

City Plan Commission Agenda
June 24, 2024
Reedsburg City Hall Council Chambers
5:00 PM

DUE TO THE RESTRICTIONS CAUSED BY THE COVID-19 PANDEMIC, SOME VOTING MEMBERS MAY BE PRESENT VIA TELECONFERENCE OR VIDEO CONFERENCE, AS PROVIDED BY THE RECOMMENDATIONS OF THE WISCONSIN DEPARTMENT OF JUSTICE. [HTTPS://WWW.DOJ.STATE.WI.US/NEWS-RELEASES/OFFICE-OPEN-GOVERNMENT-ADVISORY-CORONAVIRUS-DISEASE-2019-COVID-19-AND-OPEN-MEETINGS](https://www.doj.state.wi.us/news-releases/office-open-government-advisory-coronavirus-disease-2019-covid-19-and-open-meetings)

NOTICE IS HEREBY GIVEN THAT A MAJORITY OF THE MEMBERS OF THE COMMON COUNCIL MAY ATTEND THIS MEETING TO GATHER INFORMATION ABOUT A SUBJECT OVER WHICH THE COMMON COUNCIL HAS DECISION-MAKING AUTHORITY. IF A QUORUM OF THE COMMON COUNCIL ATTENDS THIS MEETING, NO ACTION WILL BE TAKEN BY THE COMMON COUNCIL AT THIS MEETING.

CALL TO ORDER

APPROVAL OF MINUTES

I. APPROVE MINUTES FOR THE MEETING HELD ON JUNE 11, 2024:

THE COMMITTEE WILL RECEIVE INFORMATION ON NON-AGENDA TOPICS BROUGHT BEFORE THE COMMITTEE BY MEMBERS OF THE PUBLIC. THE COMMITTEE WILL NOT DISCUSS THESE TOPICS, AND WILL NOT TAKE ACTION ON ANY OF THEM AT THIS MEETING

I. GENERAL BUSINESS:

- A. Consider recommending Ordinance 1972-24 to rezone properties to B-2 and I-4 for new Business Park – Parcel #s 276-2244-58200, 276-2244-58001, 276-2244-58100, 276-2244-58010 & 276-2244-58020 – City of Reedsburg
- B. Consider recommending Resolution 4550-24 Certified Survey Map to divide property into three lots and one outlot for new Business Park – Parcel # 276-2244-58200 – City of Reedsburg
- C. Consider site plan review for new Auto Medic building and parking lot. – Parcel # 276-2244-58200 – Nick Allan

II. ADJOURN:



The City of Reedsburg does not discriminate on the basis of disability in the admissions or access to, or treatment of or employment in, its programs or activities. Disability-related aids or services, including printed information in alternate formats, to enable persons with disabilities to participate in public meetings and programs are available by calling (608) 524-6404. To be able to meet the needs of a request for a different format contact the City Clerk-Treasurer at 134 S. Locust Street, Reedsburg, WI at least 48 hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

Reedsburg Plan Commission
June 11, 2024



Mayor Dave Estes called the meeting of the Reedsburg Plan Commission to order at 5:15 PM in Reedsburg City Hall.

Present: Alder Mike Gargano, Alder Sonny Hyde, Steve Zibell, Beth DeForge, Derek Horkan

Absent: Dan DeBaets

Staff: Tim Becker, Brian Duvalle

Approval of Plan Commission Minutes: Motion by Gargano, seconded by Hyde to approve the 5/13/24 meeting minutes.

Motion approved

Consider Conditional Use Permit / Planned Development Group for a 4-unit townhouse per §690-28.2 – 17 Lois Dr; parcel #s 2554 – Scott & Kevin Looye

The development would have 22'-wide townhouses, an approximate 88'-wide driveway and be accessed from Old Loganville Rd. Neighbor Paul Grosskrueger complained about trash blowing onto his fields from past construction. The Looyes stated they would better address that with this construction site. The townhouse and driveway widths would require a waiver from City Council under the PDG ordinance.

Approval of Plan Commission Minutes: Motion by Gargano, seconded by Hyde to recommend approval as presented.

Motion approved

Discuss fence at 81 W Main St

Discussion held on this auto repair property and a new junk trailer that was recently brought into it, including past decisions on not requiring fences for towing businesses and the commission being able to review higher fence heights. The commission believes a permanent 8'-high fence would be more of a detriment to the property.

Review updates

Auto Medic and business park condos will be reviewed at upcoming meetings.

Motion by Gargano, seconded by DeForge to adjourn at 6:25 PM.

Motion approved

Respectfully submitted,

Brian Duvalle
Planner/Building Inspector

ORDINANCE NO. 1972-24
(Zoning Change – Parcel 276-2244-58200, Parcel 276-2244-58001, Parcel 276-2244-58100, Parcel 276-2244-58010 & Parcel 276-2244-58020)

The City of Reedsburg, Sauk County, Wisconsin, does hereby ordain as follows:

SECTION I: PURPOSE.

Consider rezoning properties to B-2 Business and I-4 Business Center for the new Business Park.

SECTION II: PROVISION AMENDED.

The zoning map for the City of Reedsburg as set forth in the official map provided for in the Ordinances for the City of Reedsburg is hereby permanently amended to zone the territory listed below in the manner set forth below.

SECTION III: PROPERTY ZONING

Parcel 276-2244-58200
Parcel 276-2244-58001
City of Reedsburg, Wisconsin, are hereby zoned B-2 Business

Parcel 276-2244-58100
Parcel 276-2244-58010
Parcel 276-2244-58020
City of Reedsburg, Wisconsin, are hereby zoned I-4 Business Center

A property map may be obtained or accessed from the City Clerk at Reedsburg City Hall, 134 S. Locust St, Reedsburg, WI; (608) 524-6404; www.reedsburgwi.gov .

SECTION IV: VALIDITY.

Should any section, clause or provision of the ordinance be declared by the courts to be invalid, the same shall not affect the validity of the ordinance as a whole or any part thereof, other than the part so declared to be invalid.

SECTION V: CONFLICTING PROVISIONS REPEALED.

All ordinances in conflict with any provisions of this ordinance are hereby repealed.

SECTION VI: EFFECTIVE DATE.

This ordinance shall be in force from and after its introduction and publication as provided by statute.

SECTION VII: PART OF CODE:

This Ordinance becomes part of the City of Reedsburg Code, Chapter 690.

Dated this 22nd day of July, 2024.

David G. Estes, Mayor

Jacob Crosetto, Clerk/Treasurer

1st Reading at Council:
Public Hearing Noticed:
2nd Reading at Council/Public Hearing:
Published, Enactment Date:

June 24, 2024
July 4, 2024 & July 11, 2024
July 22, 2024
August 1, 2024

RESOLUTION
(CSM – 3100 E Main St; Parcel #276-2244-58200)

File No. 4550-24

Resolved, that this Certified Survey located in the City of Reedsburg is hereby approved by the Common Council of the City of Reedsburg.

STATE OF WISCONSIN)
COUNTY OF SAUK)

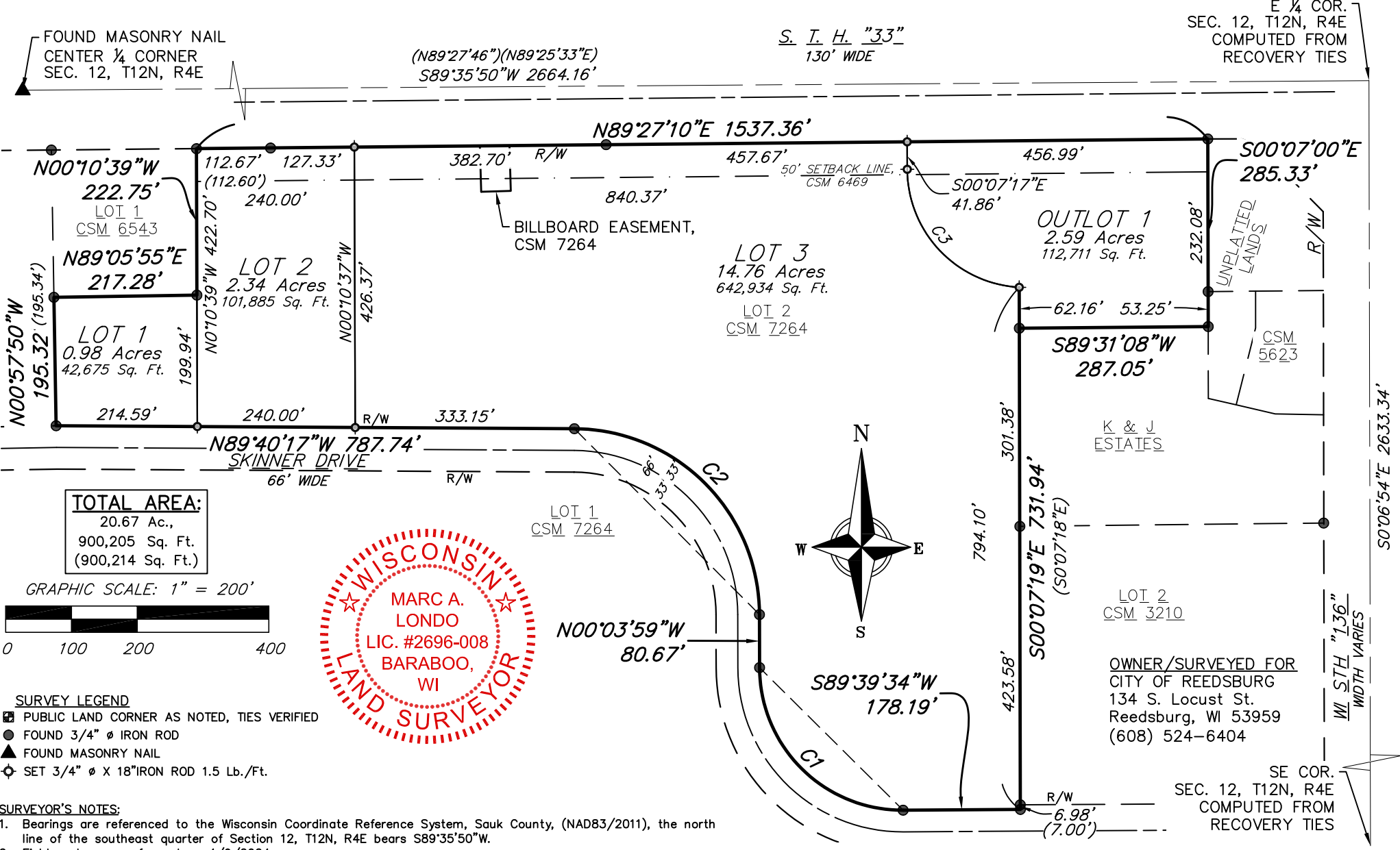
I hereby certify that the foregoing resolution is a true, correct and complete copy of a resolution duly and regularly passed by the Common Council of the City of Reedsburg on the 24th day of June, 2024, and that said resolution has not been repealed or amended, and is now in full force and effect.

Dated this 24th day of June, 2024.

Jacob Crosetto
City Clerk

SAUK COUNTY CERTIFIED SURVEY MAP No.

LOT 2 OF SAUK COUNTY CERTIFIED SURVEY MAP NO. 7264 RECORDED AS DOCUMENT NO. 1246969 IN VOLUME 45 OF CERTIFIED SURVEY MAPS, PAGES 7264. 7264A, 7264B, 7264C AND 7264D, ALL IN THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 12, T12N, R4E, CITY OF REEDSBURG, SAUK COUNTY, WISCONSIN



REVISIONS		SCALE	1" = 200'	SHEET
		CHECKED	wbul	1 OF 2
		DRAFTER	mlon	
		FILE	210134 - CSM	
		DATE	4/11/2024	
		JOB NO.	210134	



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SAUK COUNTY CERTIFIED SURVEY MAP No.

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7264A, 7264B, 7264C AND 7264D, ALL IN THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF
SECTION 12, T12N, R4E, CITY OF REEDSBURG, SAUK COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, Marc Londo, Wisconsin Professional Land Surveyor, hereby certify that I have surveyed, divided and mapped a parcel of land located in Lot 2 Sauk County Certified Survey Map No. 7264, located in the NE ¼ and the NW ¼ of the SE ¼ of Section 12, T12N, R4E, City of Reedsburg, Sauk County, Wisconsin containing 20.67 acres and is described as follows.

Lot 2 of Sauk County Certified Survey Map No. 7264 recorded as Document No. 1246969 in Volume 45 of Certified Survey Maps, Pages 7264, 7264A, 7264B, 7264C and 7264D, all in the Northeast Quarter and the Northwest Quarter of the Southeast Quarter of Section 12, T12N, R4E, City of Reedsburg, Sauk County Wisconsin.

Certified Survey Map contains 20.67 Ac., 900,205 Sq. Ft., and is subject to all other easements and rights of way of record.

That such plat is a correct representation of all exterior boundaries of the land surveyed and the subdivision thereof made.

That I have made such survey and land division by the direction of Steve Zibell, City Engineer for the City of Reedsburg.

That I have fully complied with the requirements of Chapter 236.34 of the Wisconsin State Statutes, Chapter A-E 7 of the Wisconsin Administrative Code, the subdivision regulations of the City of Reedsburg.

Marc A. Londo, PLS-2696
Date _____

CITY OF REEDSBURG APPROVAL CERTIFICATE

Resolved, that this Certified Survey Map in the City of Reedsburg, the City of Reedsburg, owner, is hereby approved by the City of Reedsburg Common Council.

Dave G. Estes, Mayor Date
I, Jacob Crosetto, being the duly elected, qualified and acting clerk of the City of Reedsburg, Sauk County do hereby certify that the Common Council of the City of Reedsburg has approved this Certified Survey Map.

Jacob Crosetto, Clerk *Date*

OWNER'S CERTIFICATE OF DEDICATION

As owners agent, I Dave G. Estes, Mayor of the City of Reedsburg, hereby certify that I caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this Certified Survey Map. I also certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

The City of Reedsburg

WITNESS the hand and seal of said owners agen this _____ day of _____, 2024.
In presence of:

Dave G. Estes, Mayor of City of Reedsburg Date

STATE OF WISCONSIN)
COUNTY) SS

Personally came before me this _____ day of _____, 2024, the above named Dave G. Estes to me known to be the same person who executed the foregoing instrument and acknowledged the same.

Notary Public, _____
Wisconsin
My commission expires _____

REGISTER OF DEEDS CERTIFICATE

Received for recording this _____ day of _____, 2024, at _____

_____ o'clock _____m. and recorded in Volume _____

of Certified Survey Maps on pages _____

as Doc. No. _____

Brent Bailey,
Sauk County Register of Deeds

Curve Table							
Curve #	Arc Len.	Radius	Delta	Ch. Len.	Ch. Dir.	Tangent In	Tangent Out
C1	341.90'	217.00'	90°16'27"	307.62'	N45°12'13"W	S89°39'34"W	N00°03'59"W
C2	442.58'	283.00'	89°36'17"	398.84'	N44°52'08"W	N00°03'59"W	N89°40'17"W
C3	272.65'	180.00'	86°47'13"	247.32'	S43°30'54"E	S00°07'17"E	S86°54'30"E

12 Jun 2024 - 2:49p R:\Auto Medic LLC\240117 Auto Medic - Reedsburg\CADD\240117 Auto Medic - CSM.dwg by: mlon

A circular red seal for a Wisconsin Land Surveyor. The outer ring contains the text "WISCONSIN" at the top and "LAND SURVEYOR" at the bottom, separated by two five-pointed stars. The center of the seal contains the text "MARC A. LONDO", "LIC. #2696-008", and "BARABOO, WI" in three lines. The seal is surrounded by a decorative border of small dots.



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SHEET

2010

SCALE

CHECKED

DRAFTER

FILE

REVISIONS

JOB NO. 210134

City of Reedsburg Land Use Application

134 S. Locust St.
PO Box 490
Reedsburg, WI 53959

Ph: 608-524-6404
Fax: 608-524-8458
bduvalle@ci.reedsburg.wi.us

APPLICANT: Nick Allan

ADDRESS 2035 E Main St **CITY:** Reedsburg **STATE:** Wisconsin
: ZIP: 53959 **PHONE:** (608) 415-1111 **PARCEL #:** TBD
E- MAIL: N/A

PROPERTY OWNER: (if different from Applicant) _____

LOCATION: (if different from address above) Lot 2 Of Proposed CSM

LAND USE REQUEST

(Please describe one or more as applicable – attach extra pages/maps if necessary)

☐ **Certified Survey Map (CSM):** for Review

☐ **Conditional Use Permit:** _____

For *CONDITIONAL USE PERMIT* requests, also answer "A, B & C" on back page.

☐ **Preliminary Plat:** _____ **Final Plat:** _____ **Name of Plat:** _____

☐ **Rezoning - From:** _____ **To:** _____ **TID #** _____

☐ **Site Plan Review:** (See "B & C" on back page) _____

☐ **Zoning Appeal / Interpretation:** _____

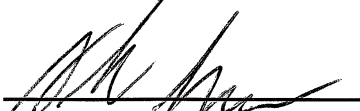
☐ **Zoning Variance:** _____

For *VARIANCE* requests, also answer "D" on back page.

☐ **Other or Annexation:** _____

AFFIDAVIT

I certify that the information and plans submitted are true and accurate to the best of my knowledge. I also give permission to City zoning officials to enter my property for inspection purposes and for a temporary Zoning sign to be placed in my yard prior to the meeting.



Applicant Signature / Date

Owner Signature / Date

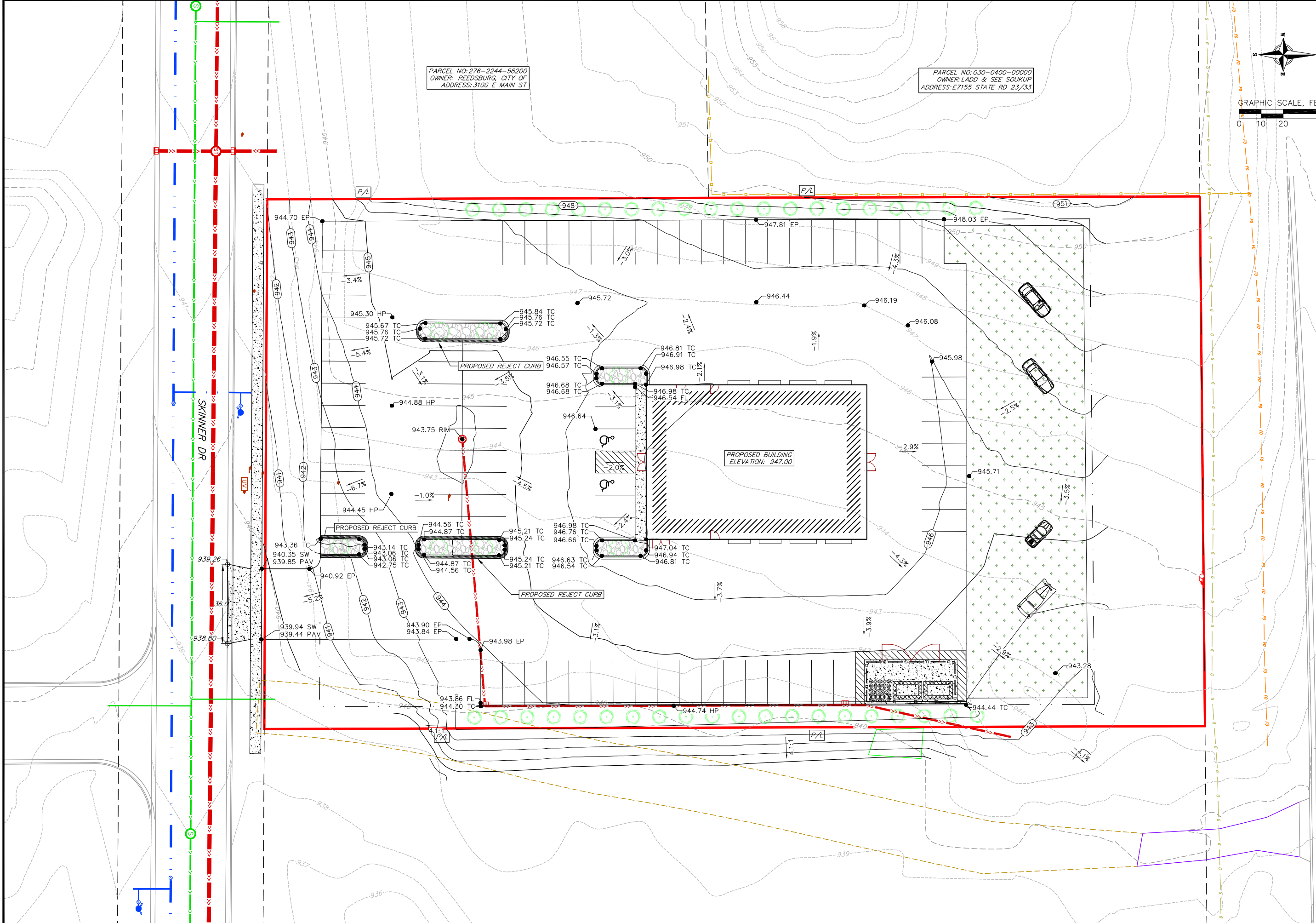
Account #10-461500-00

***The applicant or representative
MUST ATTEND the meeting(s).***

G:\wpnet\Zoning - Planning\Land Use Appl.doc

Cond Use Permit	\$200	_____
Cond Use-Agriculture	\$400	_____
Variance	\$125	_____
Rezoning	\$200	_____
C.S.M.	\$175	_____
Subdivision Plat	\$610	_____
- w/ Stormwater Plan	\$100	_____
Site Plan Review	\$175	<u>x</u>
Annexation	\$200	_____
Plan Amend	\$200	_____
Date Paid	<u>10-18-24</u>	_____
Receipt #	<u>1.047701</u>	_____

10 Jun 2024 - 4:29p R:\Auto Medic LLC\240117 Auto Medic - Reedsburg\CADD\240117 Auto Medic - Grading Plan.dwg by: tkn © Vierbicher Associates, Inc.



PARCEL NO. 276-2244-58200
OWNER: REEDSBURG, CITY OF
ADDRESS: 3100 E MAIN ST

PARCEL NO. 030-0400-00000
OWNER: LADD & SEE SOUKUP
ADDRESS: E7155 STATE RD 23/33

GRAPHIC SCALE, FEET
0 10 20 40

N

GRADING PLAN
AUTO MEDIC LLC
CITY OF REEDSBURG
SAUK COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

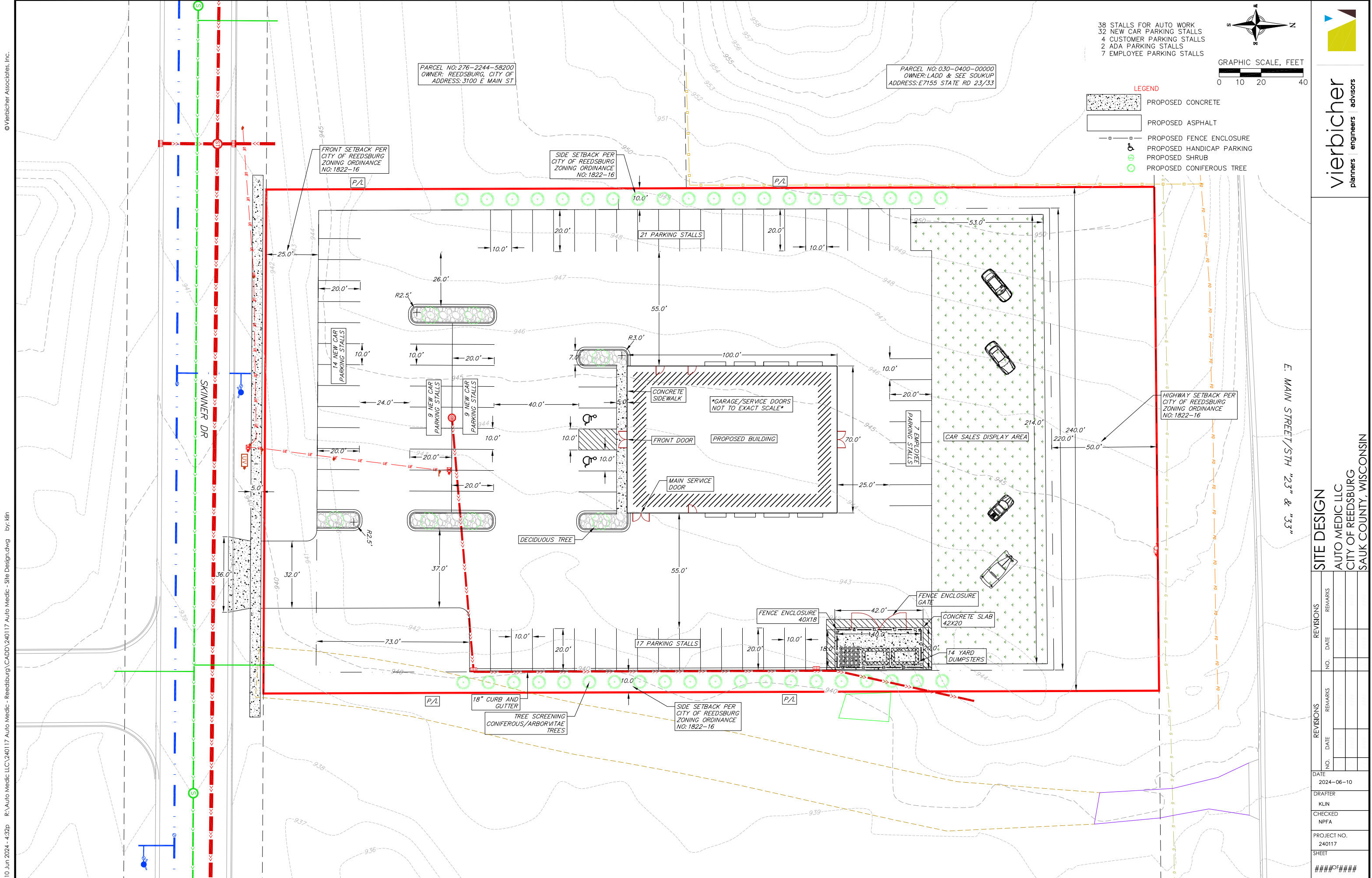
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2024-06-10

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PROJECT NO.
240117

SHEET
OF



10 Jun 2024 - 4:32p R:\Auto Medic LLC\240117 Auto Medic - Reedsburg\CADD\240117 Auto Medic - Site Design.dwg by: klin



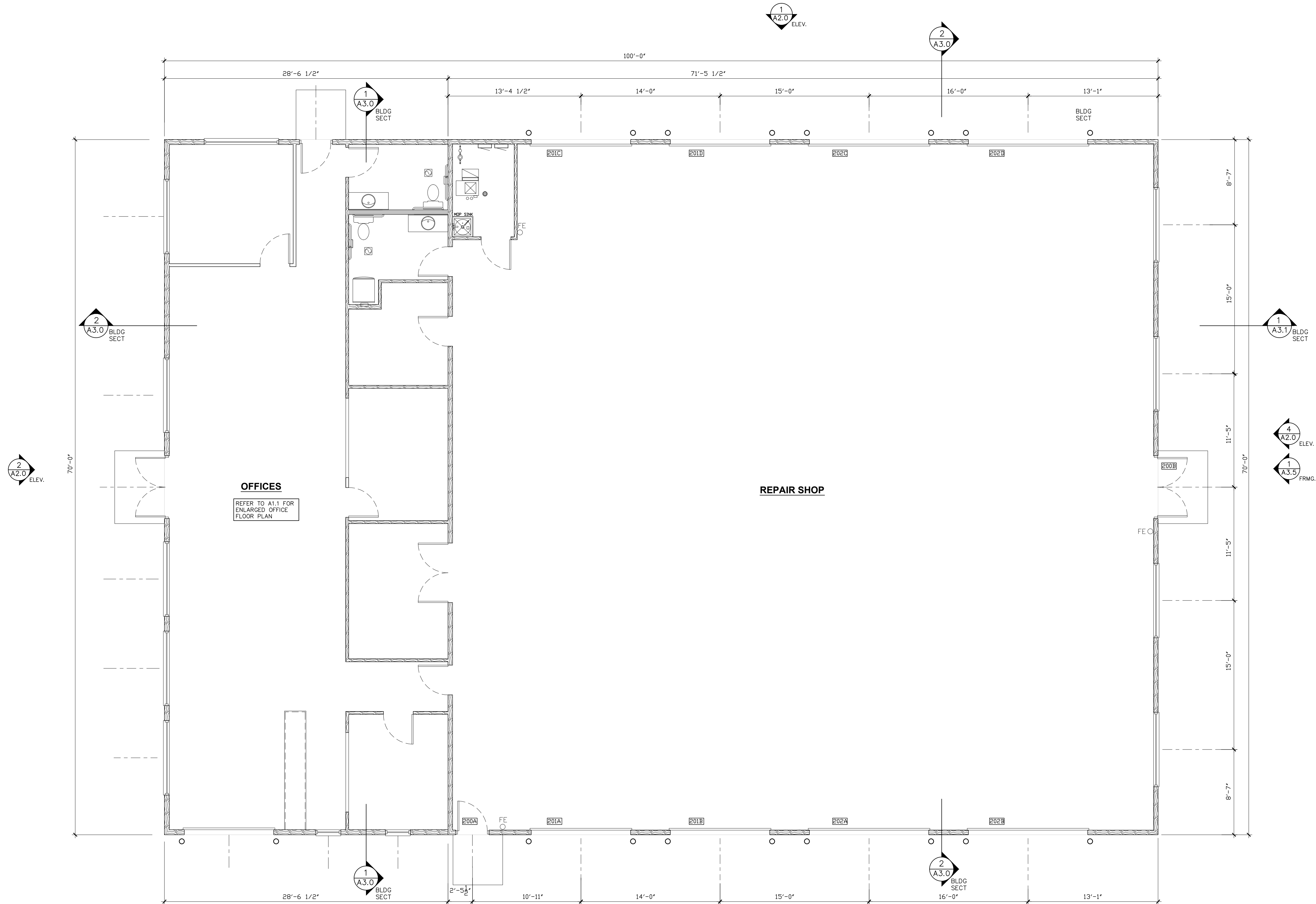
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planners engineers advisors

SITE DESIGN

AUTO MEDIC LLC
CITY OF REEDSBURG
SAUK COUNTY, WISCONSIN

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 2024-06-10
DRAFTER: KLIN
CHECKED: NPFA
PROJECT NO.: 240117
SHEET: #####



1 OVERALL FLOOR PLAN
3/16"=1'-0"

GENERAL CONTRACTOR:

PROJECT TITLE:
**AUTO MEDIC
7,000 S.F. BUILDING**
PROJECT LOCATION:
**SKINNER DRIVE
REEDSBURG, WI 53958**

DATE / SET - TYPE
5/10/24 PRELIMINARY

DRAWN BY:

REVISIONS	
NO.	DATE

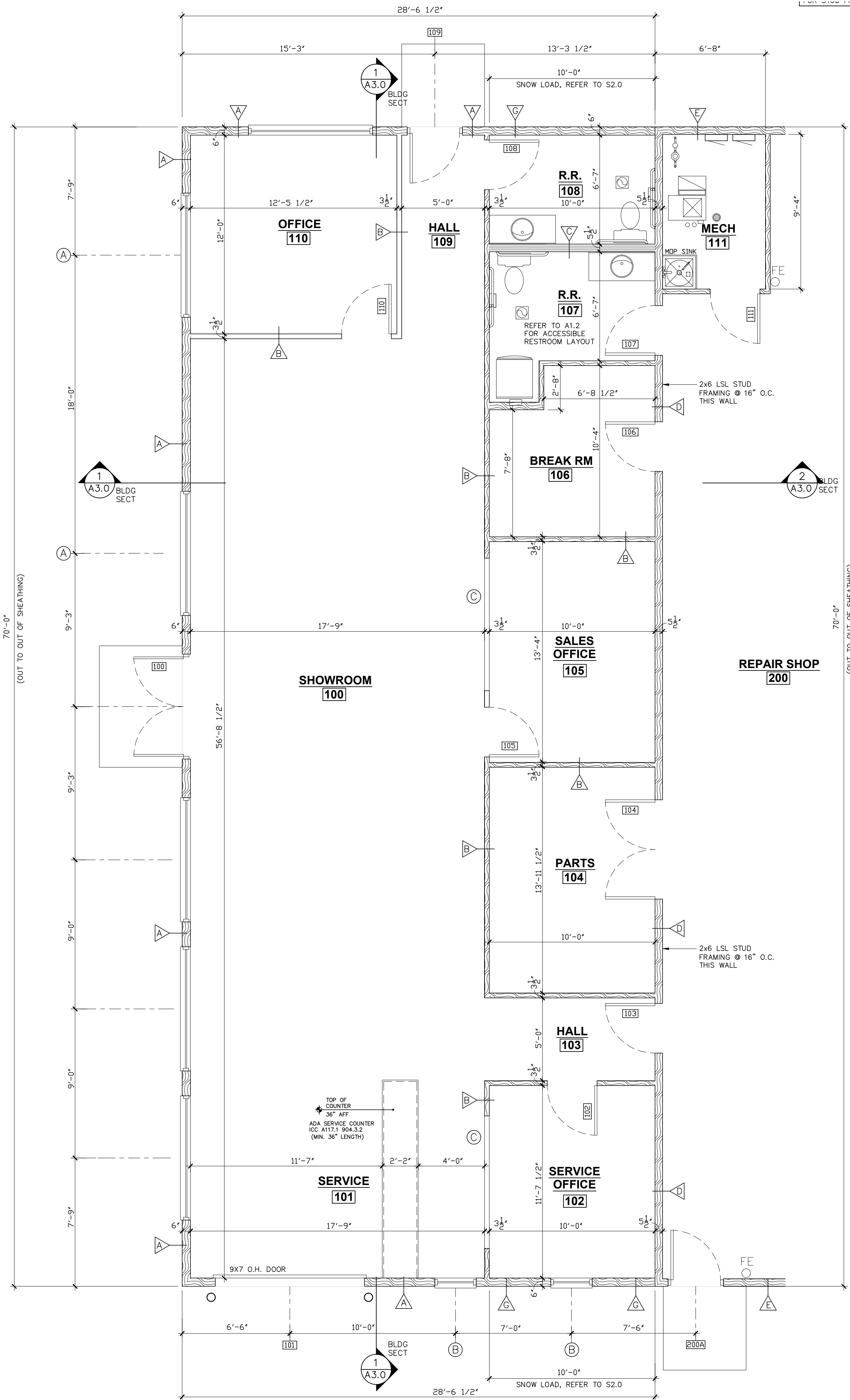
SHEET TITLE

FLOOR PLAN

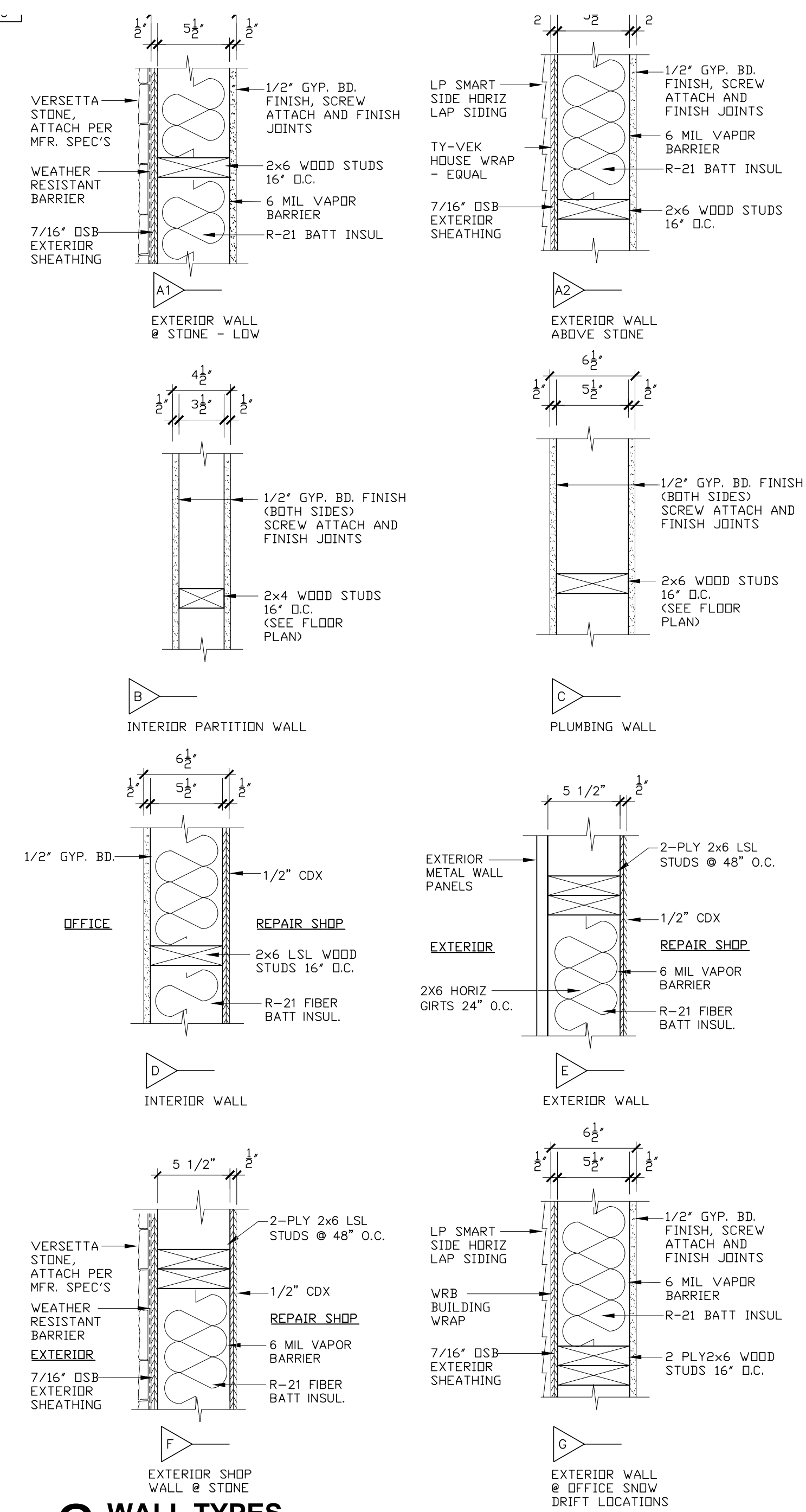
SHEET NO.

Eskay Architecture
- Commercial
- Industrial
- Residential
Onalaska, WI 54650 Ph: 608-317-1565
Email: eskayarchitect@gmail.com
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the State of Wisconsin. I am not providing any professional services outside the scope of my registration. The information contained in these drawings was prepared for the specific site/ project and is not to be used for any other project without the prior written consent of the architect. ©2024

A1.0



1 OFFICE FLOOR PLAN
1/4"=1'-0"



GENERAL CONSTRUCTION NOTES

1. OBSERVE ALL STATE, LOCAL CODES AND O.S.H.A. SAFETY STANDARDS
2. SEE BUILDING SECTION/NOTES FOR EXTERIOR WALL CONSTRUCTION, CONSTRUCTION METHODS AND SPECIFICATIONS.
3. ALL DOORS SELECTED FOR INSTALLATION SHALL BE APPROVED BY THE OWNER.
4. ALL DOOR HARDWARE TO MEET ICC/ANSI A117.1, SECTION 404.26 FOR OPERABILITY.
5. FINAL SELECTIONS OF COLORS / MATERIALS / FINISHES TO BE APPROVED BY OWNER.
6. DOOR LOCATIONS ARE AS SHOWN ON PLAN, CENTERED ON SHORT WALLS OR PROVIDE 4" OF FRAMING ON THE SIDE SHOWN ON THE PLAN. HINGE AND DOOR SWING AS SHOWN.
7. SEE BUILDING SECTION/NOTES FOR EXTERIOR WALL CONSTRUCTION, CONSTRUCTION METHODS AND SPECIFICATIONS.
8. (A) DENOTES WINDOW TYPE. SEE WINDOW SCHEDULE SHEET A1.4
9. (100) DENOTES DOOR TYPE. SEE DOOR SCHEDULE SHEET A1.4
10. ATTIC VENTILATION - NET FREE AREA NOT LESS THAN 1/300 OF VENTILATION AREA.
11. PROVIDE INSULATION THICKNESS MARKERS LABELED FOR INCHES INSTALLED PER EVERY 300 SQ. FT. IN ATTIC SPACE. NUMBERS MIN. 1" TALL, AFFIXED TO TRUSSES, FACING ATTIC ACCESS.
12. FIRE EXTINGUISHERS SHALL BE PROVIDED PER IBC SECTION 906 AND MAINTAINED PER NFPA 10. LOCATION PER LOCAL FIRE MARSHALL.
13. PROVIDE ATTIC ACCESS (MIN. 22" x 30") & MIN 30" HEADROOM CLEARANCE, (1) AT EACH ATTIC AREA AS SHOWN ON PLANS. VERIFY LOCATION COORDINATE WITH LIGHTING AND CEILING MOUNTED ITEMS.
14. ELECTRICAL DESIGNER/CONTRACTOR TO VERIFY ALL ELECTRICAL REQUIREMENTS FOR LIGHTING AND RECEPTACLES.
15. PLUMBING DESIGNER/CONTRACTOR TO VERIFY ALL PLUMBING REQUIREMENTS FOR THIS PROJECT. VERIFY PLUMBING TIE IN LOCATIONS AND COORDINATE WITH FIXTURE LAYOUT. PROVIDE AIR GAPS, BACK FLOW PREVENTERS AND CLEAN OUTS WHERE REQD.
16. MEP CONTRACTORS ARE RESPONSIBLE FOR ANY CUTTING AND PATCHING AS NEEDED FOR THE INSTALL OF THEIR WORK. GENERAL CONTRACTOR TO COORDINATE WITH MEP DESIGNERS/CONTRACTORS.

Commercial - Residential
Eskay Architecture
Onalaska, WI 54650 Ph: 608-317-1565
Email: eskayarchitect@gmail.com

GENERAL CONTRACTOR:

PROJECT TITLE:
AUTO MEDIC
7,000 S.F. BUILDING
PROJECT LOCATION:
SKINNER DRIVE
REEDSBURG, WI 53958

DATE / SET - TYPE
5/10/24 PRELIMINARY

DRAWN BY:

REVISIONS	
NO.	DATE

SHEET TITLE

OFFICE
FLOOR PLAN

SHEET NO.

A1.1

GENERAL CONTRACTOR:

PROJECT TITLE:
AUTO MEDIC
7,000 S.F. BUILDING
PROJECT LOCATION:
SKINNER DRIVE
REEDSBURG, WI 53958

DATE / SET -TYPE
5/10/24 PRELIMINARY

DRAWN BY:

REVISIONS

NO. DATE

SHEET TITLE

RESTROOM PLANS
AND DETAILS

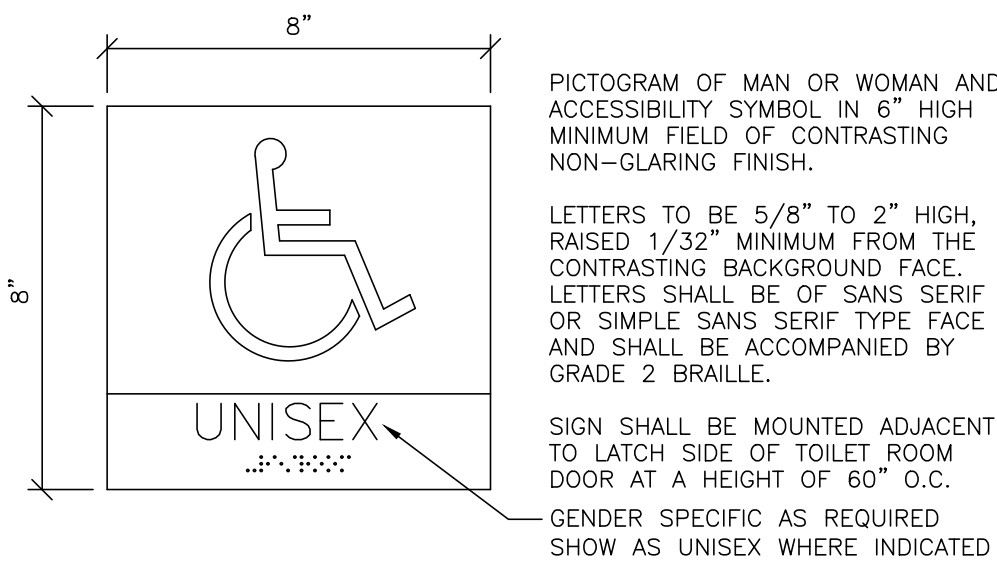
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A1.3

GENERAL TOILET ROOM REQUIREMENTS

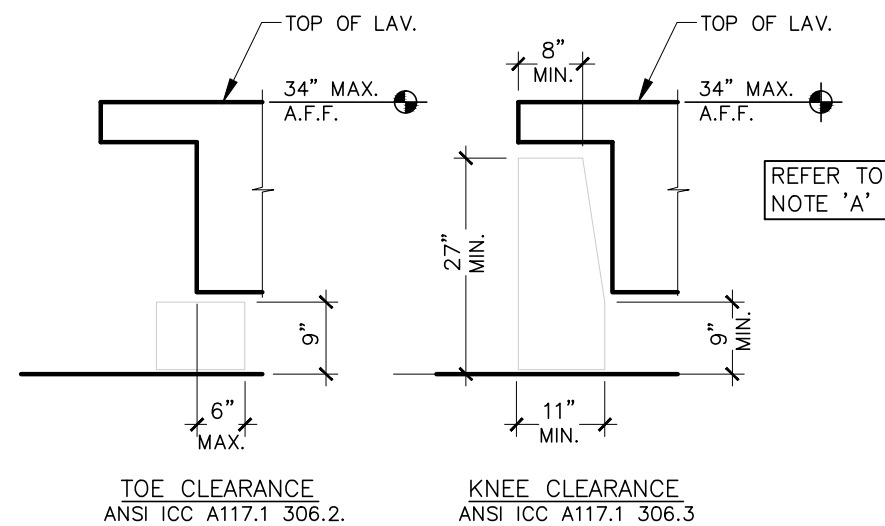
- HOT WATER AND DRAIN PIPES ACCESSIBLE UNDER PUBLIC LAVATORIES SHALL BE INSULATED OR OTHERWISE PROTECTED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
- CONTROLS FOR URINAL AND WATER CLOSET FLUSH VALVES SHALL BE MOUNTED ON THE WIDE CLEARANCE SIDE OF THE FIXTURE. THE FAUCET AND OPERATING MECHANISM CONTROLS SHALL BE OPERABLE WITH ONE HAND, SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST, AND SHALL BE NO MORE THAN 44 INCHES ABOVE THE FLOOR.
- THE FORCE REQUIRED TO ACTIVATE FLUSH CONTROL VALVES, FAUCETS, AND OTHER OPERATING MECHANISM CONTROLS SHALL BE NO GREATER THAN 5 FOOT POUNDS.
- WHERE TOWEL, SANITARY NAPKIN, WASTE RECEPTACLE, AND OTHER SIMILAR DISPENSING AND DISPOSAL FIXTURES ARE PROVIDED, AT LEAST ONE OF EACH TYPE SHALL BE LOCATED WITH ALL OPERABLE PARTS, INCLUDING COIN SLOTS, 40 INCHES OR LESS ABOVE THE FINISHED FLOOR.
- TOILET TISSUE DISPENSERS SHALL BE LOCATED ON THE WALL WITHIN 12 INCHES OF THE FRONT EDGE OF THE TOILET SEAT AND NO LOWER THAN 19 INCHES FROM THE FLOOR. DISPENSERS THAT CONTROL DELIVERY OR THAT DO NOT PERMIT CONTINUOUS PAPER FLOW SHALL NOT BE USED.
- THE DIAMETER OR WIDTH OF GRIPPING SURFACES OF A GRAB BAR SHALL BE 1.25 TO 1.5 INCHES OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. IF GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1.5 INCHES MINIMUM.
- THE DIAMETER OR WIDTH OF GRIPPING SURFACES OF A GRAB BAR SHALL BE 1.25 TO 1.5 INCHES OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. IF GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1.5 INCHES MINIMUM. THE GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT TO IT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.125 INCH.

FIXTURE SCHEDULE		
MARK	FIXTURE	MOUNTING HEIGHTS
WATER CLOSETS		
(WC-1)	TOILET (18" H)	SEAT 18 INCHES A.F.F. - ELONGATED BOWL
LAVATORIES		
(LAV-1)	SINK	34" MAX HEIGHT, INSULATED P-TRAP
ACCESSORIES		
(GB-1)	36" LONG GRAB BAR	34 INCHES A.F.F. TO CENTERLINE
(GB-2)	42" LONG GRAB BAR	34 INCHES A.F.F. TO CENTERLINE
(GB-3)	18" VERTICAL GRAB BAR	49 INCHES A.F.F. TO CENTERLINE
(TP-1)	TOILET PAPER DISPENSER	14-19 INCHES A.F.F.
(PT-1)	PAPER TOWEL DISPENSER	MOUNT @ 44 INCHES A.F.F. TO DISPENSER - FURNISHED BY OWNER
(SD-1)	SOAP DISPENSER	44 INCHES MAX
(MIR-1)	MIRROR	40" MIN. TO BOTTOM



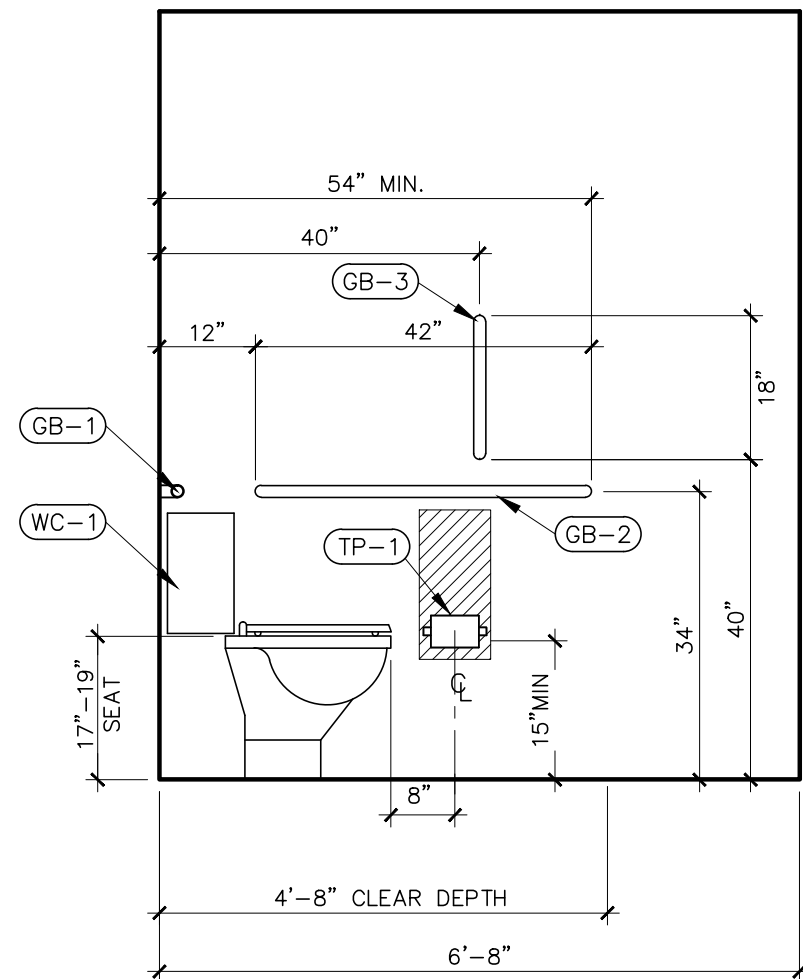
4 TYPICAL RESTROOM SIGNAGE

N.T.S.



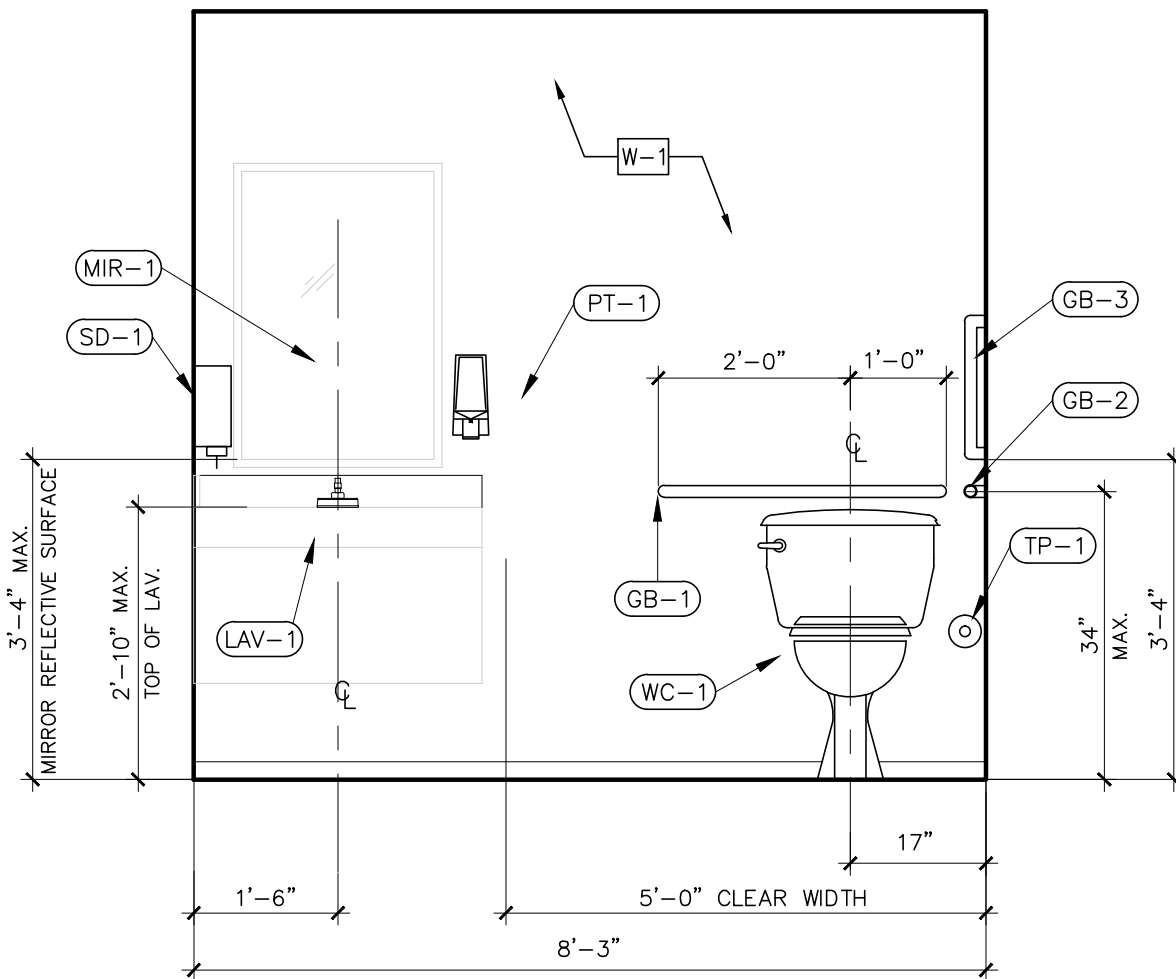
5 LAV. TOE & KNEE CLEARANCE

N.T.S.



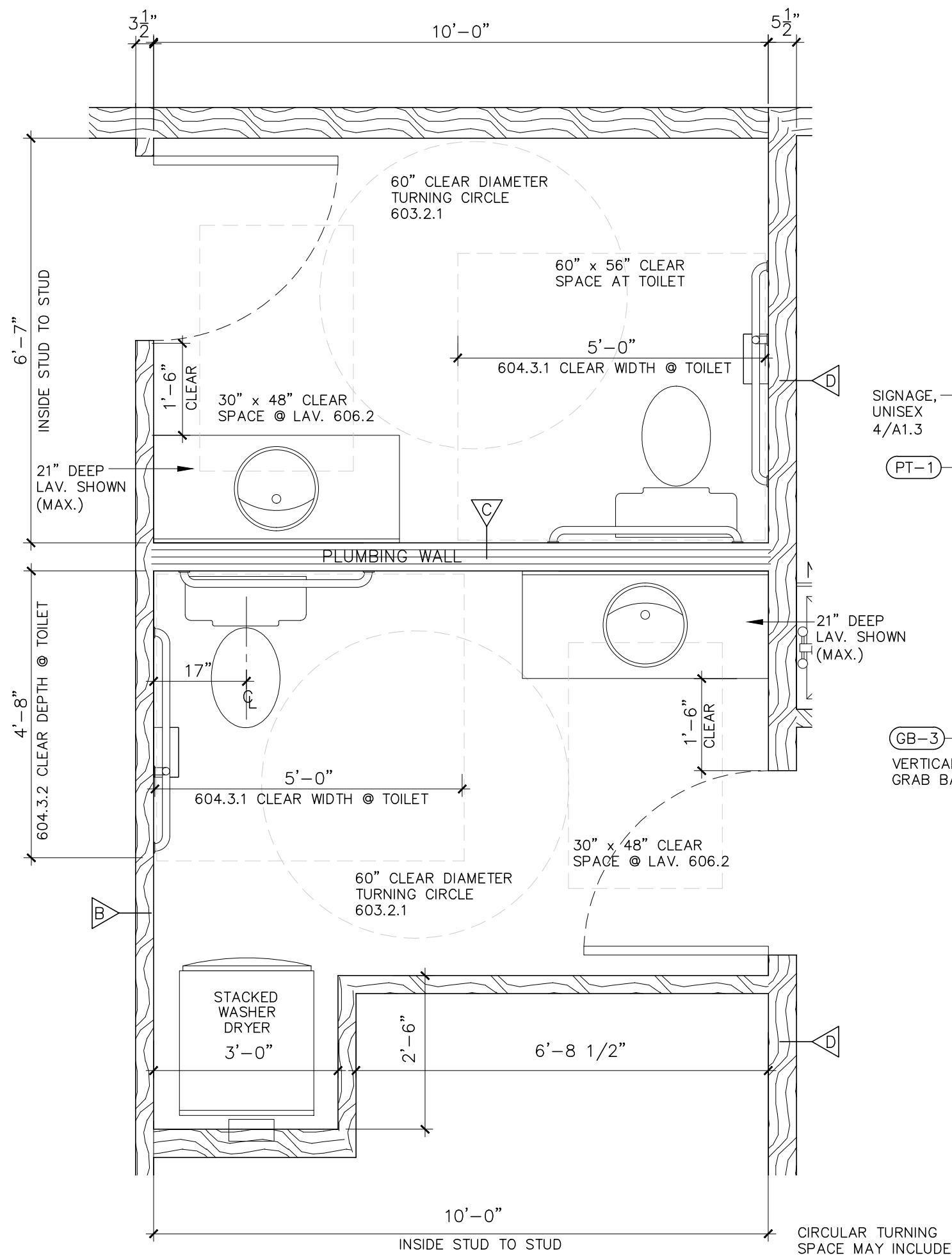
3 RESTROOM ELEVATION

1/2" = 1'-0"



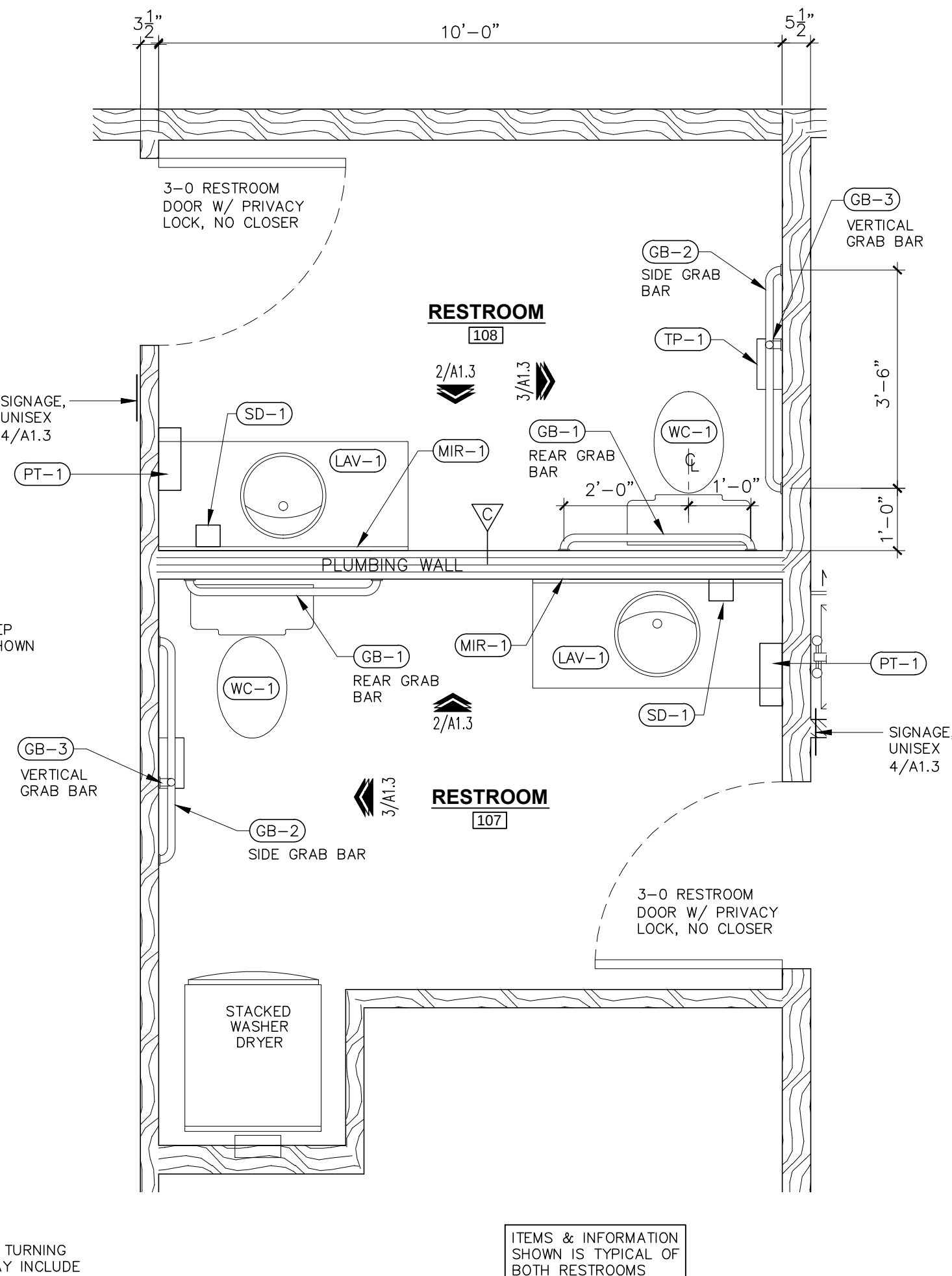
2 RESTROOM ELEVATION

1/2" = 1'-0"



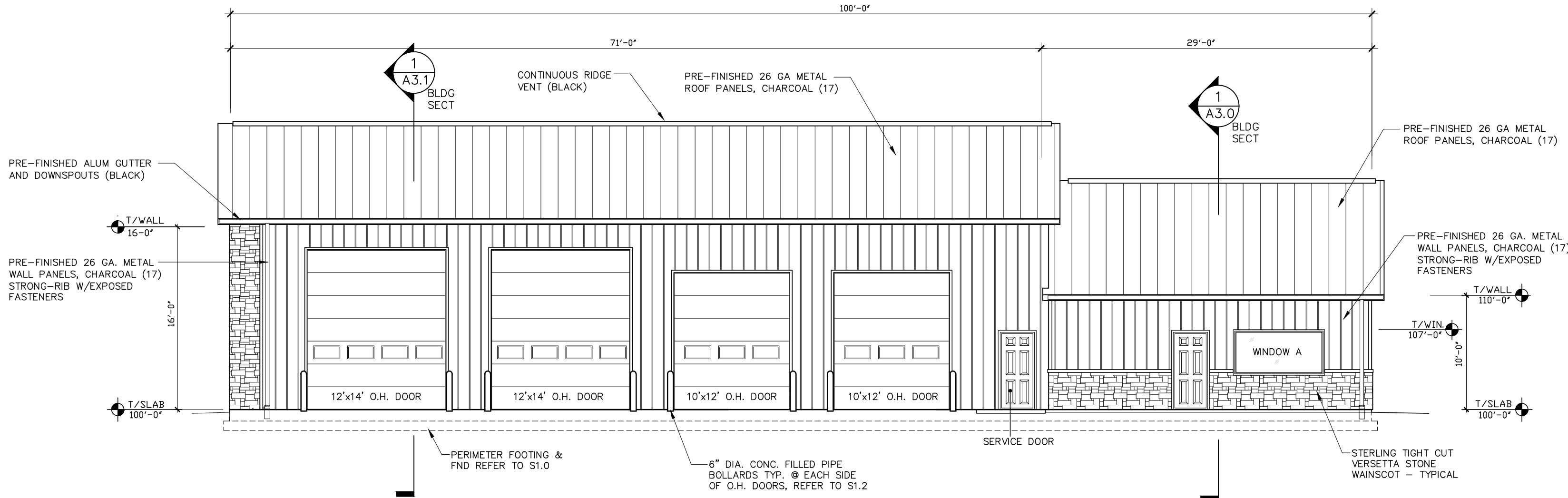
1B CLEAR FLOOR AREAS

1/2" = 1'-0"

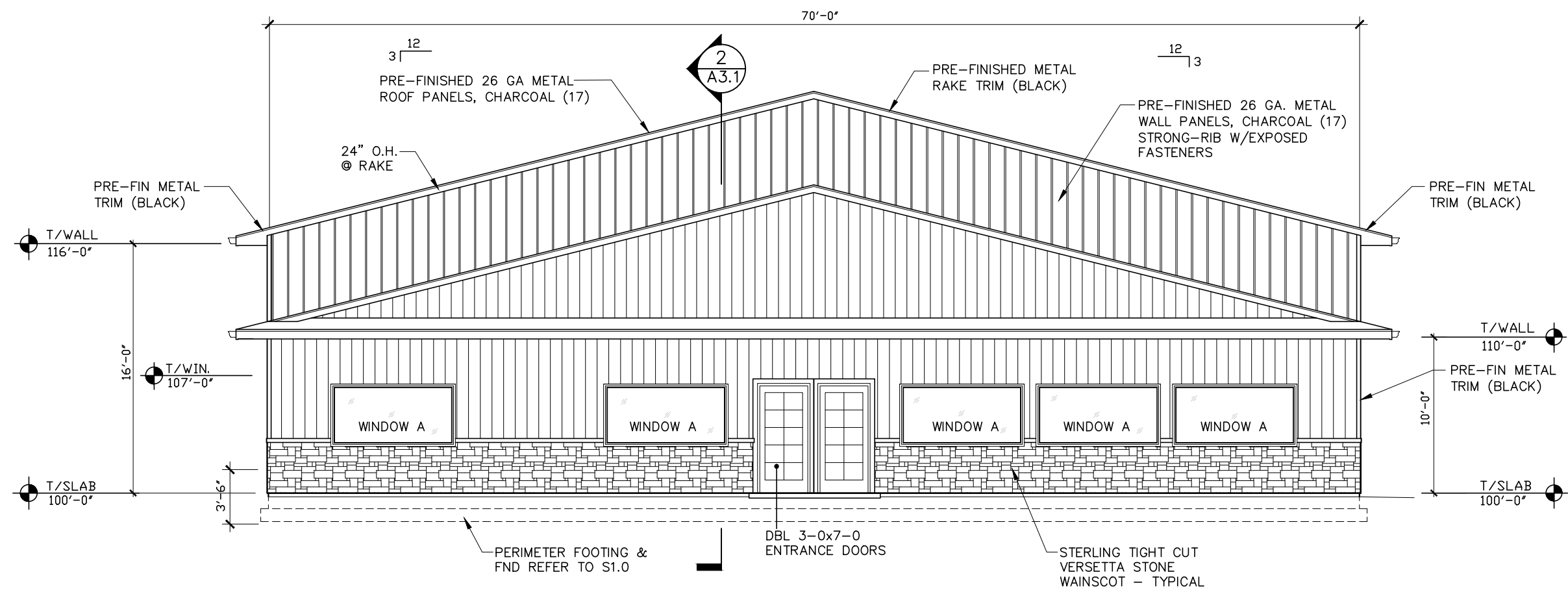


1A RESTROOM PLAN

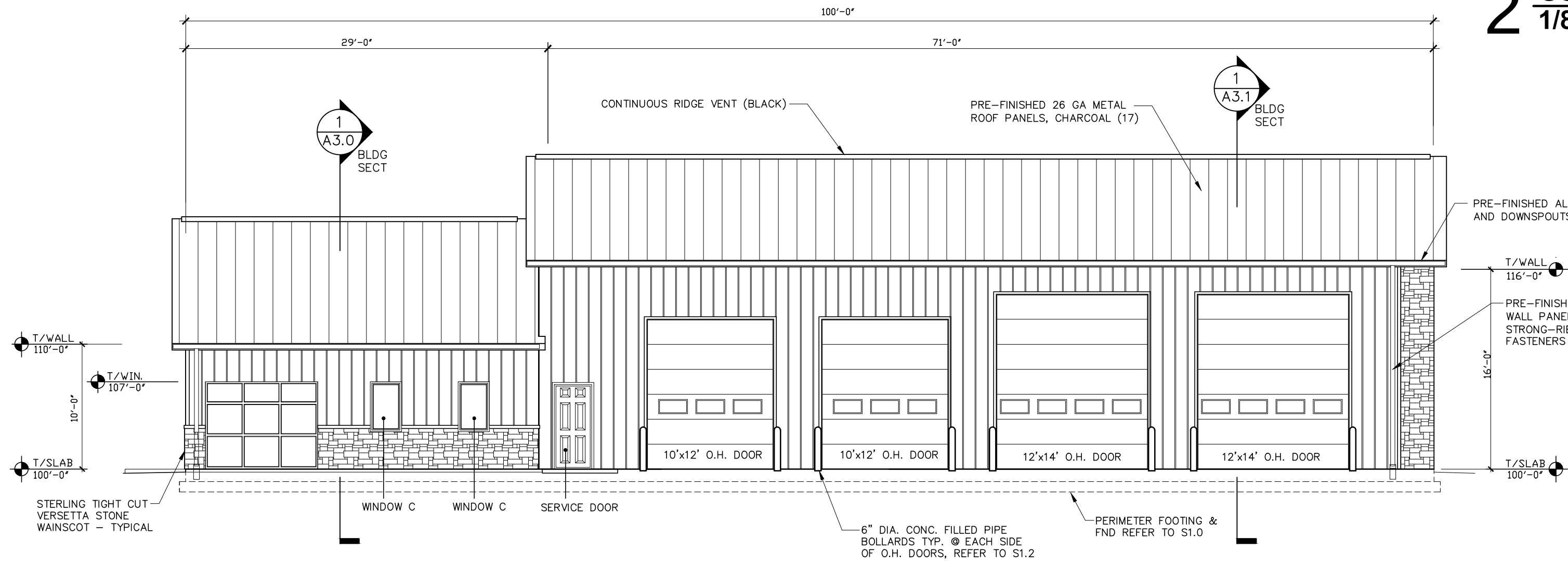
1/2" = 1'-0"



1 WEST ELEVATION
1/8"=1'-0"

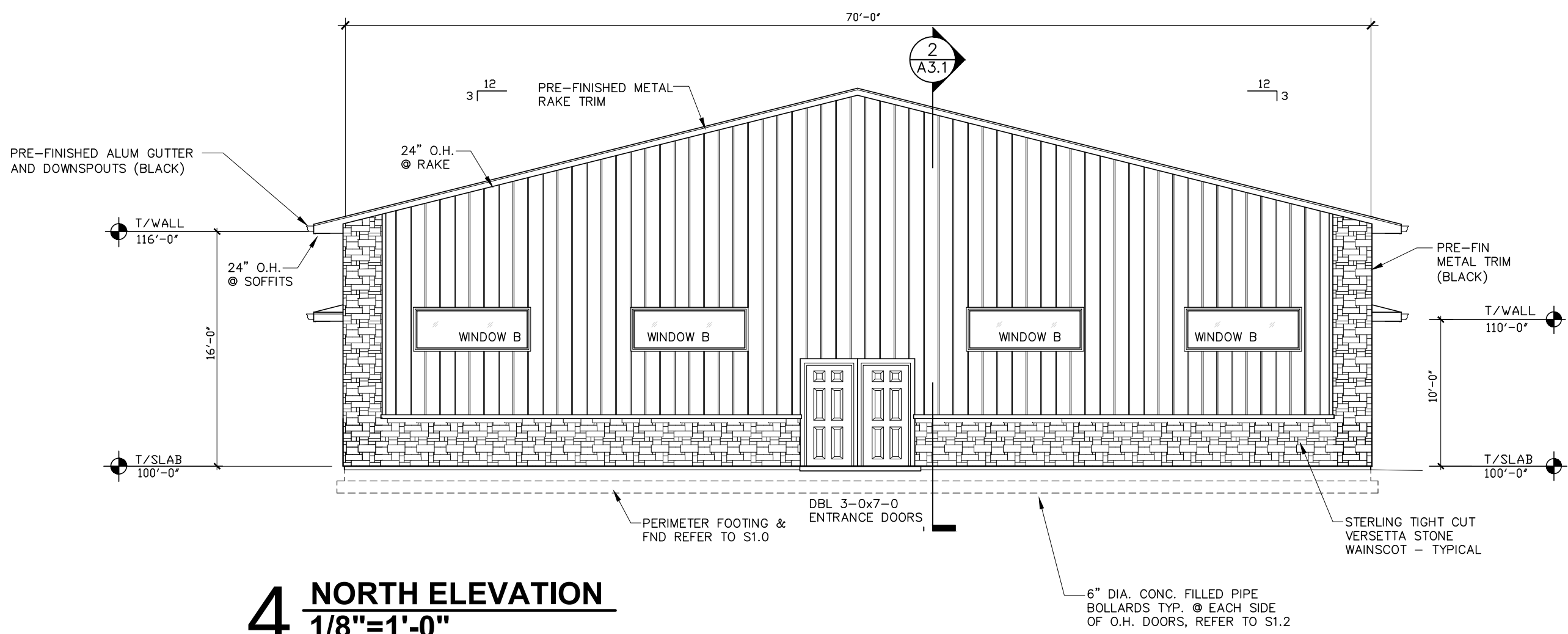


2 SOUTH ELEVATION
1/8"=1'-0"



3 EAST ELEVATION
1/8"=1'-0"

GENERAL ELEVATION NOTES	
1.	EXTERIOR METAL PANEL SIDING W/CORNER, WINDOW, AND DOOR TRIM TO MATCH.
2.	PROVIDE VENTED SOFFIT PANELS WITH RIDGE /ROOF VENTS AS REQUIRED FOR 1/300 (MAX.) VENTILATED ATTIC AREA.
3.	PROVIDE SEAMLESS GUTTERS AND DOWNSPOUTS AT ROOF OVERHANGS. FIELD VERIFY LOCATIONS OF DOWN SPOUTS FOR PROPER DRAINAGE.
4.	TAPE, FLASH AND CAULK ALL WINDOWS PER WINDOW INSTALLATION REQUIREMENTS.
5.	PROVIDE TREATED WOOD BLOCKING AND/OR METAL TRIM AS NECESSARY AT EXTERIOR LIGHT FIXTURES AND ANY OTHER MECHANICAL, ELECTRICAL OR PLUMBING PENETRATIONS.
6.	SEE SHEET A1.3 FOR WINDOW SCHEDULE.



4 NORTH ELEVATION
1/8"=1'-0"

GENERAL CONTRACTOR:

PROJECT TITLE:
AUTO MEDIC
7,000 S.F. BUILDING
PROJECT LOCATION:
SKINNER DRIVE
REEDSBURG, WI 53958

DATE / SET -TYPE
5/10/24 PRELIMINARY

DRAWN BY:

REVISIONS	
NO.	DATE

SHEET TITLE
ELEVATIONS

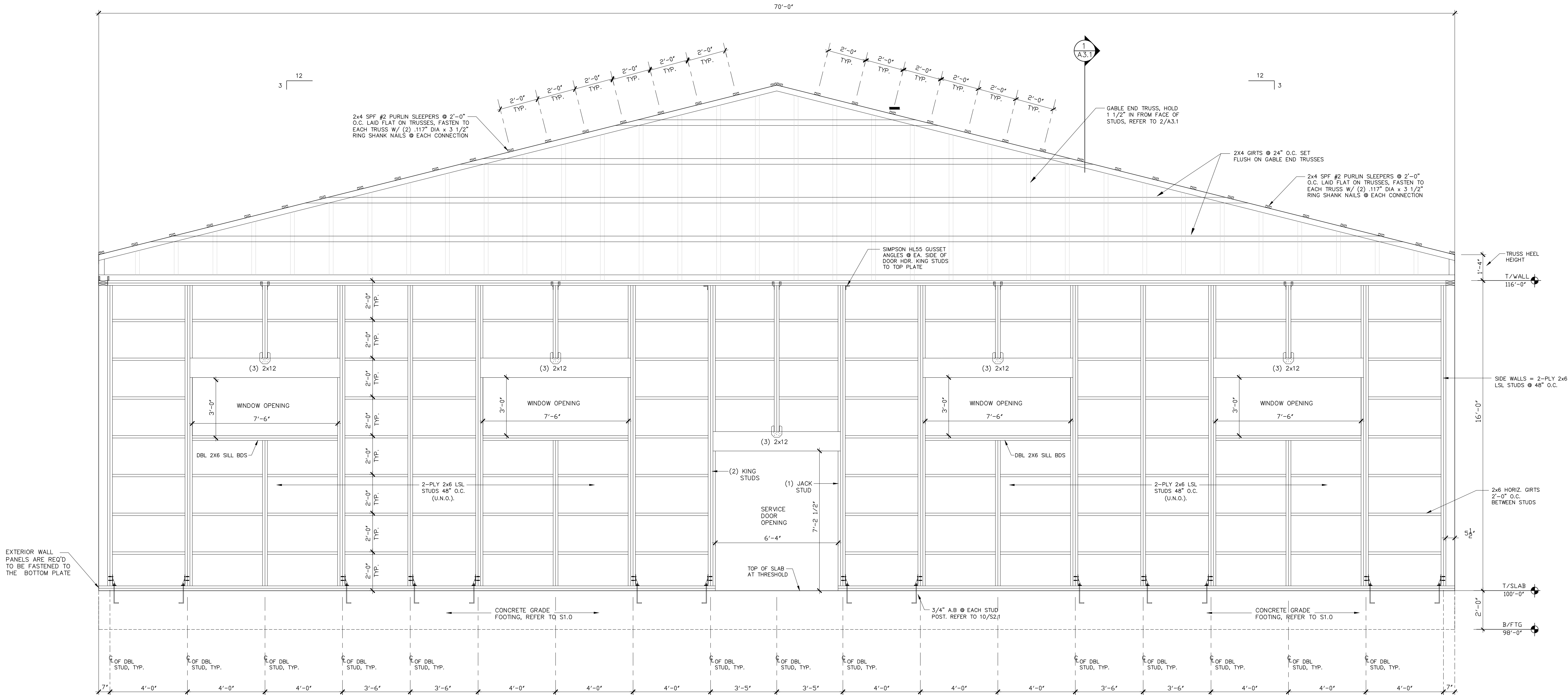
SHEET NO.

A2.0

Eskay Architecture
- Commercial
- Industrial
- Residential
Onalaska, WI 54650 Ph: 608-317-1565
Email: eskayarchitect@gmail.com
I hereby certify that this plan, specification, or report was prepared by me, or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Wisconsin. License Number: A-10047. Date: 07/31/2024. I am not providing this plan, specification, or report for use in any other project without the prior written consent of the architect. © 2024



A3.4



1 END WALL FRAMING ELEVATION - NORTH
3/8" = 1'-0"

GENERAL CONTRACTOR:

PROJECT TITLE:
**AUTO MEDIC
7,000 S.F. BUILDING**

PROJECT LOCATION:
**SKINNER DRIVE
REEDSBURG, WI 53958**

DATE / SET - TYPE
5/10/24 PRELIMINARY

DRAWN BY:

REVISIONS	
NO.	DATE

SHEET TITLE
WALL FRAMING
ELEVATION

SHEET NO.

A3.5

STRUCTURAL SPECIFICATIONS

DESIGN:

APPLICABLE CODES/STANDARDS:

-INTERNATIONAL BUILDING CODE-2015 WITH WISCONSIN MODIFICATIONS
-ASCE 7-10 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, ASCE/SEI 2005

STRUCTURAL DESIGN STANDARDS:

-ACI 318-05 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY, 2005
-ACI 530/530.1-05 BUILDING CODE REQUIREMENTS
-AISC-ASD/LRFD (ASD ONLY) STEEL CONSTRUCTION MANUAL, 13TH EDITION
-AISC SEISMIC DESIGN MANUAL
-WS D1.1/D1.1M STRUCTURAL WELDING CODE-SEEL, 2006 EDITION
-NDS-NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION ASD/LRFD (ASD ONLY), 2005 EDITION
-NDS-NATIONAL DESIGN SPECIFICATION SUPPLEMENT, DESIGN VALUES FOR WOOD CONSTRUCTION, 2005 EDITION

BUILDING CLASSIFICATION CATEGORY: II

BUILDING DESIGN LIVE LOADS/CRITERIA:
FLOOR LIVE LOAD - FIRST FLOOR LIVE LOAD 100 PSF

ROOF SNOW LOADS & DESIGN DATA:
DESIGN ROOF SNOW LOAD 30.8 PSF
FLAT ROOF SNOW LOAD (P_f)=(0.7*C_e*C_t*I_s*P_g) 30.8 PSF
SNOW EXPOSURE FACTOR (C_e) 1.0
SNOW LOAD IMPORTANCE FACTOR (I_s) 1.0
ROOF THERMAL FACTOR (C_t) 1.1
GROUND SNOW (P_g) 40.0 PSF
RAIN ON SNOW SURCHARGE 0
SLOPED ROOF FACTOR (C_s) 1.0
UNBALANCED SNOW LOAD WINDWARD 8.4 PSF /LEEWARD 20.0 PSF @ 8.3'

WIND DESIGN DATA- ASCE 7-10
WIND IMPORTANCE FACTOR (I_w) 1.0
BASIC WIND SPEED (3-SECOND GUST) 115 mph
MEAN ROOF HEIGHT 21 FT
WIND EXPOSURE CATEGORY B
WIND EXPOSURE CLASSIFICATION EXCLOSED
BUILDING LENGTH (L) 100' FT
LEAST WIDTH (B) 70 FT
TOPOGRAPHIC FACTOR K_{zt} 1.0
EDGE STRIP (a) 7.0 FT
DESIGN PROCEDURE METHOD 1 (SIMPLIFIED PROCEDURE)

COMPANANT AND CLADDING DESIGN PRESSURES

PER ASCE 7-10 FIGURE 30-4-2B & TABLE 30.7.2

SEISMIC DESIGN INFORMATION

SEISMIC SITE CLASS "B" (assumed)

SEISMIC USE GROUP 1

SEISMIC DESIGN CATAGORY "A"

SMS = 0.07%
SM1 = 0.03%
SDS = 0.001
SD1 = 0.001

GENERAL:

- ALL MATERIALS, CONSTRUCTION, AND DETAILS SHALL CONFORM WITH THE FOLLOWING:
PLANS AND SPECIFICATIONS 2015 IBC W/ 2018 WISCONSIN AMENDMENTS - OSHA REGULATIONS
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE FAMILIAR WITH THE ENTIRE SET OF CONSTRUCTION DOCUMENTS (ARCHITECTURAL, CIVIL, ELECTRICAL, PLUMBING, STRUCTURAL, ETC.) IN ORDER TO PROVIDE ALL CONSTRUCTION AND MATERIALS FOR THIS PROJECT.
- THE CONTRACTOR SHALL REFER TO OTHER DRAWINGS CONTAINED IN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL SPECIFIED MEMBERS, DIMENSIONS, ELEVATIONS, DETAILS, OPENINGS, INSERTS, SLEEVES, DEPRESSIONS, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS REQUIRED TO CONSTRUCT THIS PROJECT.
- DETAILS SHOWN ON STRUCTURAL DRAWINGS SHALL BE APPLICABLE TO ALL PORTIONS OF THE CONTRACT DOCUMENTS UNLESS NOTED OTHERWISE.
- DIMENSIONS AND ELEVATIONS SHOWN ON ARCHITECTURAL DRAWINGS SUPERSEDE DIMENSIONS AND ELEVATIONS SHOWN ON STRUCTURAL DRAWINGS.
- DO NOT SCALE PLANS.
- IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
- IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND CONSTRUCTION SEQUENCE IN ORDER TO INSURE THE SAFETY OF THE BUILDING AND WORKMEN DURING CONSTRUCTION (MEANS & METHODS OF CONSTRUCTION). THIS INCLUDES, BUT IS NOT LIMITED TO: SHORING, UNDERPINNING, TEMPORARY BRACING, ETC.
- CONSTRUCTION DOCUMENTS SHOW DIMENSIONS AND ELEVATIONS TO SIGNIFICANT WORKING POINTS (COLUMN CENTERLINES, OUTSIDE FACE OF WALLS, TOP OF FRAMING MEMBERS, ETC.) MATERIAL SUPPLIERS AND DESIGNERS ARE RESPONSIBLE FOR ALL OTHER INFORMATION IN ORDER TO DETAIL/FABRICATE THEIR WORK. CONTACT THE ARCHITECT WITH ANY DISCREPANCIES.
- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE STRUCTURAL DRAWINGS AND ANY OTHER PLANS CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL BRING THE DISCREPANCY TO THE ARCHITECTS ATTENTION IN WRITING IMMEDIATELY OR SHALL BID THE MOST EXPENSIVE INSTALLATION SPECIFIED.

DEFLECTION LIMITS:

ROOF MEMBERS	LIVE	SNOW OR WIND	DEAD + LIVE/SNOW
SUPPORTING GYPSUM BOARD CEILINGS	L/360	L/360	
SUPPORTING FLEXIBLE CEILINGS	L/240	L/240	
NOT SUPPORTING CEILING	L/240	L/240	
SUPPORTING RIGID MATERIALS (BRICK, MASONRY, ETC.)	L/600 OR 0.3 in	L/600 OR 0.3 in	L/600 OR 0.3 in

LINTEL/HEADER/BEAM MEMBERS

SUPPORTING RIGID MATERIALS (BRICK, MASONRY, ETC.)	L/600 OR 0.3 in	L/600 OR 0.3 in	L/600 OR 0.3 in
SUPPORTING FLEXIBLE MATERIALS (EIFS, SIDING, ETC.)	L/360	L/360	

EXTERIOR WALLS

WITH RIGID FINISHES (BRICK, MASONRY, ETC.)	L/600 OR 0.3 in
WITH FLEXIBLE FINISHES (EIFS, SIDING, ETC.)	L/360

MATERIAL STRENGTHS:

CAST-IN-PLACE CONCRETE:

FOOTINGS	
MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS	f'c = 3000 PSI
MAXIMUM WATER-CEMENTITIOUS RATIO	0.55
MAXIMUM AGGREGATE SIZE	1 1/2"
SLUMP LIMIT	5" +/- 1"
AIR CONTENT	NO
FOUNDATION WALLS	
MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS	f'c = 4000 PSI
MAXIMUM WATER-CEMENTITIOUS RATIO	0.50
MAXIMUM AGGREGATE SIZE	3/4"
SLUMP LIMIT	4" +/- 1"
AIR CONTENT	NO
INTERIOR SLABS ON GRADE	
MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS	f'c = 4000 PSI
MAXIMUM WATER-CEMENTITIOUS RATIO	0.47
MAXIMUM AGGREGATE SIZE	3/4"
SLUMP LIMIT	4" +/- 1"
AIR CONTENT	NO
EXTERIOR SLABS ON GRADE	
MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS	f'c = 4500 PSI
MAXIMUM WATER-CEMENTITIOUS RATIO	0.42
MAXIMUM AGGREGATE SIZE	3/4"
SLUMP LIMIT	3" +/- 1"
AIR CONTENT	YES 6 +/- 1 1/2 %
PIERS	
MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS	f'c = 4000 PSI
MAXIMUM WATER-CEMENTITIOUS RATIO	0.47
MAXIMUM AGGREGATE SIZE	3/4"
SLUMP LIMIT	4" +/- 1"
AIR CONTENT	NO

REINFORCING STEEL:

ALL-ASTM A 615, GRADE 60, DEFORMED	Fy = 60,000 PSI
STEEL WELDED WIRE REINFORCEMENT, FLAT SHEETS	Fy = 60,000 PSI

STRUCTURAL STEEL:

ROLLED WIDE FLANGE SHAPES, ASTM A 992 GRADE 50	Fy = 50,000 PSI
CHANNELS, ANGLES, & S SHAPES, ASTM A 36 GRADE 50	Fy = 36,000 PSI
PLATE & BAR, ASTM A 36 GRADE 50	Fy = 36,000 PSI
TUBE SHAPES, ASTM A 500 GRADE B	Fy = 46,000 PSI
PIPE, ASTM A 53, TYPE E OR S, GRADE B	Fy = 46,000 PSI
ALL OTHER ROLLED SHAPES, ASTM A 36 GRADE 50	Fy = 36,000 PSI

STRUCTURAL BOLTS:

HIGH STRENGTH BOLTS, NUTS, & WASHERS, ASTM A 325
ZINC-COATED HIGH STRENGTH BOLTS, NUTS, & WASHERS, ASTM A 325
STAINLESS STEEL BOLTS, NUTS, & WASHERS, ASTM F 593
SHEAR CONNECTORS, ASTM A 108 GRADES 1015 THRU 1020
THREADED RODS, ASTM A 36 GRADE 50
CLEVISES & TURNBUCKLES, ASTM A 108, GRADE 1035
EYE BOLTS & NUTS, ASTM A 108, GRADE 1030
ANCHOR BOLTS, ASTM A 301

WELDED CONNECTIONS:

WELDING ELECTRODES E70XX

MASONRY:

f'm = 2000 PSI

MASONRY MORTAR:

TYPE "M" MORTAR BELOW GRADE
TYPE "M" OR "S" ABOVE GRADE

GROUT BELOW BASE PLATES & BEARING PLATES:

NONMETALLIC, SHRINKAGE-RESISTANT ASTM C 1107	
- MIN GROUT COMPRESSIVE STRENGTH	5000 PSI

WOOD FRAMING:

2x6 & SMALLER	SPF #2
2x8 & LARGER	DFL #1
LAMINATED VENEER LUMBER (LVL)	E = 2.0 x 10 ⁶ PSI

ALLOWABLE SOIL BEARING PRESSURE:

2000 PSF ASSUMED

FOUNDATION & EARTHWORK:

- ALL EXTERIOR FOOTINGS MUST BEAR AT A MINIMUM DEPTH OF 4'-0" BELOW ADJACENT FINISH EXTERIOR GRADE.
- DO NOT PLACE ANY FOOTINGS ON FROZEN SUBGRADE.
- BACK FILLING SHALL BE DONE SIMULTANEOUSLY ON BOTH SIDES OF FOUNDATION WALLS.
- REMOVE ANY EXISTING CONCRETE 2'-0" BELOW NEW CONCRETE FOOTINGS AND SLABS ON GRADE.
- CENTER PIER AND COLUMN FOOTINGS ON COLUMN CENTERLINES AND WALL FOOTINGS ON WALL CENTERLINES UNLESS SPECIFICALLY NOTED OTHERWISE.
- TOP OF FOOTING ELEVATIONS SHOWN ON THESE CONSTRUCTION DOCUMENTS REPRESENT MINIMUM FOOTING DEPTHS FOR FROST PROTECTION AND BEST JUDGMENT OF A SUITABLE BEARING STRATUM. ACTUAL GRADE CONDITIONS AND SUITABLE BEARING STRATUM MUST BE VERIFIED BY THE CONTRACTOR AND A SOILS ENGINEER AT THE TIME OF EXCAVATION.
- FOOTING EXCAVATIONS MUST EXTEND TO COMPETENT BEARING MATERIAL. CONTRACTOR SHALL HIRE A SOILS ENGINEER TO FIELD VERIFY NET ALLOWABLE SOIL BEARING CAPACITY STATED ON THESE CONSTRUCTION DOCUMENTS AND IN GEOTECHNICAL REPORT FOR THIS PROJECT. IF SUITABLE BEARING STRATUM DOES NOT EXIST AT FOOTING ELEVATIONS STATED ON CONSTRUCTION DOCUMENTS, EXCAVATIONS SHALL BE EXTENDED UNTIL SOIL WITH STATED BEARING CAPACITY IS REACHED. PLACE COMPACTED FILL BELOW FOOTINGS OR EXTEND FOOTINGS DOWN TO SUITABLE BEARING STRATUM. ENGINEERED FILL BELOW SLABS ON GRADE AND FOOTINGS SHALL BE FREE DRAINING GRANULAR MATERIAL COMPACTED TO 95% MODIFIED PROCTOR AND PLACED PER THE SOIL ENGINEERS RECOMMENDATIONS.

CAST-IN-PLACE REINFORCED CONCRETE:

- CONCRETE WORK SHALL CONFORM TO THE CURRENT EDITION OF ACI 318 (BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE) AND ACI 302 (GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION).
- CONTRACTOR SHALL SUBMIT FIVE SETS OF STEEL REBAR SHOP DRAWINGS FOR APPROVAL PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO THE ARCHITECT.

CONCRETE EXPOSED TO EXTERIOR CONDITIONS SHALL BE AIR-ENTRAINED 6% ± 1.5%.

- GROUT BELOW BASE PLATES AND BEARING PLATES SHALL BE NON-SHRINK, NON-METALLIC GROUT 3/4" THICK MINIMUM.
- STEEL REINFORCING BARS SHALL CONFORM TO ASTM A615 (GRADE 60). DEFORMED WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- CONTRACTOR SHALL PROVIDE SUITABLE WIRE SPACERS, CHAIRS, TIES, ETC FOR SUPPORTING REINFORCING STEEL IN THE PROPER POSITION WHILE PLACING CONCRETE.
- PROVIDE (2)-#5 BARS AROUND ALL OPENINGS AND (2)-#5 BARS DIAGONALLY AT ALL OPENING CORNERS. EXTEND BARS 2'-6" PAST OPENING.
- PROVIDE 1/2" EXPANSION JOINT MATERIAL AT INTERIOR LOCATIONS WHERE SLABS ABUT WALLS, COLUMNS, AND OTHER VERTICAL SURFACES UNLESS NOTED OTHERWISE.
- PROVIDE A 1" CHAMFER ON EXPOSED CORNERS OF CONCRETE UNLESS NOTED OTHERWISE.
- DO NOT PLACE CONDUITS, PIPES, DUCTS, OR FIXTURES IN STRUCTURAL CONCRETE UNLESS NOTED OTHERWISE.
- SLEEVES, CONDUITS, OR PIPING PASSING THROUGH CONCRETE SLABS AND WALLS SHALL BE PLACED SO THAT THEY ARE NOT CLOSER THAN THREE DIAMETERS ON CENTER AND SO THAT THEY DO NOT DISPLACE REINFORCING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY IRREGULARITIES OR DEFECTS IN CONCRETE SLABS (CRACKS, BUMPS, FLOOR CURLING, ETC.) BEFORE ANY FLOOR FINISHES ARE APPLIED.

ALL LAPS IN REINFORCING STEEL SHALL BE CLASS "B" LAP SPLICES UNLESS OTHERWISE NOTED.

- CONTRACTOR SHALL HIRE A MATERIALS TESTING LABORATORY TO CAST AND TEST CONCRETE CYLINDERS. ALL TESTING SHALL BE IN ACCORDANCE WITH ACI 318.83 SECTION 4.7. RESULTS OF CYLINDER TESTS SHALL BE SUBMITTED TO THE ARCHITECT. CONCRETE TEST REPORTS SHALL STATE THE FOLLOWING INFORMATION:
LOCATION ON PROJECT WHERE THE CONCRETE IS USED
7 DAY COMPRESSIVE STRENGTH
28 DAY COMPRESSIVE STRENGTH
AIR CONTENT
SLUMP
AMOUNT OF WATER ADDED ON JOB SITE
MIX USED
- CONCRETE TEST REPORTS SHALL DIRECTLY STATE WHETHER OR NOT THE TEST RESULT COMPLIES WITH THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
- CLASS C FLY ASH OR SLAG MAY BE SUBSTITUTED FOR CEMENT ON A POUND TO POUND BASIS UP TO 25% OF THE TOTAL CEMENTITIOUS CONTENT.
- ALL CONCRETE SLABS SHALL BE WET CURED PER ACI RECOMMENDATIONS FOR NO LESS THAN SEVEN DAYS.
- CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE ARE NOT PERMITTED IN ANY CONCRETE MIX.
- PROVIDE THE FOLLOWING CLEAR COVER DISTANCES FOR REINFORCEMENT IN CONCRETE:
FOOTINGS - BOTTOM & SIDES 3"
FOOTINGS - TOP 2"
SLABS - BOTTOM & SIDES 1"
SLABS - TOP 1"
WALLS - FACE 3/4"

STRUCTURAL STEEL:

- DESIGN, FABRICATION, AND ERECTION SHALL CONFORM TO THE CURRENT EDITION OF AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) "MANUAL OF STEEL CONSTRUCTION".
- STEEL DETAILING AND CONNECTIONS SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT EDITION OF AISC "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS, ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN".
WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS HOLDING CURRENT AWS CERTIFICATES IN THE TYPES OF WELDING SPECIFIED ON THESE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL SUBMIT FIVE SETS OF STEEL SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO THE ARCHITECT.
- CONTRACTOR SHALL DESIGN AND PROVIDE ANY TEMPORARY BRACING OR GUYS REQUIRED TO ERECT STEEL MEMBERS. TEMPORARY BRACING SHALL BE LEFT IN PLACE UNTIL THE PERMANENT STRUCTURE IS IN PLACE AND SECURE.
PROVIDE 3/16" CAP PLATE AT THE ENDS OF ALL EXPOSED TUBE AND PIPE MEMBERS.
- STAIRS, HANDRAILS, AND GUARDRAILS SHALL BE DESIGNED BY THE STEEL SUPPLIER.
- ALL STEEL BEAMS SHALL BE FABRICATED WITH THE NATURAL CAMBER (WITHIN MILL TOLERANCE).
- CAPACITY OF BOLTED OR WELDED CONNECTIONS SHALL BE EQUAL TO OR EXCEED 120% OF BEAM REACTION PRODUCED BY MAXIMUM ALLOWABLE UNIFORM LOAD ON THE GIVEN MEMBER SPAN.
- UNLESS OTHERWISE NOTED ON CONSTRUCTION DOCUMENTS, ALL BEAM CONNECTIONS SHALL BE DOUBLE ANGLE CONNECTIONS WITH A325N BOLTS. AT BEAM TO BEAM AND BEAM TO COLUMN CONNECTIONS, PROVIDE AS MANY BOLTS AS POSSIBLE IN BEAM FLANGE. DOUBLE ANGLE WELDED CONNECTIONS MAY BE USED TO DEVELOP THE SAME CAPACITY AS A BOLTED CONNECTION.
- ALTERNATE CONNECTIONS FROM WHAT IS SPECIFIED ON THE CONSTRUCTION DOCUMENTS WILL NOT BE ACCEPTED WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.
- USE STANDARD AISC DOUBLE ANGLE CONNECTIONS WHERE POSSIBLE. ALL STANDARD DOUBLE ANGLE CONNECTIONS SHALL BE IN ACCORDANCE WITH ASD NINTH EDITION AND SHALL BE TYPE 2 FRAMING CONNECTIONS UNLESS NOTED OTHERWISE.
WHERE WOOD MEMBERS FRAME INTO STEEL MEMBERS, PROVIDE A SADDLE CONNECTION.
- PROVIDE STIFFENER PLATES ON BOTH SIDES OF BEAM WEBS AT ALL CONCENTRATED LOADS ABOVE AND BELOW A BEAM. UNLESS NOTED OTHERWISE, FRAME THE LARGEST BEAM OVER COLUMNS AT BEAM TO BEAM INTERSECTIONS.

WOOD FRAMING:

- DESIGN, FABRICATION, AND CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", AMERICAN FOREST AND PAPER ASSOCIATION.
- DESIGN, FABRICATION, AND CONSTRUCTION OF ALL PLYWOOD FRAMING SHALL CONFORM TO THE CURRENT EDITION OF "PLYWOOD DESIGN SPECIFICATIONS", AMERICAN PLYWOOD ASSOCIATION.
- PLYWOOD SHEATHING SHALL CONFORM TO THE CURRENT EDITION OF "U.S. PRODUCT STANDARD PS-1" FOR SOFTWOOD PLYWOOD AND BEAR THE APA GRADE-TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION.
- PLYWOOD SHEATHING SHALL BE ATTACHED TO WOOD FRAMING WITH THE LONG DIMENSION OF THE SHEATHING LAID PERPENDICULAR TO THE SUPPORTS. STAGGER ALL JOINTS.
- PLYWOOD SHEATHING SHALL BE FASTENED TO SUPPORTS W/ 1 1/2" 16 GA. STAPLES SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C AT INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE.
- ANY PLYWOOD SHEATHING THAT IS EXPOSED TO MOISTURE SHALL BE PRESSURE TREATED.
- PLYWOOD PANEL EDGES SHALL BEAR ON THE FRAMING SUPPORT MEMBERS AND BUTT ALONG THEIR CENTER LINES. NAILS SHALL BE PLACED NOT LESS THAN 3/8" IN FROM THE PANEL EDGE.
- WOOD SILL PLATES AND OTHER WOOD MEMBERS DIRECTLY EXPOSED TO MOISTURE OR IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- MAXIMUM MOISTURE CONTENT IN ANY WOOD MEMBER SHALL NOT EXCEED 19%.
- 2x WOOD JOISTS SHALL HAVE 1x3 SPF NO.2 CROSS BRIDGING AT 8'-0" o/c MAXIMUM.
- DO NOT EMBED WOOD MEMBERS IN CONCRETE.
- ALL BOLTS AND LAG SCREWS SHALL CONFORM TO ASTM A307. USE STEEL WASHERS BETWEEN HEAD OF BOLT OR LAG SCREW AND WOOD. USE STEEL WASHERS BETWEEN NUT AND WOOD.
- ALL FASTENERS ATTACHING PRESSURE TREATED WOOD MEMBERS TO CONCRETE OR MASONRY SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
- MAKE NO SUBSTITUTIONS OF ANY ENGINEERED WOOD PRODUCTS (LVL, PSL, LSL, ETC.) SPECIFIED ON ANY FRAMING PLANS WITHOUT THE DIRECT WRITTEN PERMISSION OF THE STRUCTURAL ENGINEER AND ARCHITECT.

METAL PLATE CONNECTED WOOD TRUSS NOTES/CRITERIA:

- WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE CURRENT EDITIONS OF "DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES" BY TRUSS PLATE INSTITUTE (TPI) AND "NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENINGS" BY NATIONAL FOREST PRODUCTS ASSOCIATION.
- ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS:
TOP CHORD LIVE LOAD 30.8 PSF + UNBALANCED SNOW LOAD + DRIFT
TOP CHORD DEAD LOAD 5 PSF @ WAREHOUSE, 10 PSF @ OFFICE
BOTTOM CHORD LIVE LOAD 0 PSF
BOTTOM CHORD DEAD LOAD 10 PSF
- IN ADDITION TO THE LOADS STATED ABOVE THE TRUSSES SHALL BE DESIGNED FOR ANY SNOW DRIFTING, MECHANICAL, AND/OR ANY SPECIAL LOAD CONDITIONS AS SHOWN ON STRUCTURAL PLANS AND AS REQUIRED BY THE WISCONSIN ENROLLED COMMERCIAL BUILDING CODE 2002.
- FABRICATION, HANDLING, STORAGE, AND ERECTION SHALL BE IN ACCORDANCE WITH "TRUSS PLATE INSTITUTION" RECOMMENDED PRACTICES AND SHALL BE DONE IN A WORKMAN LIKE MANNER SO AS TO NOT DAMAGE THE TRUSSES. TRUSSES SHALL NOT BE CUT, ADDED ONTO OR ALTERED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF THE TRUSS DESIGNER, ENGINEER, AND ARCHITECT.
- WOOD TRUSS DESIGNER/SUPPLIER SHALL SUBMIT FORMAL STAMPED CALCULATIONS BY A REGISTERED ENGINEER IN THE STATE OF WISCONSIN FOR REVIEW BEFORE FABRICATION.
- SUBMIT FIVE SETS OF TRUSS SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO THE ARCHITECT.
- SHOP DRAWING SUBMISSIONS SHALL INCLUDE THE FOLLOWING INFORMATION:
THE NAME, ADDRESS, PHONE NUMBER, AND FAX NUMBER OF THE SUPPLIER.
SLOPE OR DEPTH, SPAN AND SPACING
LOCATION OF ALL JOINTS
ALL DESIGN LOADS
ADJUSTMENTS TO LUMBER AND METAL CONNECTOR PLATE VALUES FOR CONDITIONS OF USE
EACH REACTION FORCE AND DIRECTION
METAL CONNECTOR PLATE TYPE, SIZE, GAUGE, AND THE DIMENSIONAL LOCATION OF EACH CONNECTOR PLATE.
LUMBER SIZE, SPECIES, AND GRADE FOR EACH TRUSS MEMBER.
CONNECTION REQUIREMENTS FOR TRUSS TO TRUSS GIRDER, TRUSS PLY TO PLY, AND FIELD SPLICES.
CALCULATED DEFLECTION RATIO AND/OR MAXIMUM DEFLECTION FOR LIVE AND TOTAL LOAD.
SPECIFY ALL TRUSS TO TRUSS CONNECTIONS AND HANGERS.
SPECIFY AND SHOW ALL PERMANENT TRUSS BRACING REQUIRED BY DESIGN.
- CONTRACTOR IS RESPONSIBLE FOR ALL ERECTION PROCEDURES AND TEMPORARY TRUSS BRACING REQUIREMENTS DURING ERECTION IN ACCORDANCE WITH TPI's COMMENTARY AND RECOMMEDATIONS FOR HANDLING, INSTALLING, AND BRACING METAL PLATE CONNECTED WOOD TRUSSES (HIB-91 BOOKLET) AND THE CURRENT EDITION OF ANSI/TPI-1.
- TRUSSES EXPOSED TO MOISTURE SHALL BE CONSTRUCTED OF PRESSURE TREATED WOOD AND GALVANIZED METAL PLATES.
- FLOOR TRUSS SPACING SHOWN ON FRAMING PLANS ARE MAXIMUM SPACINGS. TRUSS DESIGNER SHALL REDUCE SPACING AS REQUIRED TO SUPPORT ALL LOADS SPECIFIED ON THESE PLANS AND BY CODE.
- DESIGN ROOF TRUSSES TO RESIST ALL WIND LOADS INCLUDING UPLIFT AS REQUIRED BY THE WISCONSIN ENROLLED COMMERCIAL BUILDING CODE 2002. MINIMUM NET UPLIFT = 10 PSF, 20 PSF AT CANOPIES & OVERHANGS.
- ALL TRUSS TO TRUSS CONNECTIONS ARE TO BE DESIGNED, DETAILED, AND SUPPLIED BY THE TRUSS SUPPLIER.
- TRUSS FABRICATOR SHALL FIELD VERIFY ALL SPAN DIMENSIONS BEFORE FABRICATING.

GENERAL CONTRACTOR:

PROJECT TITLE:

AUTO MEDIC
7,000 S.F. BUILDING

PROJECT LOCATION:

SKINNER DRIVE
REEDSBURG, WI 53958

DATE / SET - TYPE

5/10/24 PRELIMINARY

DRAWN BY:

REVISIONS

NO. | DATE

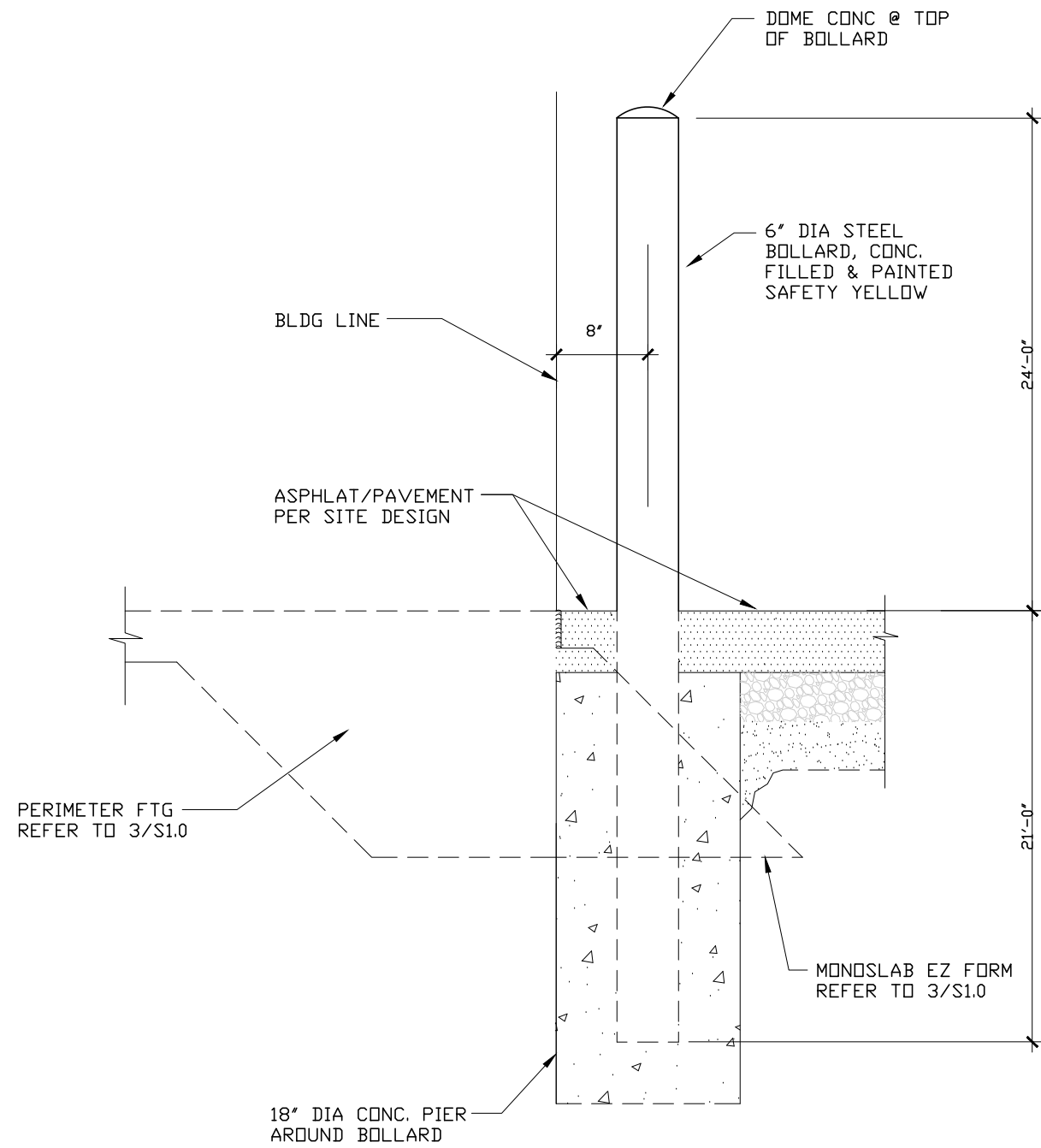
SHEET TITLE

STRUCTURAL
SPECIFICATIONS

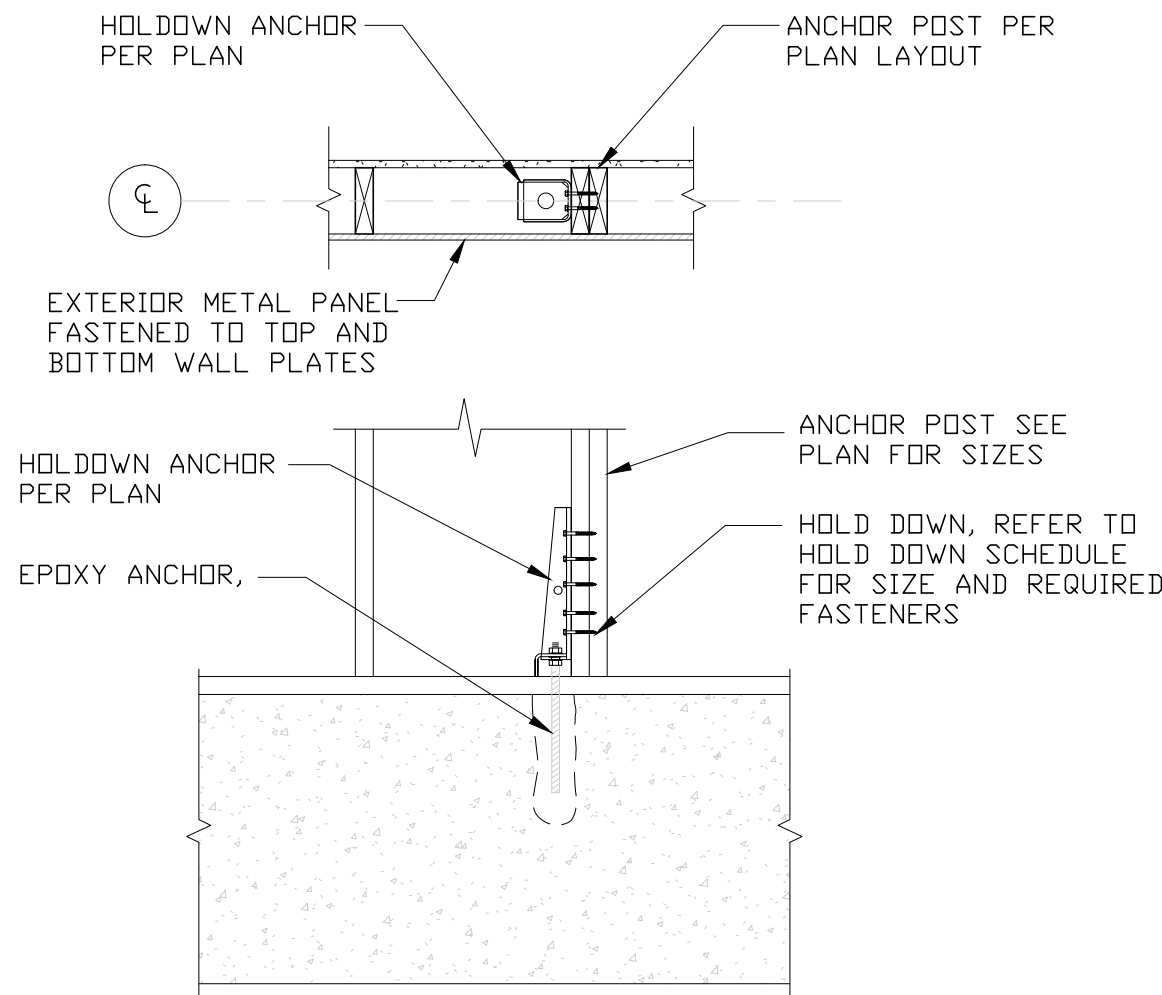
SHEET NO.

S0.1

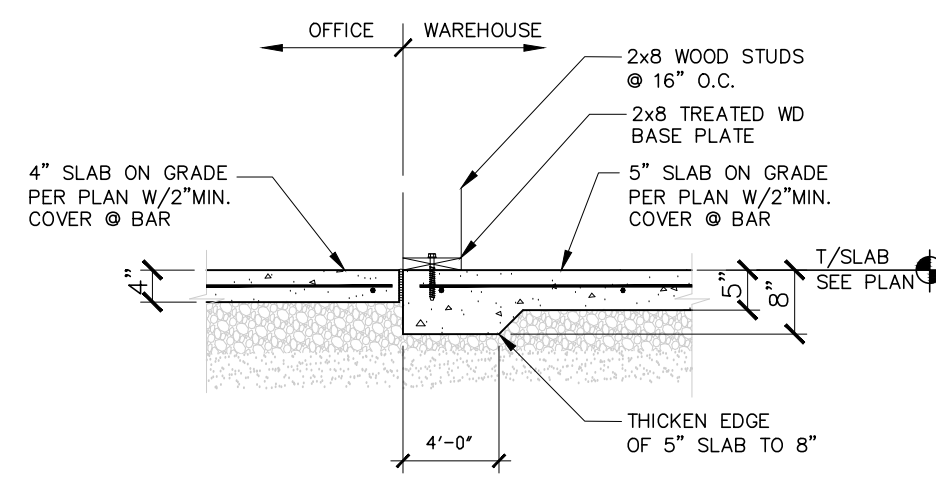
Commercial - Industrial
Residential
Eskay Architecture
Onalaska, WI 54650 Ph: 608-317-1565
Email: eskayarchitect@gmail.com
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the State of Wisconsin. The date of the preparation of these drawings was 5/10/2024. I am not providing these drawings to any other party without the prior written consent of the architect. ©2024



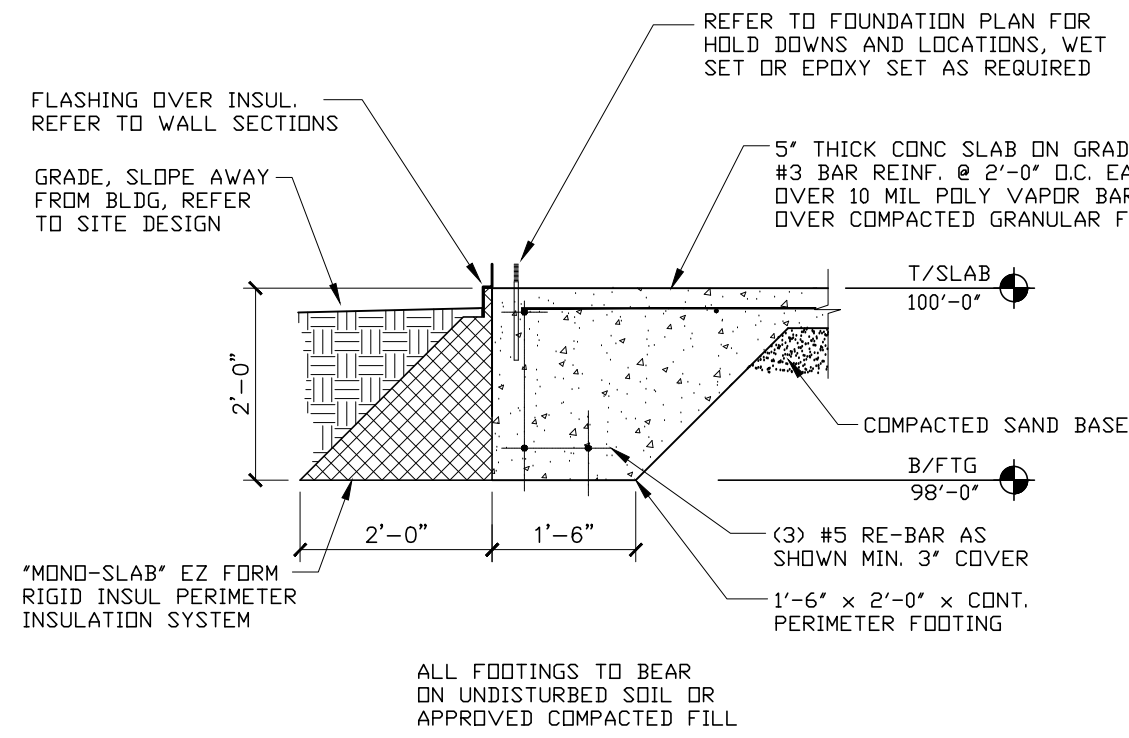
5 BOLLARD DETAIL
3/4" = 1'-0"



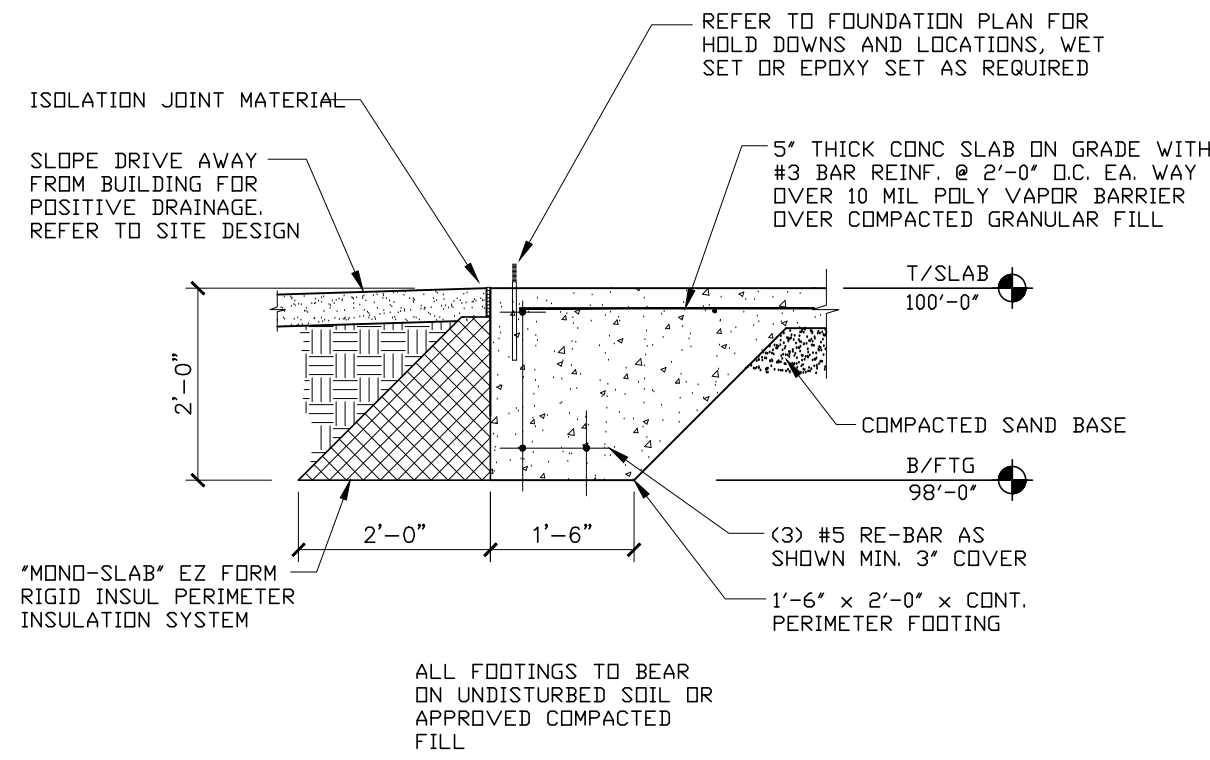
6 HOLD DOWN DETAIL
3/4" = 1'-0"



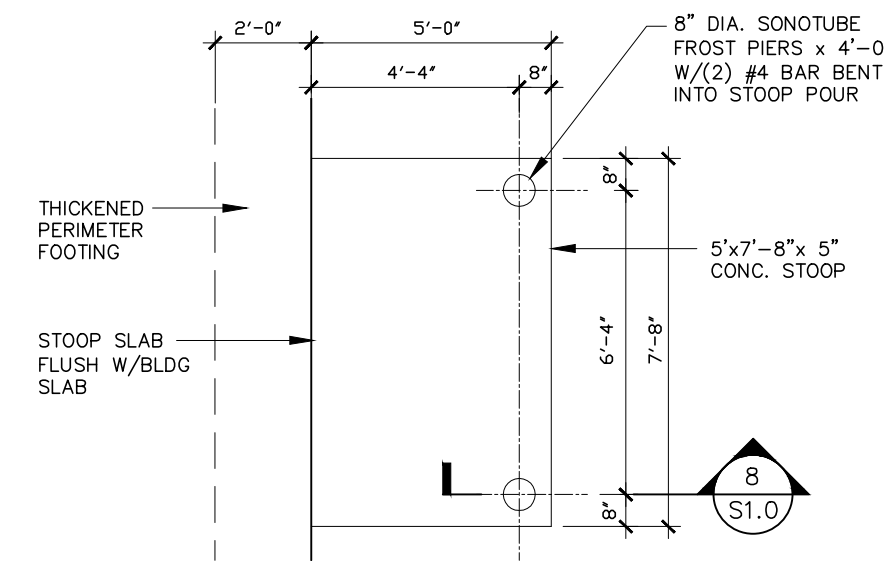
4 THICKENED SLAB TRANSITION
1/2" = 1'-0" @ OFFICE/REPAIR SHOP WALL



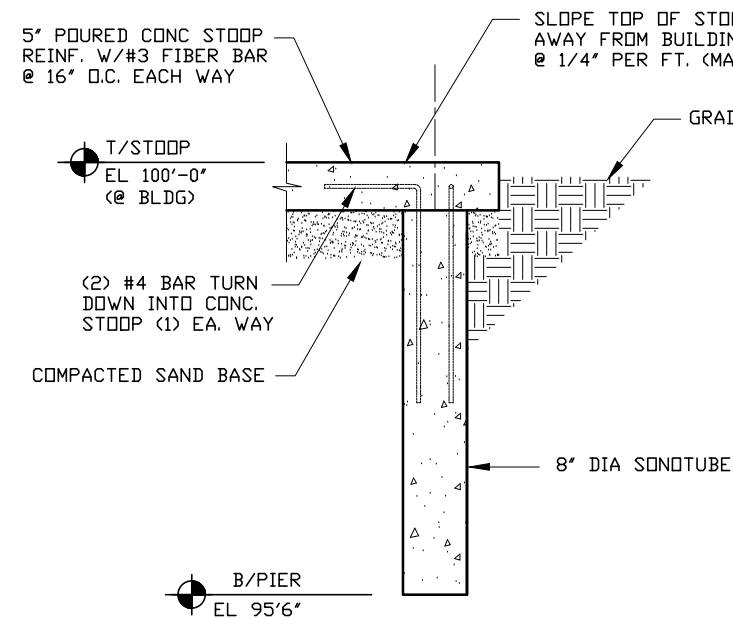
3 FOUNDATION SECTION @ GRADE BEAM
1/2" = 1'-0" W/ADJACENT GRADE



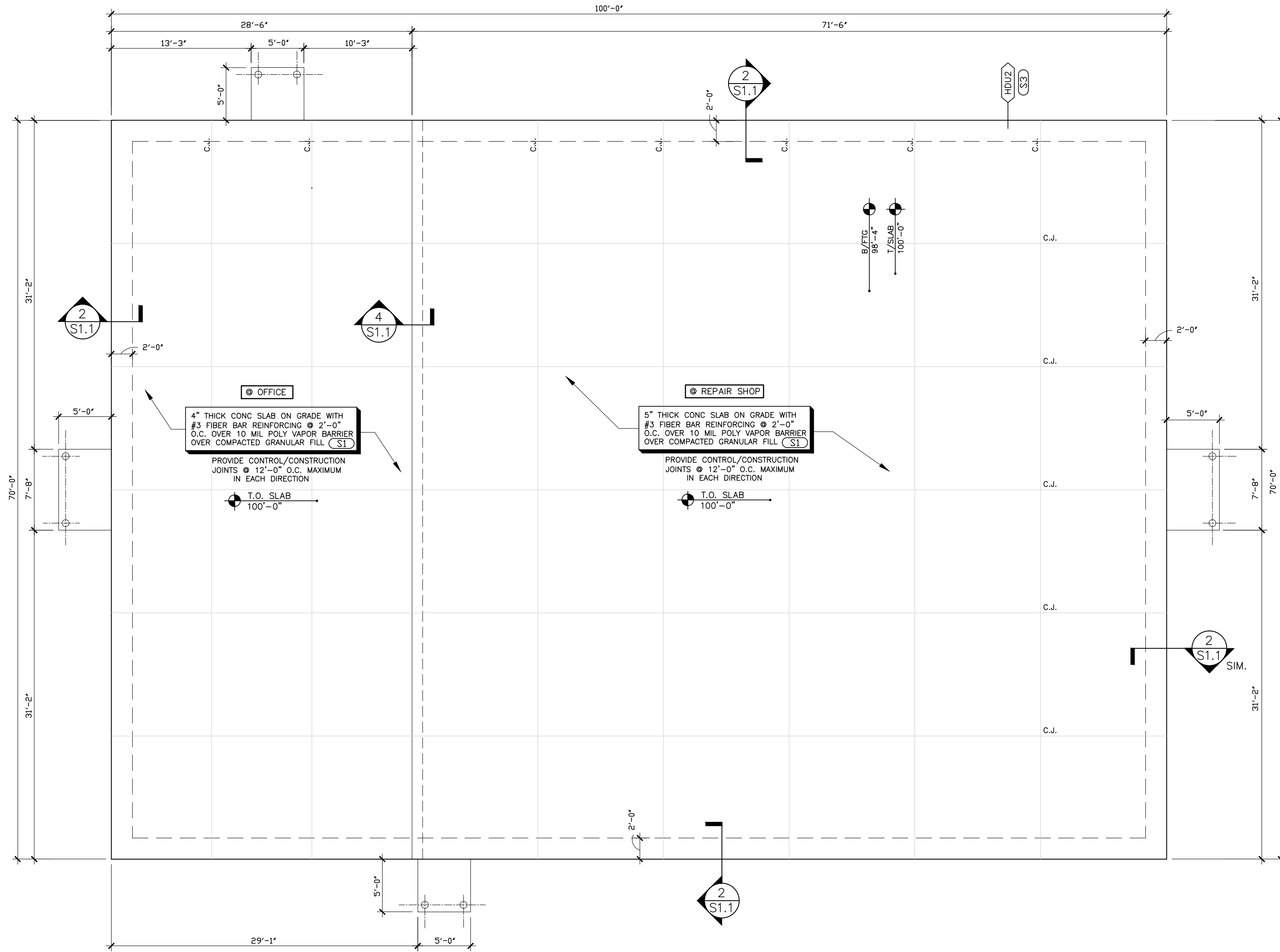
2 FOUNDATION SECTION @ GRADE BEAM
1/2" = 1'-0" W/ADJACENT PAVING



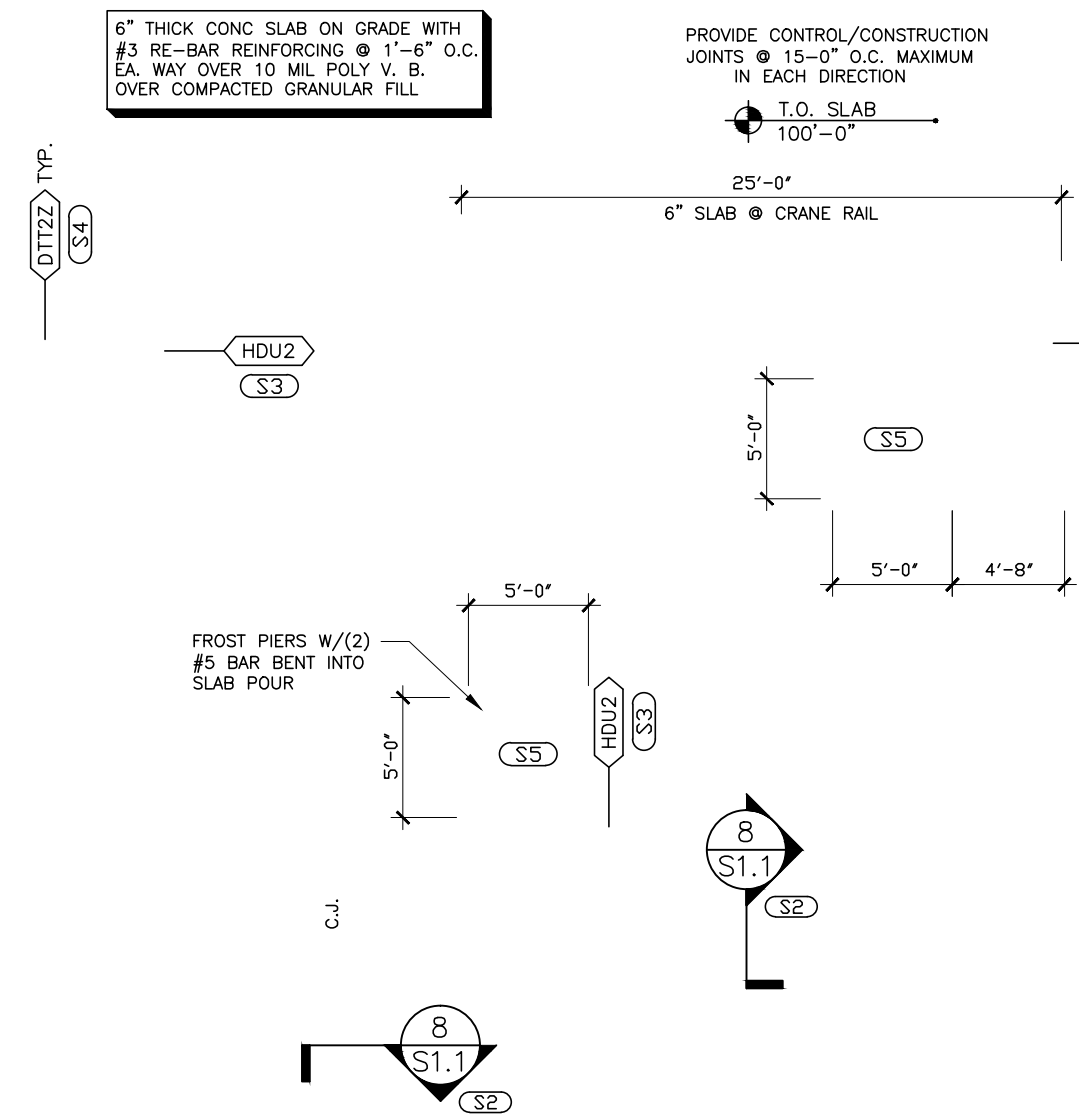
7 TYPICAL STOOP PLAN
1/4" = 1'-0" REFER TO PLAN FOR SIZES



8 STOOP FOOTING PIER
1/4" = 1'-0"



1 FOUNDATION PLAN
1/8" = 1'-0"



CAST-IN-PLACE CONCRETE:

FOOTINGS

MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS	$f'_c = 3000$ PSI
MAXIMUM WATER-CEMENTITIOUS RATIO	0.55
MAXIMUM AGGREGATE SIZE	1 1/2"
SLUMP LIMIT	5" +/- 1"
AIR CONTENT	NO

INTERIOR SLABS ON GRADE

MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS	$f'_c = 4000$ PSI
MAXIMUM WATER-CEMENTITIOUS RATIO	0.47
MAXIMUM AGGREGATE SIZE	3/4"
SLUMP LIMIT	4" +/- 1"
AIR CONTENT	NO

EXTERIOR SLABS ON GRADE

MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS	$f'_c = 4500$ PSI
MAXIMUM WATER-CEMENTITIOUS RATIO	0.42
MAXIMUM AGGREGATE SIZE	3/4"
SLUMP LIMIT	3" +/- 1"
AIR CONTENT	YES 6 +/- 1 1/2 %

PIERS

MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS	$f'_c = 4000$ PSI
MAXIMUM WATER-CEMENTITIOUS RATIO	0.47
MAXIMUM AGGREGATE SIZE	3/4"
SLUMP LIMIT	4" +/- 1"
AIR CONTENT	NO

REFER TO COMPLETE SPECIFICATIONS SHEET S001

FOUNDATION KEYED NOTES:

- (S1) POURED CONC. SLAB W/#3 FIBER BAR REINFORCING @ 2'-0" O.C. EACH WAY. PROVIDE 10 MIL VAPOR BARRIER UNDER SLAB, LAP AND TAPE ALL JOINTS. 6" MIN COMPACTED GRANULAR BASE. WET CURE SLAB WITH COVER FOR 7 DAYS.
- (S2) TYPICAL SLAB CONTROL JOINT MAX SPACING 18'-0". REFER TO 8/S1.1 (SLAB CONSTRUCTION JOINT, WHERE APPLICABLE)
- (S3) MITEK HT45 WALL HOLD DOWN AT O.H. DOORS REFER TO 6/S1.1
- (S4) MITEK TDS WALL HOLD TYPICAL AT WAREHOUSE FRAMING (@ EACH STUD POST) REFER TO 10/S2.1
- (S5) 1/2" DIA. ANCHOR BOLTS WITH 12" EMBED @ 48" O.C. & 6" MAX. FROM BUILDING CORNERS. TYPICAL AT OFFICE WALLS
- (S6) PROVIDE MIN. 5'x 5' CONC. STOOP AT ALL DOORS, OFFSET TO OPERABLE SIDE. AS SHOWN ON PLAN.

FOUNDATION GENERAL NOTES

- OBSERVE ALL STATE AND LOCAL CODES
- ALL REBAR USED SHALL BE CLEAN AND FREE OF OIL, DIRT OR OTHER CONTAMINANTS THAT WILL PREVENT COMPLETE BONDING TO THE CONCRETE.
- 1/2" x 12" ANCHOR BOLTS 4'-0" O.C AND MAX. 6" FROM DBL POST AT WAREHOUSE FRAMING. (10/S2.1) EMBED 10" INTO CONCRETE. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE OF PLATE, WITH ONE BOLT LOCATED WITHIN 12" FROM EACH CORNER. COORDINATE WITH HOLD DOWN LOCATIONS
- PROVIDE TREATED WOOD SILL PLATES WITH SILL SEALER, REFER TO 1 & 2/S1.1 AND HOLD DOWN SCHEDULE FOR PLATE TO SLAB CONNECTION.
- SLOPE SLABS TO FLOOR DRAINS FOR POSITIVE DRAINAGE WHERE APPLICABLE.

HOLD DOWN SCHEDULE					
LOCATION	TYPE	ANCHOR POST	ANCHOR POST FASTENERS	ANCHOR BOLT	A.B. EMBEDMENT
O.H. DOOR JAMBS	MITEK HT45	MULTI PLY 2x8	(18) 16d x 2 1/2"	5/8" A36 ROD	8"
TYP. STUD WAREHOUSE	MITEK TDS	MULTI PLY 2x8	(2) 3/4" x 4" BOLTS	3/4" DIA. A.B.	8"

HOLD DOWN NOTES:

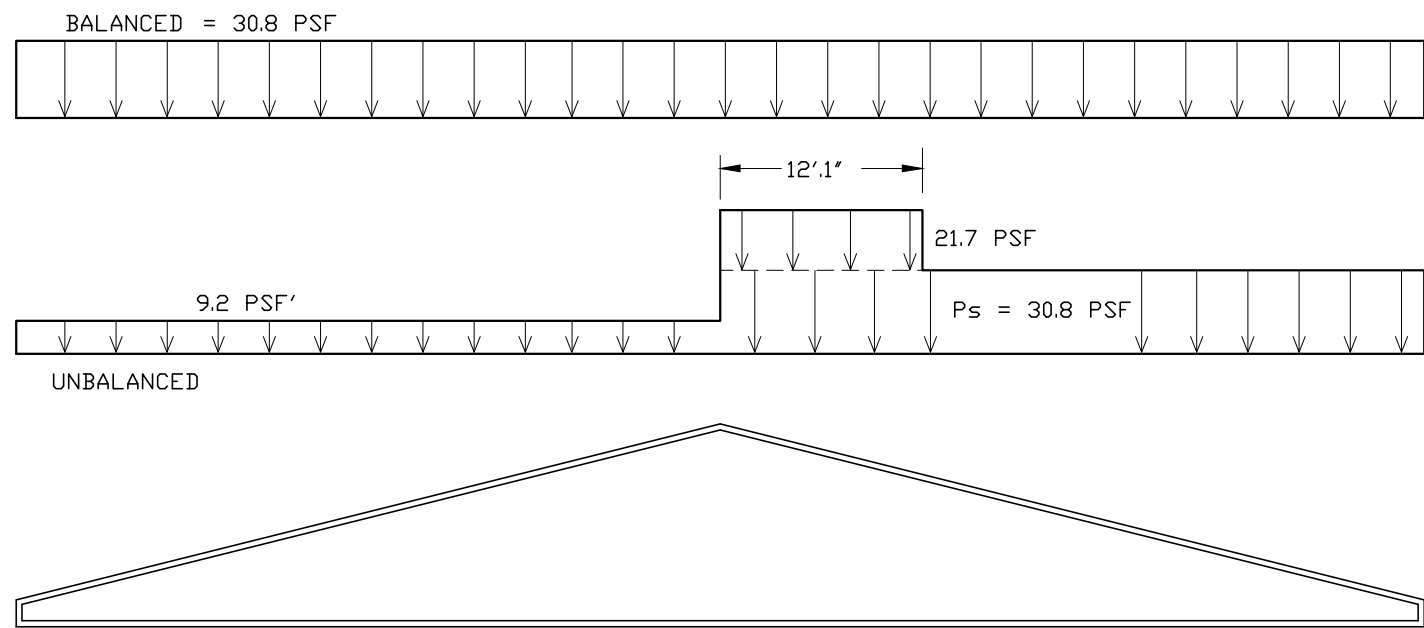
- ALL HOLD DOWN ANCHOR BOLT CONNECTING TO CONCRETE SHALL BE ASTM F1554 GRADE 36 THREADED ROD W/EPOXY ADHESIVE.
- ACCURATELY LOCATE ANCHORS TO ALIGN WITH HOLD DOWNS ON PLAN.
- ALL SHEAR WALL POSTS SHALL BE FASTENED PER DETAIL 6/S1.1
- ANCHOR POSTS SPECIES AND GRADE SHALL MATCH THE STUD MATERIAL SPECIFIED IN THE WALL STUD SCHEDULE.

ROOF PLAN KEY NOTES

- 2'-0" OVERHANG @ REPAIR SHOP, PROVIDE PRE-FIN. METAL FASCIA TRIM AND VENTED SOFFIT PANELS
- 1'-0" OVERHANG @ REPAIR SHOP RAKE, PROVIDE PRE-FIN. METAL RAKE TRIM
- STUD WALL FRAMING @ SNOW DRIFT LOAD LOCATION = 2-PLY 2x6 SPF #1, DBL. STUDS TO BE ALIGNED WITH TRUSS LOCATIONS.
- STUD WALL FRAMING @ STANDARD ROOF LOAD LOCATION = 2x6 SPF #2 @ 16" O.C. ALIGN EVERY THIRD STUD WITH TRUSS LOCATIONS.
- 2-PLY 2x6 LSL STUDS @ 48" O.C. TYP. @ REPAIR SHOP BRG WALL FRAMING.
- 2-PLY 2x6 LSL STUDS @ 48" O.C. @ REPAIR SHOP END WALL FRAMING.
- 2x6 STUDS @ 16" O.C. @ OFFICE/SHOP END WALL FRAMING.

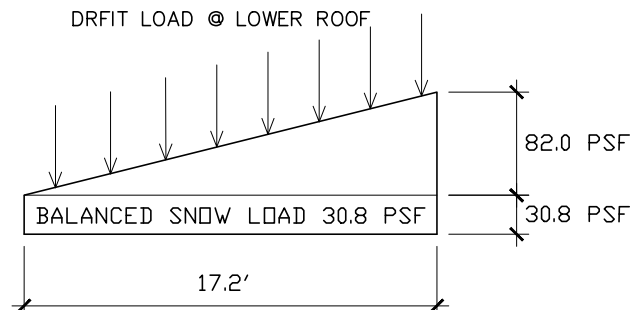
ROOF PLAN GENERAL NOTES

- REFER TO S0.1 FOR ROOF DESIGN LOADS AND SPECIFICATIONS.
- COORDINATE INSTALL AND PLACEMENT OF ROOF TRUSSES WITH ENGINEERED TRUSS DESIGN PLANS AND SPECIFICATIONS
- PROVIDE ALL BRIDGING, BLOCKING, BRACING AND SUPPORT FRAMING AS REQUIRED BY ENGINEERED TRUSS DESIGN REQUIREMENTS AND BCSI STANDARDS.
- PROVIDE POSITIVE TRUSS CONNECTION TO WALL PER SCHEDULE THIS SHEET.
- TRUSSES TO ALIGN WITH STUD POST FRAMING. PLACE DIRECTLY OVER A POST BELOW.
- ROOFING CONTRACTOR TO PROVIDE COMPLETE WEATHERTIGHT ROOFING SYSTEM INSTALL PER MANUFACTURERS SPECIFICATIONS.
- PROVIDE VENTING OF ENCLOSED ROOF SPACE AT A RATE OF 1/300 OF ROOF AREA. PROVIDE 50% OF VENTING AREA AT THE HIGH SIDE (RIDGE) AND 50% OF VENTING LOW (SOFFIT)
- CONTINUOUS GUTTER WITH DOWNSPOUTS A.Y OFFICE AREA, FIELD VERIFY LOCATIONS TO AVOID DOORS AND SITE EQUIPMENT. COORDINATE WITH CIVIL PLANS
- VERIFY ALL ROOF PENETRATIONS WITH RESPECTIVE TRADES AND PROVIDE ALL REQUIRED THRU ROOF EXTENSIONS MIN. OF 12" ABOVE FINISHED ROOF. PROVIDE ALL RELATED CURBS, PIPE BOOTS AND FLASHINGS AS REQUIRED FOR A WEATHERTIGHT FINISH.
- REFER TO SITE PLAN AND STORM WATER DESIGN FOR STORM WATER RUNOFF AND DOWNSPOUTS TO RETENTION AREAS.
- PROVIDE INSULATION THICKNESS MARKERS LABELED FOR INCHES INSTALLED PER EVERY 300 SQ. FT. IN ATTIC SPACE. NUMBERS MIN. 1" TALL, AFFIXED TO TRUSSES, FACING ATTIC ACCESS.



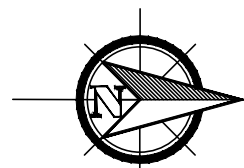
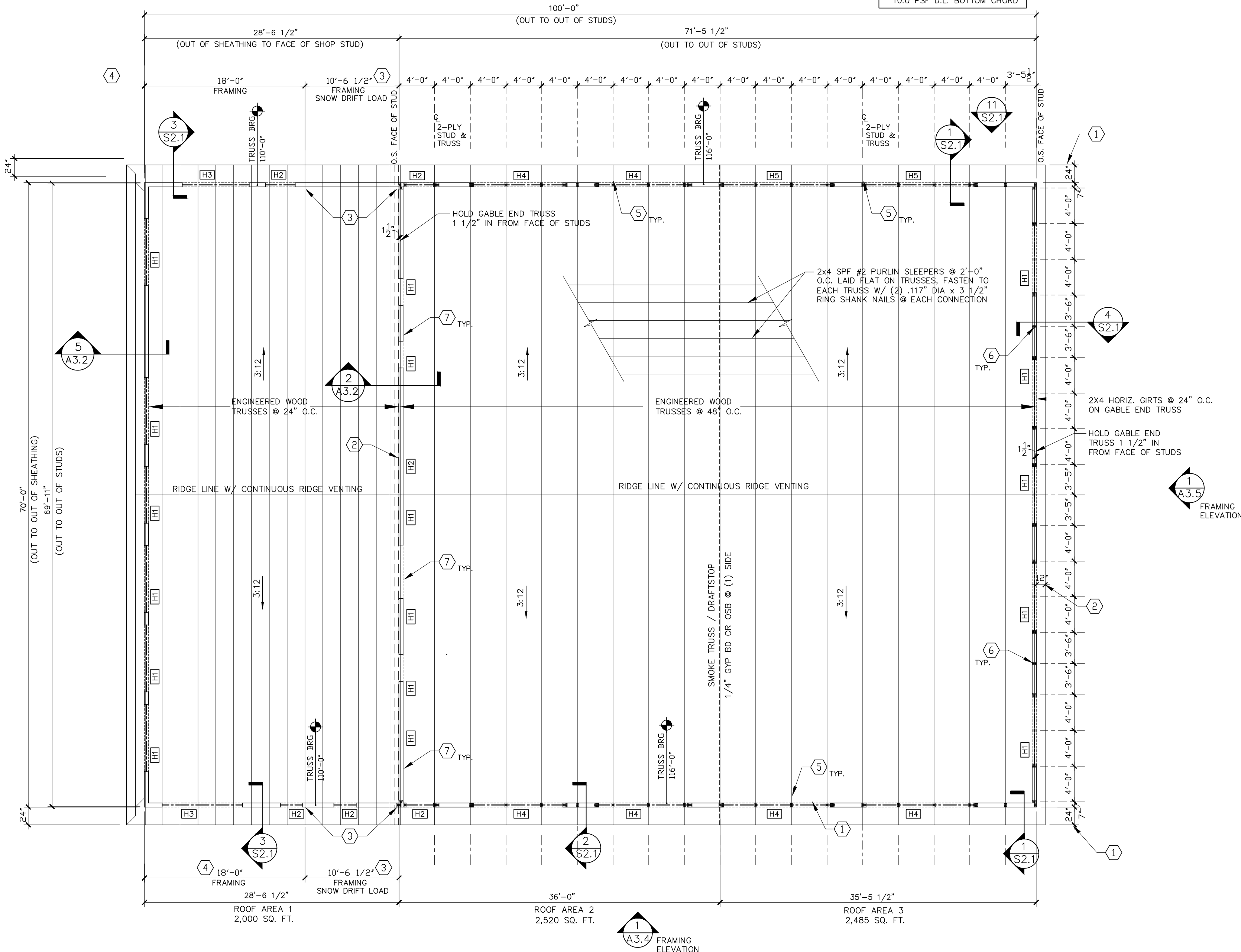
2 UNBALANCED SNOW LOAD DIAGRAM NTS

TRUSS LOADS @ OFFICE AREA
30.8 PSF SNOW LOAD
10.0 PSF D.L. TOP CHORD
10.0 PSF D.L. BOTTOM CHORD
DRIFT LOAD PER DIAGRAM



1 FRAMING ELEVATION
A3.4 OPP.

TRUSS LOADS @ REPAIR SHOP
30.8 PSF SNOW LOAD
5.0 PSF D.L. TOP CHORD
10.0 PSF D.L. BOTTOM CHORD



1 ROOF FRAMING PLAN
1/8"=1'-0"

ROOF VENTING
1/300 MINIMUM

HIGH VENTING
RIDGE VENT = 18" SQ. IN PER LIN. FT.
LOW VENTING
PERFORATED ALUM SOFFIT = 14" SQ. IN. P.L.F.
2" SOFFIT VENT STRIP = 9" SQ. IN PER LIN. FT.
VERIFY VENTING FREE AREA
SPECIFICATIONS WITH MFR. SELECTED

HEADER SCHEDULE

MARK	SIZE	JAMB STUDS	FULL HGT. STUDS	NOTES
H1	2 PLY 2 x 10 - DFL	(1)	(1)	
H2	2 PLY 1 3/4 x 9 1/4 LVL 2.0E	(2)	(1)	
H3	3 PLY 1 3/4 x 14 LVL 2.0E	(2)	(4)	
H4	4 PLY 1 3/4 x 16 LVL 2.0E	(3)	(3)	

NOTES:
1. MINIMUM HEADER SIZE IS INDICATED. ADDITIONAL AND/OR DEEPER MEMBERS MAY BE ADDED TO FILL OUT STUD SPACE OR OTHERWISE SIMPLIFY FRAMING PROCEDURES.
2. NAIL HEADER MEMBERS W/(3) ROWS 10d NAILS @ 12" O.C. EACH FACE.
3. NAIL HEADER MEMBERS W/(3) ROWS 16d NAILS @ 12" O.C. EACH FACE.

NOTE: TRUSS DESIGN

1. TRUSS DESIGNER (MFR) TO SUPPLY CERTIFIED, STAMPED AND SIGNED TRUSS DRAWING AND CALCULATION FOR STATE OF WISCONSIN SUBMITTAL. TRUSS DESIGNER SHALL USE ALL CURRENT CODES AND DESIGN CRITERIA. UNBALANCED SNOW LOADS SHALL BE CONSIDERED FOR TRUSS DESIGN, REFER TO SHEET S0.1

TRUSS HOLD DOWN SCHEDULE (HURRICANE TIES)

LOCATION	QNTY	FASTENER	DETAIL
COMMON TRUSS BEARING OFFICE AREA	(1)	SIMPSON H10S EA. END OF TRUSS	3/S2.1
COMMON TRUSS BEARING REPAIR SHOP (HDR)	(2)	SIMPSON HGA10 EA. END OF TRUSS	2/S2.1
COMMON TRUSS BEARING REPAIR SHOP (POST)	(2)	SIMPSON HGA10 EA. END OF TRUSS	1/S2.1

1) AT REPAIR SHOP ALIGN TRUSS BEARING LOCATIONS (48" O.C.) WITH (2) PLY STUD POST LOCATIONS (48" O.C.)

Plan Commission

DATE OF MEETING: June 24, 2024

APPLICANT: Nick Allan

LOCATION: 3100 E Main St; parcel # 276-2244-58200

PROPOSED LAND USE CHANGE: Site Plan Review (SPR)

DESCRIPTION OF PROPERTY/IMPROVEMENTS: Consider SPR for 100' X 70' auto service building and parking lot.

General Findings

SURROUNDING LAND USES:

- North – RCC
- West – Vacant; Residential
- South – Vacant; Residential
- East – Business; Residential

ZONING:

- North – Ag
- West – B-2
- South – Ag (future I-4)
- East – Ag (future B-2)

TOPOGRAPHY: Slopes down to the east

STREET R.O.W./TRAFFIC/ACCESS: Skinner Dr & Hwy 23/33; 66' & 90' ROW

ENVIRONMENTAL HAZARDS/CONDITIONS: None known

COMPREHENSIVE PLAN DESIGNATION: Business Center

COMMENTS:

POLICE: *My only concern with them is reference to their ability to be on our no-preference two list that they want to stay on. Doesn't look like they will have a fenced in storage area for towed vehicles and they mentioned before about keeping any towed vehicles on a different property so it kept the new spot looking good, which I'm sure the City would like to maintain as well...a good look at the entrance to the City.*

FIRE:

PUBLIC WORKS:

UTILITIES:

SCHOOLS:

PARKS:

ADMINISTRATOR:

Site Plan Review Findings of Fact for Section 690-33(A-G)

Topography and vegetation. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property, the minimization of tree and soil removal and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.

1. The Board finds that the property is currently vacant.
2. The Board finds that a 100' X 70' auto service building and parking lot are proposed.
3. The Board finds that the parcel is zoned Ag with pending to B-2.
4. The Board finds that section §690 Attachment 2 allows 'Automobile sales and service' as a permitted use.
5. The Board finds that the overall property is 101,885 S F (2.34 acres).
6. The Board finds that there would be enclosed dumpsters near the NE corner of the property.

Stormwater. Special attention shall be given to proper site drainage so that removal of stormwaters will not adversely affect neighboring properties.

1. The Board finds that each unit would have a footprint of 100' X 70'.
2. The Board finds that 83 parking stalls are proposed.
3. The Board finds that a storm sewer would drain to the NE.

Emergency Services. All buildings shall be so arranged as to permit emergency vehicle access by some practical means.

1. The Board finds that the property would be accessed from Skinner Dr.
2. The Board finds that the driveway curb cut would be 36' wide.

Exterior lighting shall be arranged as follows:

- It is deflected away from adjacent properties.
 - It does not impede the vision of traffic along adjacent streets.
 - It does not unnecessarily illuminate night skies.
1. The Board finds that new exterior lighting would be located at exterior building exits.

Traffic generation, circulation and parking areas. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area.

1. The Board finds that the property is located at Skinner Dr & Hwy 23/33.
2. The Board finds that there would be a new driveway on Skinner Dr.
3. The Board finds that 83 parking stalls are proposed.

Architectural plans; existing and proposed structures. The proposed conditional land use shall be designed, constructed, operated, and maintained so to complement the surrounding area. Physical buffers shall be added as needed for neighboring conformance.

1. The Board finds that elevations plans are attached.

Consistency with other plans and statutes. Site plans shall conform to all applicable requirements of City, state and federal statutes and the City of Reedsburg Comprehensive Plan, and approval may be conditioned on the applicant receiving necessary City, state and federal permits.

1. The Board finds that future use is Business Center.

STAFF COMMENTS:

- The number of parking spaces appears excessive.
- RPD wants to ensure that any towed vehicles are fenced in per the towing ordinance, if this will be applicable for the site.
- Parking lot islands are a minimum 160 SF, so the two by the building may need to be slightly enlarged (looks to be about 140 SF).
- Parking lot lights should be conditioned on future (staff) approval to ensure shielded lighting.

Reponses from Vierbicher:

1. *DNR stormwater permit needed and/or approved?*

Vierbicher will work with the WDNR to obtain coverage for the NOI Stormwater permit since the Client will be utilizing the regional stormwater basin. The site is currently covered by a land disturbance permit through WDNR issued to the City. After the CSM has been recorded and the land has been transferred, the NOI will be placed in the owner's name. This cannot happen until after the land transfer is completed.

2. *Plan for exterior and parking lot lights?*

Based on my previous conversations with the client, the current plan for the exterior and parking lot lights will be to utilize lights on the building. The owner is running conduit to the islands and to exterior parking for future pole mounted lighting, but none is designed or specified currently.

Exhibit List

- A. City of Reedsburg Comprehensive Plan
- B. Zoning Ordinance, City of Reedsburg, Wisconsin
- C. June 24, 2024, Plan Commission Agenda
- D. Land Use Change Application
- E. Staff Report
- F. Request for Review and Comment
- G. Notice of Public Meeting