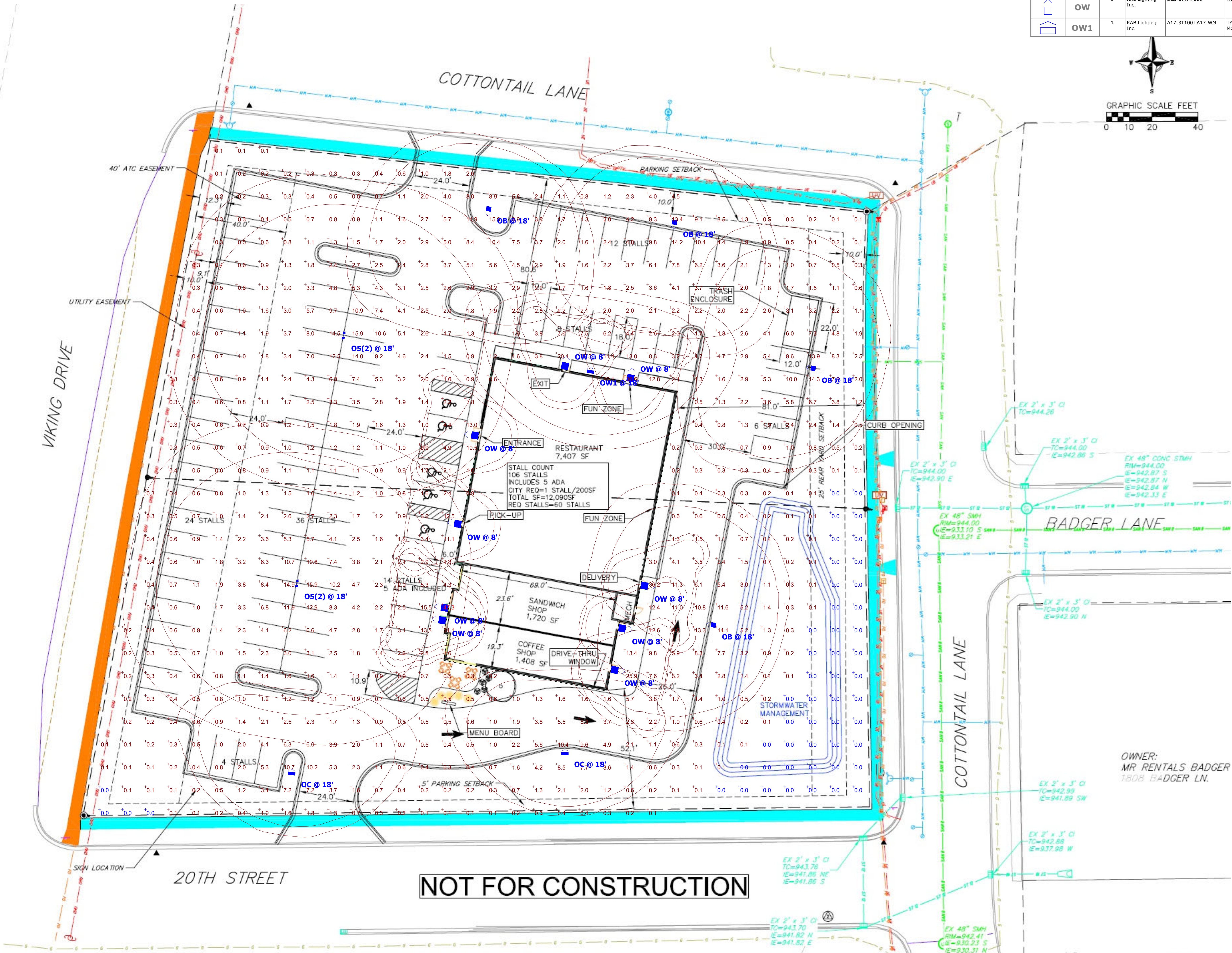




Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor
	O5(2)	2	RAB Lighting Inc.	A17-ST150	TWIN TYPE 5 AREA LIGHTS	LED 5000K	1	20022	0.9
	OB	4	RAB Lighting Inc.	A17-4T100 + A17-RHS1	TYPE 4 AREA LIGHT WITH SHIELD	LED 5000K	1	13928	0.9
	OC	2	RAB Lighting Inc.	A17-3T100+A17-RHS1	TYPE 3 AREA LIGHT WITH SHIELD	LED 5000K	1	12776	0.9
	OW	9	RAB Lighting Inc.	SLIM17FAFC60	WALLPACK	LED 5000K	1	7251	0.9
	OW1	1	RAB Lighting Inc.	A17-3T100+A17-WM	TYPE 3 AREA LIGHT WITH WALL MOUNT	LED 5000K	1	14505	0.9
								Wattage	
								296.98	

Statistics						
Description	Symbol	Avg	Max	Min	Avg/Min	Max/Min
SITE	+	2.8 fc	47.3 fc	0.0 fc	N/A	N/A

Note
Pole Mounted Fixtures = 18' AFG
15' Pole + 3' Base
FC measured at 0' AFG



Plan Commission

DATE OF MEETING: August 13, 2024

APPLICANT: KMD Development, LLC

LOCATION: 2010 Viking Dr; Parcel #s 276-2725-00000 & 276-2726-00000

PROPOSED LAND USE CHANGE: Site Plan Review

DESCRIPTION OF PROPERTY/IMPROVEMENTS: Consider site plan for new Pizza Ranch with two additional commercial spaces.

General Findings

SURROUNDING LAND USES:

- North – Multi-family Residential
- West – Multi-family Residential
- South – Funeral home
- East – Residential

ZONING:

- North – R-3 Residential
- West – R-3 Residential
- South – R-2 Residential
- East – R-2 Residential

TOPOGRAPHY: Flat slopes

STREET R.O.W./TRAFFIC/ACCESS: Viking Dr/Cottontail Ln/20th St; up to 90' ROW

ENVIRONMENTAL HAZARDS/CONDITIONS: None known

COMPREHENSIVE PLAN DESIGNATION: Commercial

COMMENTS:

POLICE:

FIRE:

PUBLIC WORKS:

UTILITIES:

SCHOOLS:

PARKS:

ADMINISTRATOR:

Site Plan Review Findings of Fact for Section 690-33(A-G)

Topography and vegetation. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property, the minimization of tree and soil removal and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.

1. The Board finds that the property is currently vacant.
2. The Board finds that a 12,090 SF commercial building is proposed.
3. The Board finds that the building would be used for a Pizza Ranch and two additional commercial spaces.
4. The Board finds that the parcel is zoned B-2.
5. The Board finds that section §690-28.2 allows IBC Assembly and Business uses by right.
6. The Board finds that the overall property is 2.01 acres.

Stormwater. Special attention shall be given to proper site drainage so that removal of stormwaters will not adversely affect neighboring properties.

1. The Board finds that a 12,090 SF commercial building is proposed.
2. The Board finds that the overall property is 2.01 acres.
3. The Board finds that a stormwater pond is proposed in the SE corner (see site plan).
4. The Board finds that 106 parking spaces are proposed.

Emergency Services. All buildings shall be so arranged as to permit emergency vehicle access by some practical means.

1. The Board finds that the property would have two 24'-wide driveways on Cottontail Ln and 20th St.

Exterior lighting shall be arranged as follows:

- It is deflected away from adjacent properties.
 - It does not impede the vision of traffic along adjacent streets.
 - It does not unnecessarily illuminate night skies.
1. The Board finds that new exterior lighting would be located at exterior exits.
 2. The Board finds that a lighting plan is attached.

Traffic generation, circulation and parking areas. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area.

1. The Board finds that a 12,090 SF commercial building is proposed.
2. The Board finds that the overall property is 2.01 acres.
3. The Board finds that the building would be used for a Pizza Ranch and two additional commercial spaces.
4. The Board finds that 106 parking spaces are proposed.

Architectural plans; existing and proposed structures. The proposed conditional land use shall be designed, constructed, operated, and maintained so to complement the surrounding area. Physical buffers shall be added as needed for neighboring conformance.

1. The Board finds that elevations plans are attached.

Consistency with other plans and statutes. Site plans shall conform to all applicable requirements of City, state and federal statutes and the City of Reedsburg Comprehensive Plan, and approval may be conditioned on the applicant receiving necessary City, state and federal permits.

1. The Board finds that future use is Commercial.

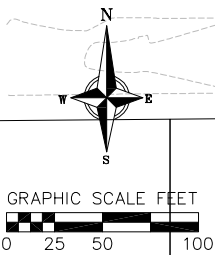
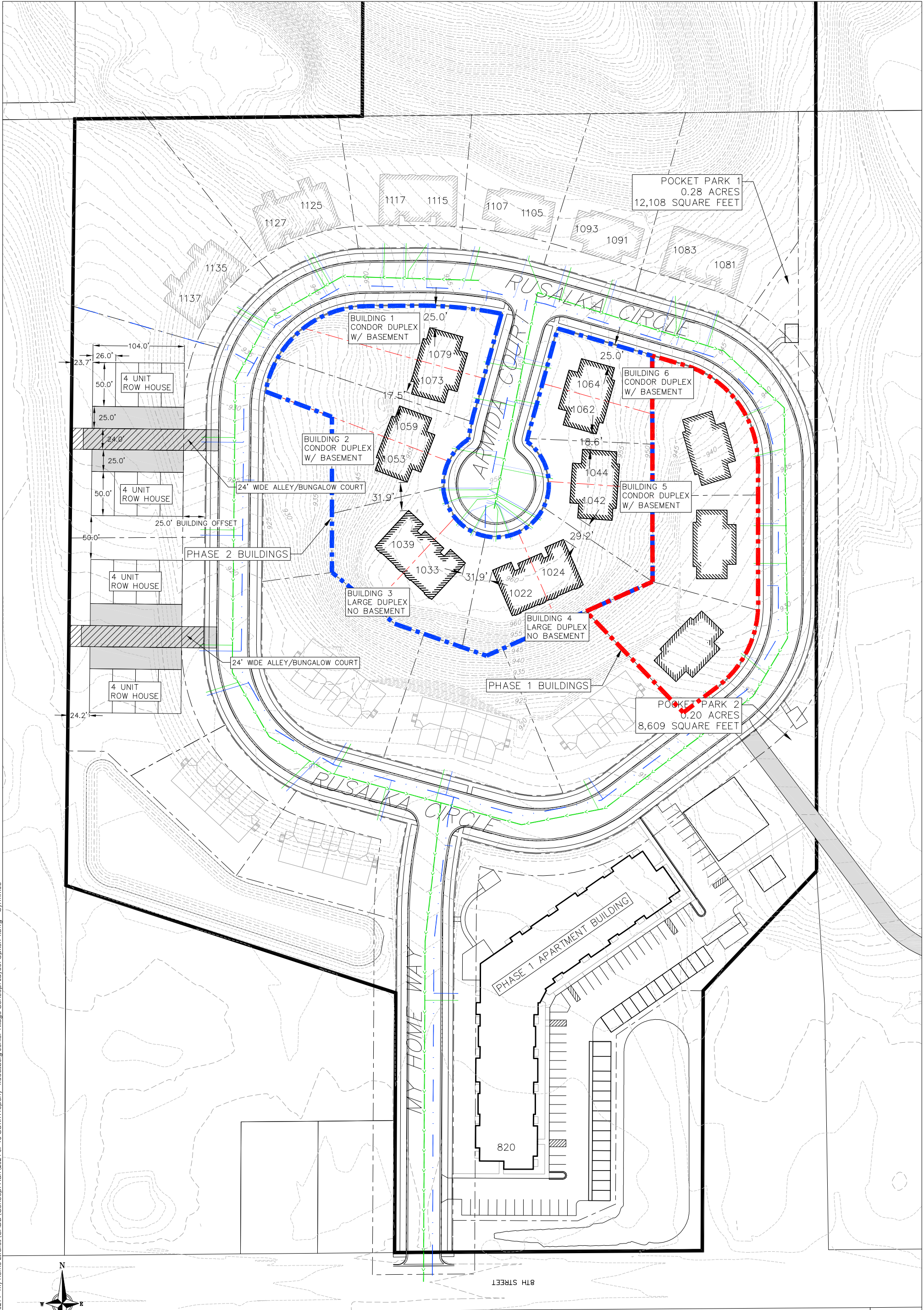
STAFF COMMENTS:

- The ordinance requires a parking space per 200 SF of space open to the public. Even using the overall square feet would only require 60 parking spaces. So the proposed 106 spaces appears excessive.
- Two more spaces are needed to serve as parking lot islands.
- A ground sign is not indicated on the plans. A condition should be added for a monument sign only if one is ever proposed in the future.
- Smaller vegetation should be added in the 10'-front setback area; taller vegetation in the rear area.

Exhibit List

- A. City of Reedsburg Comprehensive Plan
- B. Zoning Ordinance, City of Reedsburg, Wisconsin
- C. August 13, 2024, Plan Commission Agenda
- D. Land Use Change Application
- E. Staff Report
- F. Request for Review and Comment
- G. Notice of Public Meeting

R:\Reedsburg, City of\230214 - My Home Estates\CA\DD\Concept Plan\2024-07-18 Gavin Property - Reedsburg Senior Village Concept Layout Option 4.dwg by: mmuc 19 Jul 2024 - 7:47a



ORDINANCE NO. 1973-24
(Zoning Ordinance Amendments)

The City of Reedsburg, Sauk County, Wisconsin, does hereby ordain as follows:

SECTION I: PURPOSE.

This amendment would expand the scope of conditional commercial uses in the B-2 zone. Similar language is used in B-1 and B-2.

SECTION II: PROVISIONS AMENDED.

The following City of Reedsburg Code Sections are hereby amended by this Ordinance.

690 Attachment 2

Conditional Uses	Multi-family dwellings in accordance with section 17.42 Antique Store Assembly, Business and Mercantile use (per the IBC and unless otherwise stated in this chapter; see § 690-42) Automobile Service Barber Shop Beauty Shop Bed & Breakfast Establishment Book & Stationery Store Clothing Store	Drug Store Financial Institution Florist Food Store Gift Shop Hardware Store Home Business Laundry or Dry Cleaning Medical Center or Office Park or Playground	Place of Worship School Section 17.13(2) (Public and Semi-Public Uses) Locksmith Office Package Liquor Store Shoe Sales and Repair Specialty Store
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690 Attachment 3

DISTRICT	I3 – INDUSTRIAL PARK
Minimum Yard Dimensions	Total Area: 1 acre Front: 25 feet for building, 40 feet for parking. Loading dock: 60 feet Side & Rear: 10 feet excluding rail track or public alley except where adjacent to an R-Zone, in which case yard shall be not less than 25 feet excluding rail track, public alley, or street width.

SECTION III: VALIDITY.

Should any section, clause or provision of the ordinance be declared by the courts to be invalid, the same shall not affect the validity of the ordinance as a whole or any part thereof, other than the part so declared to be invalid.

SECTION IV: CONFLICTING PROVISIONS REPEALED.

All ordinances in conflict with any provisions of this ordinance are hereby repealed.

SECTION V: EFFECTIVE DATE.

This ordinance shall be in force from and after its introduction and publication as provided by statute.

SECTION VI: PART OF CODE:

This Ordinance becomes part of the City of Reedsburg Code, Chapter 690.

Dated this 9th day of September 2024.

David G. Estes, Mayor

Jacob Crosetto, Clerk/Treasurer

1st Reading at Council:
Public Hearing Noticed:
2nd Reading at Council/Public Hearing:
Published, Enactment Date:

August 12, 2024
August 22 & 29, 2024
September 9, 2024
September 19, 2024