

COMMON COUNCIL AGENDA
October 23, 2023
REEDSBURG CITY HALL COUNCIL CHAMBERS
6:00 PM

DUE TO THE RESTRICTIONS CAUSED BY THE COVID-19 PANDEMIC, SOME VOTING MEMBERS MAY BE PRESENT VIA TELECONFERENCE OR VIDEO CONFERENCE, AS PROVIDED BY THE RECOMMENDATIONS OF THE WISCONSIN DEPARTMENT OF JUSTICE. [HTTPS://WWW.DOJ.STATE.WI.US/NEWS-RELEASES/OFFICE-OPEN-GOVERNMENT-ADVISORY-CORONAVIRUS-DISEASE-2019-COVID-19-AND-OPEN-MEETINGS](https://www.doj.state.wi.us/news-releases/office-open-government-advisory-coronavirus-disease-2019-covid-19-and-open-meetings)

CALL TO ORDER:

ROLL CALL:

PLEDGE OF ALLEGIANCE:

THE COUNCIL WILL RECEIVE INFORMATION ON NON-AGENDA TOPICS BROUGHT BEFORE THE COUNCIL BY MEMBERS OF THE PUBLIC. THE COUNCIL WILL NOT DISCUSS THESE TOPICS, AND WILL NOT TAKE ACTION ON ANY OF THEM AT THIS MEETING.

I. CONSENT AGENDA (ONE MOTION APPROVES ALL ITEMS):

1. Approve minutes for the meeting held on October 9, 2023
2. Approve/Deny: Renewal Alcohol Beverage License Application - Agent Change, SSS Wisconsin, LLC D/B/A SQRL Service Station #708, 306 E. Main Street.
3. Appointment: Appoint Scott Larson* to the Police & Fire Commission
4. Appointment: Appoint Todd Polk* to the Public Works Committee
5. Appointment: Appoint Todd Polk* to the Community Development Authority
6. Appointment: Appoint Jerry Zuhlke* to the Zoning Board of Appeals
7. Appointment: Appoint Bernard Jernander to the Airport Commission
8. Appointment: Appoint Eric Schultz* to the Room Tax Commission - Hotel Representative - Holiday Inn Express
9. Appointment: Appoint Arthur Biesek* to the Zoning Board of Appeals

II. GENERAL BUSINESS:

1. Second Public Hearing on CDBG Project Updates in the area of E. Main Street (HWY 23/33) and Golf Course Road.

III. RECOMMENDATIONS FROM BOARDS, COMMITTEES AND COMMISSIONS:

1. Plan Commission: Approve/Deny: First Reading and set a Public Hearing for November 27, 2023 for Ordinance 1965-23 Rezoning 420 Plum Street (South School), parcel 276-1640-20000, from R-3 Residential to B-3 Business. Applicant: Dan DeBaets
2. Plan Commission: Approve/Deny: Second Reading and Public Hearing for Ordinance 1964-23



The City of Reedsburg does not discriminate on the basis of disability in the admissions or access to, or treatment of or employment in, its programs or activities. Disability-related aids or services, including printed information in alternate formats, to enable persons with disabilities to participate in public meetings and programs are available by calling (608) 524-6404. To be able to meet the needs of a request for a different format contact the City Clerk-Treasurer at 134 S. Locust Street, Reedsburg, WI at least 48 hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

Amending Chapter 690, specifically 690-28.1 - 690-28.4 as it relates to Zero-lot line, Townhouses, Bungalows and Accessory Dwelling Units and 690.106 as it relates to Existing/NonConforming Signs.

3. Plan Commission: Approve/Deny: Final Plat with proposed Cul-du-Sac at My Home Estates, 1300 Block of Eight Street, parcels: 276-2031-00000, 276-1380-00000, 276-1380-40000. Applicant: Third Act Development, LLC.
4. Plan Commission: Approve/Deny: Planned Development Group for nine new townhomes/row housing and one four-plex at S. Dewey and Plum Street, parcels 276-1313-20000 & 276-1313-30000. Applicant: D2 Property Construction, LLC

IV. CITY ADMINISTRATOR REPORTS:

1. Update on FY2024 City Budget

V. COMMISSION, COMMITTEE, BOARD AND STAFF REPORTS:

1. 2nd Meeting Committees: Parks & Recreation, REDC, Public Works, Utility Commission, Plan Commission, Library Board,(any other committees or commissions with reports).

VI. OFFICE OF THE MAYOR:

VII. ADJOURN:



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City of Reedsburg Meeting of the Common Council
October 9, 2023

Present: Mayor Dave Estes, Alderpersons David Moon, Sonny Hyde, Jason Schulte, Mike Gargano, Missy Frenz, Phil Peterson, Dave Knudsen, Tom Seamonson and Adam Kaney.

Absent: Finance Director/City Clerk-Treasurer Jacob Crosetto.

Others Present: Timothy M. Becker, City Administrator, City Attorney Max Buckner, Police Chief Pat Cummings, Public Works Director Steve Zibell, Parks and Recreation Director Matt Scott, Building Inspector/Zoning Administrator Brian Duvalle, Julie Strutz
City Deputy Clerk-Treasurer, Citizens, Press.

Mayor Dave Estes called the regular session of the Common Council to order at 6:00 p.m. in the Common Council Chambers.

Approve Consent Agenda: consisting of the minutes from the Common Council meeting held on September 25, 2023, financial report for September 2023, appoint David Moon to the Common Council as District One Alder to complete a vacated term, appoint David Moon to Ordinance, Personnel and Historic Preservation, Proclaiming October 15, 2023 as White Cane Safety Day recognizing the importance of safety for blind and severely visually impaired pedestrians, and Building permit report for September 2023.

Motion: Seamonson, Second: Schulte to approve the consent agenda. Motion carried 9-0.

GENERAL BUSINESS:

- A. Approve/Deny: Entering into a contract for Emergency Medical Ambulance Service with the: Town of Dellona, Town of Excelsior, Town of Freedom, Town of Ironton, Town of LaValle, Town of Lyndon, Town of Reedsburg, Town of Seven Mile Creek, Town of Washington, Town of Westfield, Town of Winfield, Village of LaValle, Village of Lime Ridge, Village of Loganville, Village of North Freedom, and the Village of Rock Springs.
 - a. **Motion: Gargano, Second: Knudsen to approve entering into a contract for Emergency Medical Ambulance Service with the: Town of Dellona, Town of Excelsior, Town of Freedom, Town of Ironton, Town of LaValle, Town of Lyndon, Town of Reedsburg, Town of Seven Mile Creek, Town of Washington, Town of Westfield, Town of Winfield, Village of LaValle, Village of Lime Ridge, Village of Loganville, Village of North Freedom, and the Village of Rock Springs. Motion carried 9-0.**
- B. Approve/Deny: Resolution 4528-23 Creating a special Revenue Fund – Ambulance Fund – Fund 28.
 - a. **Motion: Peterson, Second: Kaney to approve Resolution 4528-23 as presented. Motion carried 9-0.**
- C. Approve/Deny: Second Reading and Public Hearing for Ordinance 1963-23 – Amending Chapter 104-5 – Residency, as it relates to appointments to Committees, Commissions and Boards.
 - a. **Motion: Peterson, Second: Kaney to approve Ordinance 1963-23 as presented. Motion carried 9-0.**
- D. Approve/Deny: Resolution 4529-23 Establishing Parameters for the Sale of Not to Exceed \$4,650,000 General Obligation Corporate Purpose Bonds.
 - a. **Motion: Schulte, Second: Hyde to approve Resolution 4529-23 as presented. Motion carried 9-0.**
- E. Approve/Deny: Resolution 4530-23 Authorizing the Issuance and Establishing Parameters for the Sale of Not to Exceed \$2,350,000 Taxable General Obligation Promissory Notes.
 - a. **Motion: Gargano, Second: Seamonson to approve Resolution 4530-23 as presented. Motion carried 9-0.**

Motion: Gargano, Second: Frenz to adjourn.
Motion carried 9-0. Meeting adjourned at 6:16 p.m.

Respectfully submitted,

Julie Strutz
City Deputy Clerk-Treasurer

Renewal Alcohol Beverage License
Application

FOR CLERKS ONLY

Municipality
City of Reedsburg
License Period

License(s) Requested

- ☒ Class "A" Beer \$ ☒ "Class A" Liquor \$
☐ Class "B" Beer \$ ☐ "Class B" Liquor \$
☐ "Class C" Wine \$ ☐ "Class A" Liquor (Cider Only) \$ 0
☐ Reserve "Class B" Liquor \$ ☐ "Class B" (Wine Only) Winery \$

License Fees	Agent \$ 10.00
Publication Fee	\$
Background Check	\$
Total Fees	Pd \$ 10.00

Part A: Premises/Business Information

1. Legal Business Name (registered entity name or individual's name if sole proprietorship) SQRV SERVICE STATIONS		
2. Trade Name or DBA		
3. Premises Address 700 E. MAIN ST.		
4. County	5. Municipality Reedsburg	6. Aldermanic District
7. Mailing Address (if different from premises address) 27 Kahney Dr. Suite C Little Rock, AR 72223		
8. FEIN 88-1480260	9. Wisconsin Seller's Permit Number 456-1031314238-04	
10. Premises Phone	11. Premises Email store 208 @ sqrlholdings.com	
12. Entity Type (check one) ☐ Sole Proprietor ☐ Partnership ☒ Limited Liability Company ☐ Corporation ☐ Nonprofit Organization		
13. Describe your premises in detail. Attach a floor plan if possible. If you do not want to change your premises description, use the same language previously approved by your municipality, which may be found on your most recent license certificate. Requested changes to the premises description must be approved by the municipal governing body. Convenience store w/ gas		

Part B: Questions

1. Have you added or removed any partners, officers, directors, or managing members since your most recent application was submitted? ☐ Yes ☒ No		
If yes to question 1, please list the names, titles, and phone numbers of any changed persons, and attach Form AT-103 for all NEW members.		
First Name	Last Name	
Phone	Title	☐ Add ☐ Remove
First Name	Last Name	
Phone	Title	☐ Add ☐ Remove
First Name	Last Name	
Phone	Title	☐ Add ☐ Remove

Part B: Questions Cont.

2. Has any partner, officer, director, managing member, or agent had any changes to their most recently filed Form AT-103 including updated contact information, changes in address, criminal history, interest restrictions, etc? If yes, attach a new Form AT-103 reflecting the updated information ☐ Yes ☒ No
3. Does the licensee or any of its officers, directors, managing members, or agent hold any direct or indirect interest in any other alcohol beverage wholesaler or producer (e.g., brewer, brewpub, winery, distillery)? If yes, please explain using the space below. Attach additional sheets if necessary ☐ Yes ☒ No
4. Have the partners, agent, or sole proprietor, satisfied the responsible beverage server training requirement for this license period? ☒ Yes ☐ No
5. Is the person or business identified in Part A, the genuine seller of alcohol beverages and operator of the business (e.g., reporter of profit/loss from the sale of alcohol beverages on their income tax return, holder of the seller's permit for the business location, payer of employees, taxes, utilities, and other expenses for the business, etc.)? ☒ Yes ☐ No
6. Is the business indebted to any wholesaler beyond 15 days for beer or 30 days for liquor? ☐ Yes ☒ No
7. Does the applicant owe municipal property taxes, assessments, or other fees? ☐ Yes ☒ No

Part C: For Corporate/LLC Applicants Only:

1. Has your designated agent changed since your most recent application? If yes, list the new agent name below and attach Form AT-103 for that person and a Form AT-104. ☒ Yes ☐ No
- | | | |
|-------------------------------------|-----------------------------------|---|
| 2. Agent Last Name
Pliska | Agent First Name
Dennis | Agent Phone Number
715-922-0305 |
|-------------------------------------|-----------------------------------|---|

Part D: Attestation

Who must sign this application?

- sole proprietor • one general partner of a partnership • one corporate officer • one managing member of an LLC

READ CAREFULLY BEFORE SIGNING: Under penalty of law, I have answered each of the above questions completely and truthfully. I agree that I am acting solely on behalf of the applicant business and not on behalf of any other individual or entity seeking the license. Further, I agree that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another individual or entity. I agree to operate this business according to the law, including but not limited to, purchasing alcohol beverages from state authorized wholesalers. I understand that lack of access to any portion of a licensed premises during inspection will be deemed a refusal to allow inspection. Such refusal is a misdemeanor and grounds for revocation of this license. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature 	Date 10/17/23
Name (Last, First, M.I.) Lusthaus, Adam M.	
Title President	Email mariah@sqrholdings.com

Part E: For Clerk Use Only

Date application was filed with clerk 10-19-2023	Date reported to governing body 10-23-2023	Date provisional license issued (if applicable)
Date license granted	License number	Date license issued
Signature of Clerk/Deputy Clerk		

Schedule for Successor of Agent

If there is a change in agent, each club, corporation, or limited liability company who holds a retail permit to sell fermented malt beverages and/or intoxicating liquor must appoint a successor agent pursuant to sec. 125.04(6), Wis. Stats. There is a \$10 change in agent processing fee due with this form. The following questions must be answered by the Agent. The appointment must be signed by an officer of the corporation/organization or one member of limited liability company. (Only one signature is required). The appointment must be approved by the licensing authority.

City of Reedsburg Wisconsin 10/19 2023
(Municipality) (Date)

1. Name of agent

Dennis E Pliska

Yes No

2. ☒ ☐ Are you of legal drinking age?
3. ☒ ☐ Have you been a resident of Wisconsin for at least 90 continuous days prior to the date of appointment as agent?
4. ☐ ☒ Have you ever been convicted of a federal law violation?
5. ☐ ☒ Have you ever been convicted of a state law violation?
6. ☐ ☒ Have you ever been convicted of a local ordinance violation?
7. ☒ ☐ Have you completed the required responsible beverage server program per sec. 125.04(5)(a)5, Wis. Stats.?

UNDER PENALTY OF LAW, I declare that all of the above information is true and correct to the best of my knowledge and belief.

Any person who knowingly provides materially false information in an application for a license may be required to forfeit not more than \$1,000.

Dennis E Pliska

(Signature of Agent)

WS063 STATE HWY 86 Ogdema WI 54659
(Address)

SUCCESSOR AGENT

The undersigned appoints Dennis E Pliska as agent
in accordance with sec. 125.04(6), Wis. Stats.

Name of Permittee

SQRV Service Stations

Date Oct. 17 2023

By

Adrian Lum

(Signature of Officer / Member)

I hereby accept appointment as agent for Dennis E Pliska and assume
full responsibility of the conduct of the business relative to fermented malt beverages and intoxicating liquors.

Date October 18th 2023

Dennis E Pliska

(Signature of Agent)

THE AGENT APPOINTED ABOVE MUST BE APPROVED BY THE LICENSING AUTHORITY TO BE EFFECTIVE.
(See sec. 125.04(6), Wis. Stats.)

Reedsburg WI 10/19 2023
(Municipality) (Date)

Patricia C...

(Signature of Official)

Chief of Police

(Title)

Auxiliary Questionnaire Alcohol Beverage License Application

Submit to municipal clerk.

Individual's Full Name (please print) (last name)		(first name)	(middle name)	
Pliska		Dennis	Edward	
Home Address (street/route)	Post Office	City	State	Zip Code
W5063 State Highway 86		Ogema	WI	54459
Home Phone Number	Age	Date of Birth	Place of Birth	
715-922-0305	WI	09/16/1971	Stevens Point	

The above named individual provides the following information as a person who is (check one):

- ☐ Applying for an alcohol beverage license as an **individual**.
- ☐ A member of a **partnership** which is making application for an alcohol beverage license.
- ☒ **Agent** of **SSS Wisconsin LLC**

(Officer / Director / Member / Manager / Agent)

(Name of Corporation, Limited Liability Company or Nonprofit Organization)

which is making application for an alcohol beverage license.

The above named individual provides the following information to the licensing authority:

1. How long have you continuously resided in Wisconsin prior to this date? **52 years**
2. Have you ever been convicted of any offenses (other than traffic unrelated to alcohol beverages) for violation of any federal laws, any Wisconsin laws, any laws of any other states or ordinances of any county or municipality? ☐ Yes ☒ No
If yes, give law or ordinance violated, trial court, trial date and penalty imposed, and/or date, description and status of charges pending. (If more room is needed, continue on reverse side of this form.)
3. Are charges for any offenses presently pending against you (other than traffic unrelated to alcohol beverages) for violation of any federal laws, any Wisconsin laws, any laws of other states or ordinances of any county or municipality? ☐ Yes ☒ No
If yes, describe status of charges pending.
4. Do you hold, are you making application for or are you an officer, director or agent of a corporation/nonprofit organization or member/manager/agent of a limited liability company holding or applying for any other alcohol beverage license or permit? ☒ Yes ☐ No
If yes, identify. **Multiple Locations in WI as Agent**
- (Name, Location and Type of License/Permit)
5. Do you hold and/or are you an officer, director, stockholder, agent or employee of any person or corporation or member/manager/agent of a limited liability company holding or applying for a wholesale beer permit, brewery/winery permit or wholesale liquor, manufacturer or rectifier permit in the State of Wisconsin? ☐ Yes ☒ No
If yes, identify.

(Name of Wholesale Licensee or Permittee)

(Address By City and County)

6. Named individual must list in chronological order last two employers.

Employer's Name	Employer's Address	Employed From	To
SQRL Holdings LLC	27 Rahling blvd Circle Litt	01/2023	current
Employer's Name	Employer's Address	Employed From	To
Ogema Hills Gas and	N1826 County Road G	12/2021	01/2023

READ CAREFULLY BEFORE SIGNING: Under penalty provided by law, the undersigned states that each of the above questions has been truthfully answered to the best of the knowledge of the signer. The signer agrees that he/she is the person named in the foregoing application; that the applicant has read and made a complete answer to each question, and that the answers in each instance are true and correct. The undersigned further understands that any license issued contrary to Chapter 125 of the Wisconsin Statutes shall be void, and under penalty of state law, the applicant may be prosecuted for submitting false statements and affidavits in connection with this application. Any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000.


(Signature of Named Individual)

Schedule for Appointment of Agent by Corporation / Nonprofit Organization or Limited Liability Company

Submit to municipal clerk.

All corporations/organizations or limited liability companies applying for a license to sell fermented malt beverages and/or intoxicating liquor must appoint an agent. The following questions must be answered by the agent. The appointment must be signed by an officer of the corporation/organization or one member/manager of a limited liability company and the recommendation made by the proper local official.

To the governing body of: Town Village of Reedsberg County of Sauk
City

The undersigned duly authorized officer/member/manager of SSS Wisconsin LLC
(Registered Name of Corporation / Organization or Limited Liability Company)

a corporation/organization or limited liability company making application for an alcohol beverage license for a premises known as SQRL Sevice Station Store # 708
(Trade Name)

located at 306 E Main Street Reedsberg WI 53959

appoints Dennis E. Pliska
(Name of Appointed Agent)
W5063 State Highway 86 Ogema WI 54459
(Home Address of Appointed Agent)

to act for the corporation/organization/limited liability company with full authority and control of the premises and of all business relative to alcohol beverages conducted therein. Is applicant agent presently acting in that capacity or requesting approval for any corporation/organization/limited liability company having or applying for a beer and/or liquor license for any other location in Wisconsin?

☒ Yes ☐ No If so, indicate the corporate name(s)/limited liability company(ies) and municipality(ies).

I am the Appointed Agent for multiple locations in Wisconsin

Is applicant agent subject to completion of the responsible beverage server training course? ☐ Yes ☒ No

How long immediately prior to making this application has the applicant agent resided continuously in Wisconsin? 52

Place of residence last year W5063 State Highway 86 Ogema WI 54880

For: SSS Wisconsin LLC
(Name of Corporation / Organization / Limited Liability Company)

By: _____
(Signature of Officer / Member / Manager)

Any person who knowingly provides materially false information in an application for a license may be required to forfeit not more than \$1,000.

ACCEPTANCE BY AGENT

I, Dennis E. Pliska, hereby accept this appointment as agent for the
(Print / Type Agent's Name)

corporation/organization/limited liability company and assume full responsibility for the conduct of all business relative to alcohol beverages conducted on the premises for the corporation/organization/limited liability company.

Dennis E. Pliska 10/17/2023 Agent's age 52
(Signature of Agent) (Date)
W5063 STATE Highway 86 Ogema WI 54459 Date of birth 9-16-1971
(Home Address of Agent)

APPROVAL OF AGENT BY MUNICIPAL AUTHORITY (Clerk cannot sign on behalf of Municipal Official)

I hereby certify that I have checked municipal and state criminal records. To the best of my knowledge, with the available information, the character, record and reputation are satisfactory and I have no objection to the agent appointed.

Approved on 10/19/23 by Patricia Culp Title Police Chief
(Date) (Signature of Proper Local Official) (Town Chair, Village President, Police Chief)

ORDINANCE NO. 1965-23
(Zoning Change – 420 Plum Street; parcel #276-1640-20000)

The City of Reedsburg, Sauk County, Wisconsin, does hereby ordain as follows:

SECTION I: PURPOSE.

Consider rezoning property from R-3 Residential to B-3 Business.

SECTION II: PROVISION AMENDED.

The zoning map for the City of Reedsburg as set forth in the official map provided for in the Ordinances for the City of Reedsburg is hereby permanently amended so as to zone the territory listed below in the manner set forth below.

SECTION III: PROPERTY ZONING

Lot 1 of Parcel 276-1640-20000, Reedsburg, Wisconsin, is hereby zoned B-3 Business.

A property map may be obtained or accessed from the City Clerk at Reedsburg City Hall, 134 S. Locust St, Reedsburg, WI; (608) 524-6404; www.reedsburgwi.gov .

SECTION IV: VALIDITY.

Should any section, clause or provision of the ordinance be declared by the courts to be invalid, the same shall not affect the validity of the ordinance as a whole or any part thereof, other than the part so declared to be invalid.

SECTION V: CONFLICTING PROVISIONS REPEALED.

All ordinances in conflict with any provisions of this ordinance are hereby repealed.

SECTION VI: EFFECTIVE DATE.

This ordinance shall be in force from and after its introduction and publication as provided by statute.

SECTION VII: PART OF CODE:

This Ordinance becomes part of the City of Reedsburg Code, Chapter 690.

Dated this 27th day of November 2023.

David G. Estes, Mayor

Jacob Crosetto, Clerk/Treasurer

1st Reading at Council:
Public Hearing Noticed:
2nd Reading at Council/Public Hearing:
Published, Enactment Date:

October 23, 2023
November 2 & November 9, 2023
November 27, 2023
December 7, 2023

City of Reedsburg Land Use Application

134 S. Locust St.
PO Box 490
Reedsburg, WI 53959

Ph: 608-524-6404
Fax: 608-524-8458
bduvalle@ci.reedsburg.wi.us

APPLICANT: South School Estates Dan Nebacts
ADDRESS: 420 Plum St CITY: Reedsburg STATE: WI
ZIP: 53959 PHONE: 608 963-4082 PARCEL #: 1640-2
E-MAIL: Dan @ DCEReedsburg.com
PROPERTY OWNER: (if different from Applicant) _____

LOCATION: (if different from address above) 420 Plum St

LAND USE REQUEST

(Please describe one or more as applicable – attach extra pages/maps if necessary)

- ☐ **Certified Survey Map (CSM):** _____
☐ **Conditional Use Permit:** _____

For **CONDITIONAL USE PERMIT** requests, also answer "A, B & C" on back page.

- ☐ **Preliminary Plat:** _____ **Final Plat:** _____ **Name of Plat:** _____
☒ **Rezoning - From:** R-3 **To:** B-3 **TID #** _____
☐ **Site Plan Review:** (See "B & C" on back page) _____
☐ **Zoning Appeal / Interpretation:** _____
☐ **Zoning Variance:** _____

For **VARIANCE** requests, also answer "D" on back page.

- ☐ **Other or Annexation:** _____

AFFIDAVIT

I certify that the information and plans submitted are true and accurate to the best of my knowledge. I also give permission to City zoning officials to enter my property for inspection purposes and for a temporary Zoning sign to be placed in my yard prior to the meeting.

Dan [Signature] 12/15/23
Applicant Signature / Date

Dan [Signature] 12/15/23
Owner Signature / Date

Account #10-461500-00

**The applicant or representative
MUST ATTEND the meeting(s).**

Cond Use Permit	\$200	_____
Cond Use-Agriculture	\$400	_____
Variance	\$125	_____
Rezoning	\$200	_____
C.S.M.	\$175	_____
Subdivision Plat	\$610	_____
- w/ Stormwater Plan	\$100	_____
Site Plan Review	\$175	_____
Annexation	\$200	_____
Plan Amend	\$200	_____
Date Paid		_____
Receipt #		_____

Staff Report

DATE: 10/10/23

APPLICANT: City of Reedsburg

LOCATION: 420 Plum St; Parcel #276-1640-20000

ZONING: R-3 Multi-family Residential

DESCRIPTION OF PROPERTY/IMPROVEMENTS: Rezone parcel to B-3 Business. The applicant wishes to add future commercial tenants to the building. The R-3 zone as done back when the original re-development was to be solely multi-family residential.

General Findings

SURROUNDING LAND USES:

- North – Residential
- West – Residential
- South – Residential
- East – Residential

ZONING:

- North – R-1 Residential
- West – R-1 Residential
- South – R-1 Residential
- East – R-1 Residential; Government

TOPOGRAPHY: Flat slopes

STREET R.O.W./TRAFFIC/ACCESS: Plum/S Park/S Locust St; 66' ROW

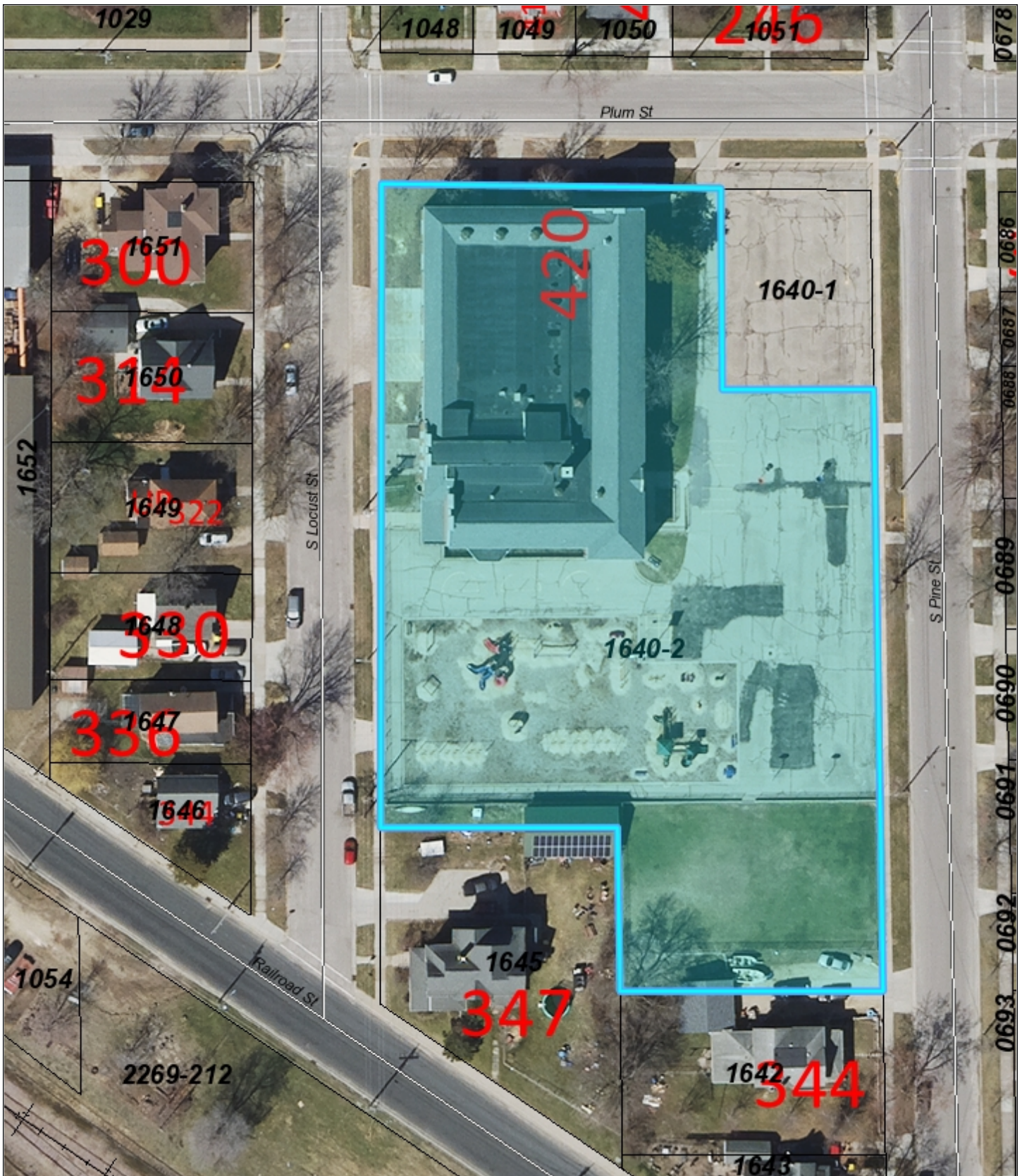
ENVIRONMENTAL HAZARDS/CONDITIONS: None known

COMPREHENSIVE PLAN DESIGNATION: Government & Institutional

STAFF COMMENTS: There is an existing office being used in the building, and a proposal to add a commercial kitchen as well. Therefore to add commercial tenants to the building, the property needs to be rezoned first. If approved, any commercial use would then require a CUP and most likely DSPS review.

Exhibit List

- A. City of Reedsburg Comprehensive Plan
- B. Zoning Ordinance, City of Reedsburg, Wisconsin
- C. October 10, 2023, Plan Commission Agenda
- D. Land Use Change Application
- E. Staff Report
- F. Notice of Public Meeting



City of Reedsburg GIS

DISCLAIMER: The City of Reedsburg does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 69'

CITY OF REEDSBURG

134 S. Locust Street
PO Box 490
Reedsburg, WI 53959
608-524-6404

Print Date: 10/2/2023

ORDINANCE NO. 1964-23
(Zoning Ordinance Amendments)

The City of Reedsburg, Sauk County, Wisconsin, does hereby ordain as follows:

SECTION I: PURPOSE

These amendments would address minimum street frontages and dwelling sizes for various housing developments, existing signs and add a new section for accessory dwelling units.

SECTION II: PROVISIONS AMENDED

The following City of Reedsburg Code Sections are hereby amended by this Ordinance.

§ 690-28.1 Zero lot line

C. (1) Lot width at minimum building setback line: The aggregate widths of both lots that a duplex occupies shall total not less than 80 feet. No single lot width shall be less than 40 feet. **Street frontage shall be no less than 22 feet per lot.**

§ 690-28.2 Townhouses

C. (2) Minimum lot width **and street frontage** is 24 feet per unit.

§ 690-28.3 Bungalow courts

C. (1) Maximum height is 20 feet ~~or 1 1/2 stories.~~

C. (2) Minimum first floor area is ~~720~~ **576** square feet; maximum first floor area is 1,500 square feet.

§ 690-106 Existing/nonconforming signs.

~~A. No sign presently erected which is altered, damaged or destroyed beyond 50% of its replacement cost shall be reconstructed, rebuilt, or relocated unless it complies with all requirements of this article.~~

Existing legal non-conforming signs shall comply with § 690-38(B).

~~B. The only alterations allowed of nonconforming signs are minor repairs and maintenance to keep it structurally safe and sound assuming the costs do not exceed 50% of the sign's replacement cost.~~

~~C. B.~~ Any sign that is moved to a new location either on the same or different parcel shall be considered a new sign and must meet the requirements of this article.

SECTION II: PROVISIONS ADDED

The following City of Reedsburg Code Sections are hereby added to this Ordinance.

§ 690-28.4 Accessory Dwelling Units (ADU)

- A. Definition. An ADU is a smaller, independent residential dwelling unit located on the same lot as a detached single-family dwelling.
- B. Approval process. ADUs are conditional on all parcels that contain a single-family dwelling and require site plan approval by the Plan Commission. Variances of ADU standards may be granted by the Plan Commission if the request is not contrary to the public interest and the spirit of this chapter is observed.
- C. Standards. The standards of § 690-18 shall apply. In addition the following standards shall apply and may supersede any that conflict with § 690-18:
 - (1) The principal dwelling must be a single-family dwelling and owner-occupied.
 - (2) No more than one (1) ADU may be located on a lot.
 - (3) The number of occupants of the ADU shall not exceed one (1) family.
 - (4) The ADU shall not be sold separately from the principal dwelling.
 - (5) The ADU height and lot line setbacks shall correspond with the underlying zoning district.
 - (6) The ~~maximum~~ size of an ADU shall be **576-1200** square feet **total**.
 - (7) An ADU shall contain no more than two (2) bedrooms.
 - (8) An ADU entryway shall be connected to a street frontage by a paved walkway or driveway.
 - (9) An accessory dwelling unit shall comply with all UDC building codes in effect at the time of application. Conversion of existing structures may require verification from a licensed designer.
 - (10) The ADU shall not be used as a tourist rooming house (Chapter 556).
 - (11) Park impact fee shall apply; sanitary sewer impact fee shall apply if there is an additional sewer connection. Additional utility impact fees may be required.

SECTION IV: VALIDITY

Should any section, clause or provision of the ordinance be declared by the courts to be invalid, the same shall not affect the validity of the ordinance as a whole or any part thereof, other than the part so declared to be invalid.

SECTION V: CONFLICTING PROVISIONS REPEALED

All ordinances in conflict with any provisions of this ordinance are hereby repealed.

SECTION VI: EFFECTIVE DATE

This ordinance shall be in force from and after its introduction and publication as provided by statute.

SECTION VII: PART OF CODE

This Ordinance becomes part of the City of Reedsburg Code, Chapter 690.

Dated this 23rd day of October 2023.

David G. Estes, Mayor

Jacob Crosetto, Clerk/Treasurer

1st Reading at Council:	September 25, 2023
Public Hearing Noticed:	October 5 & 12, 2023
2nd Reading at Council/Public Hearing:	October 23, 2023
Published, Enactment Date:	November 2, 2023

City of Reedsburg Land Use Application

134 S. Locust St.
PO Box 490
Reedsburg, WI 53959

Ph: 608-524-6404
Fax: 608-524-8458
bduvalle@ci.reedsburg.wi.us

APPLICANT: Third Act Development, LLC

ADDRESS: E9290 Hogsback Rd **CITY:** Baraboo **STATE:** WI

ZIP: 53913 **PHONE:** 608-345-1905 **PARCEL #:** 276-2031-00 & 276-1380-00

E-MAIL: truemusicmax@gmail.com

PROPERTY OWNER: (if different from Applicant) _____

LOCATION: (if different from address above) 276-2031-00 & 276-1380-00

LAND USE REQUEST

(Please describe one or more as applicable – attach extra pages/maps if necessary)

☐ **Certified Survey Map (CSM):** _____

☐ **Conditional Use Permit:** _____

For *CONDITIONAL USE PERMIT* requests, also answer “A, B & C” on back page.

☐ **Preliminary Plat:** _____ **Final Plat:** X **Name of Plat:** My Home Estates

☐ **Rezoning - From:** _____ **To:** _____ **TID #** _____

☐ **Site Plan Review:** (See “B & C” on back page) 56-Unit Apartment Building & 3 Zero Lot Line Duplex Units

☐ **Zoning Appeal / Interpretation:** _____

☐ **Zoning Variance:** _____

For *VARIANCE* requests, also answer “D” on back page.

☐ **Other or Annexation:** _____

AFFIDAVIT

I certify that the information and plans submitted are true and accurate to the best of my knowledge. I also give permission to City zoning officials to enter my property for inspection purposes and for a temporary Zoning sign to be placed in my yard prior to the meeting.

Applicant Signature / Date

Owner Signature / Date

Account #10-461500-00

***The applicant or representative
MUST ATTEND the meeting(s).***

G:\wpnet\Zoning - Planning\Land Use Appl.doc

Cond Use Permit	\$200	_____
Cond Use-Agriculture	\$400	_____
Variance	\$125	_____
Rezoning	\$200	_____
C.S.M.	\$175	_____
Subdivision Plat	\$610	_____
- w/ Stormwater Plan	\$100	_____
Site Plan Review	\$175	_____
Annexation	\$200	_____
Plan Amend	\$200	_____
Date Paid		_____
Receipt #		_____

Staff Report

DATES: October 10, 2023

APPLICANT: Third Act Development, LLC

LOCATION: 1351 8th St, Parcel #s 276-2031-00000, 276-1380-00000, 276-1380-40000

PROPOSED LAND USE CHANGE: Final Plat w/ proposed cul-de-sac

DESCRIPTION OF PROPERTY/IMPROVEMENTS: Consider variance as part of subdivision plat review to allow a cul-de-sac street per § 674-7(D)(5).

(5) Cul-de-sac and dead-end streets are prohibited unless approved under § 674-12.

General Findings

SURROUNDING LAND USES:

- North – Single-family residential; RUC water
- West – School; Church
- South – Single-family residential
- East – Townhouse residential; Nishan Park

ZONING:

- North- R-2 Residential; Government
- West- R-2 Residential; Government
- South- R-2 Residential
- East- R-2 Residential; Government

TOPOGRAPHY: Slopes up to north

STREET R.O.W./TRAFFIC/ACCESS: 8th St; 66' ROW

ENVIRONMENTAL HAZARDS/CONDITIONS: None known

COMP PLAN DESIGNATION: Medium & High Density Residential

COMMENTS

ADMINISTRATOR:

AMBULANCE:

FIRE:

POLICE:

PUBLIC WORKS:

SCHOOL:

UTILITIES:

OTHER:

§ 674-12

(3) Variances In making its determination with respect to unnecessary hardship or practical difficulty the Commission shall take into account the nature of the proposed use of the land, the nature of existing land use in the vicinity, and the considerations set forth in § 674-1 of this chapter of the Code of the City of Reedsburg. No variance shall be granted unless the Commission finds:

- (a) That there are special circumstances uniquely affecting the property such that strict application of the requirements of this chapter would deprive the applicant of the reasonable use of his or her land.
- (b) That the variance is necessary to preserve a substantial property right of the applicant.
- (c) That the granting of the variance will not be detrimental to the public welfare or injurious to other property in the area.
 - The property is 4 acres in size
 - The property is landlocked on three sides
 - Here are private residential lots to the east and south
 - There is a city park to the west
 - The sole public street access is from the north on Retzlaff Dr
 - The proposed cul-de-sac would be roughly 300' long

STAFF COMMENTS:

There is a roughly 50'-high hillside at the north end of this parcel with steep slopes on three sides. The hill has a fairly flat surface on top where a 200'-long cul-de-sac would be located and would minimize site alterations.

Exhibit List

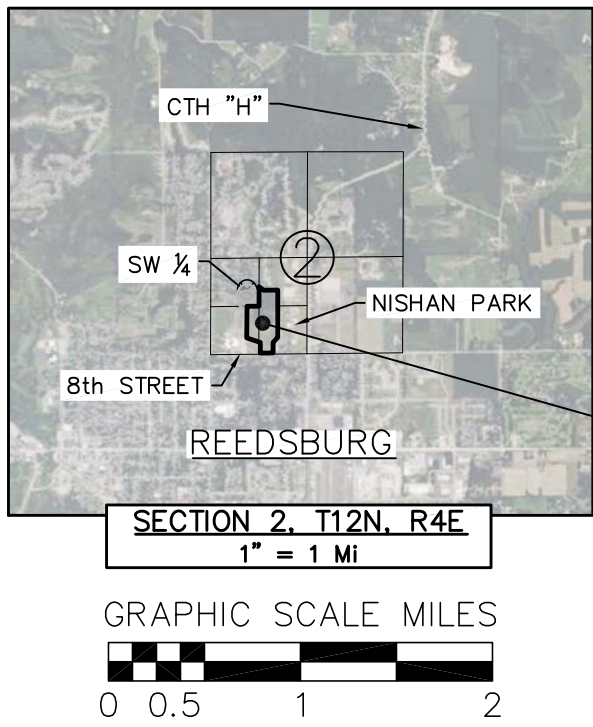
- A. City of Reedsburg Comprehensive Plan
- B. Zoning Ordinance, City of Reedsburg, Wisconsin
- C. October 10, 2023, Plan Commission Agenda
- D. Land Use Change Application
- E. Staff Report
- F. Request for Review and Comment
- G. Notice of Public Meeting

MY HOME ESTATES

ALL OF LOT 4 OF SAUK COUNTY CERTIFIED SURVEY MAP NO. 1740 RECORDED AS DOCUMENT NO. 489000 IN VOLUME 7 OF CERTIFIED SURVEYS, PAGES 1740 & 1740A, PART OF LOT 2 OF THE CITY OF REEDSBURG ASSESSOR'S PLAT, LOCATED IN AND PART OF THE NORTHEAST, SOUTHEAST AND SOUTHWEST QUARTERS OF THE SOUTHWEST QUARTER OF SECTION 2, T12N, R4E, CITY OF REEDSBURG, SAUK COUNTY, WISCONSIN

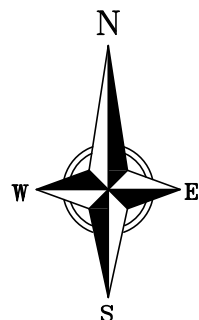
© Vierbicher Associates, Inc.

R:\Reedsburg, City of\230214 - My Home Estates\CADD\230214 - 08-21-2023 - My Home Estates Phase 1 Subdivision Plat.dwg by:mlm 05 Sep 2023 - 7:45a



SURVEY LEGEND

- Public Land Corner, Recovered from Ties
- Found 2" Ø Iron Pipe
- Found 1 1/4" Ø Iron Rod
- Found 3/4" Ø Iron Rod
- Set 3/4" Ø c 18" Iron Rod, 1.5 Lb./Ft
- Set 1 1/4" Ø x 18" Iron Rod, 4.3 Lb./Ft.
- Computed Location



SW COR. SEC. 2
T12N, R4E, FALLS IN
SANITARY MANHOLE,
NO MONUMENT SET

SURVEYOR'S NOTES:

- Bearings are referenced to the Wisconsin Coordinate Reference System, Sauk County, (WICRS, Sauk, NAD 83/2011). The south line of the northwest quarter of Section 2, T12N, R4E Bears N89°27'36"E.
- The area of dedicated right-of-way of Roads "A", "B" and "C" within this subdivision plat total 4.33 Ac., (188,811 Sq. Ft.).
- There are no existing buildings within the boundary of the My Home Estates. Building shown on Lot 1 is a proposed apartment building and on lots 2, 3, 4, 5, 6 and 7 are zero lot line residential duplex structures.
- See Sheet 2 of 2 for general utility easement details.
- Zero lot line parcels shown in this subdivision are allowable under the City of Reedsburg Code of Ordinance § 690-28.
- Outlots 1 and 2 are dedicated to the City of Reedsburg for storm water management purposes.
- Outlot 3 is intended for the purpose of a pocket park for the exclusive use of the residents of this development with the exception of the 20' wide access easement to access Outlot 4.
- Outlot 4 is dedicated to the public for park purposes.
- EC# denotes Easement Curve measurements.

MY HOME ESTATES

LOT 4, CSM 1740 AND PART OF THE NE, SE & SW QUARTERS
OF THE SW QUARTER, SECTION 2, T12N, R4E
CITY OF REEDSBURG, SAUK COUNTY, WISCONSIN

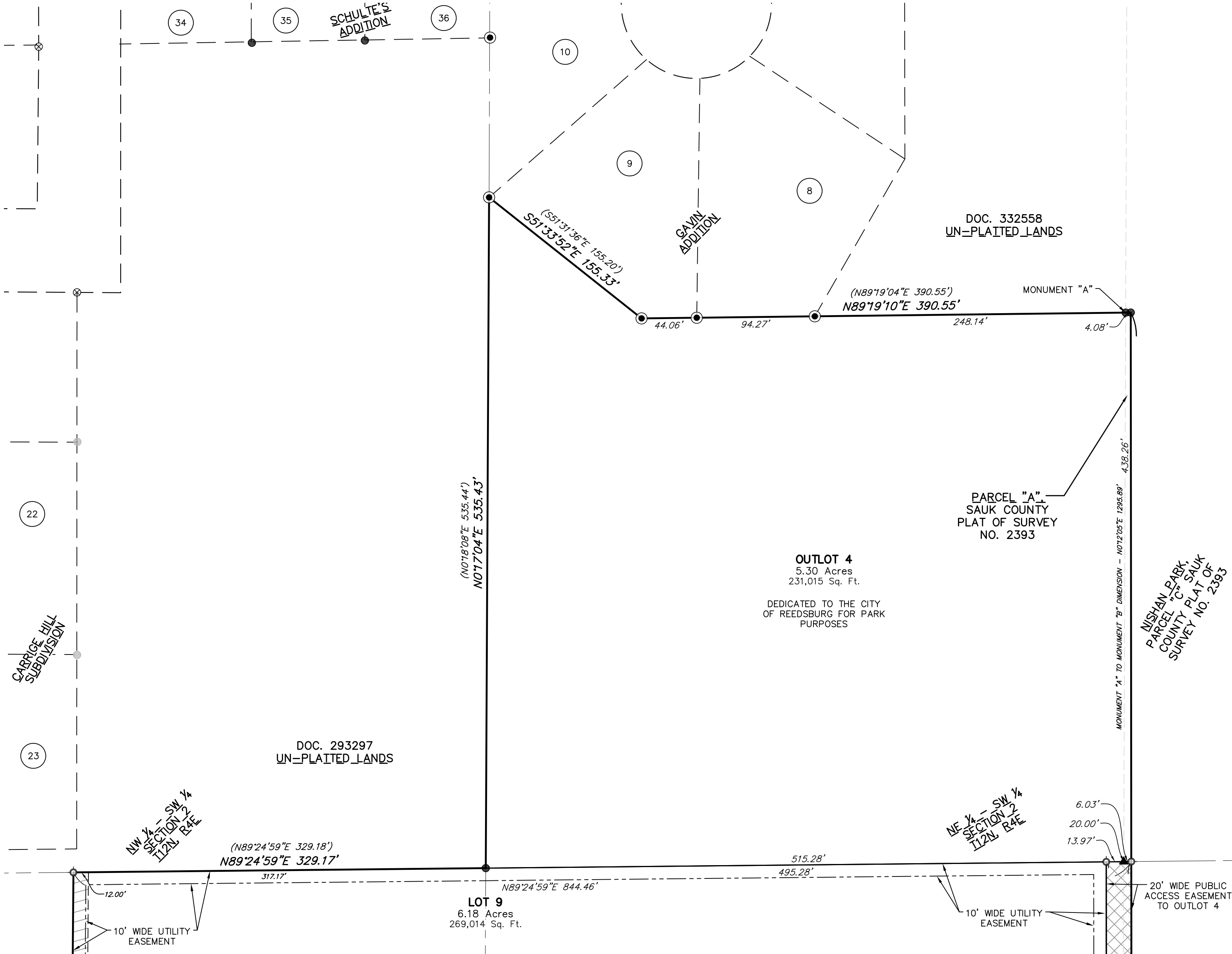
vierbicher
planners | engineers | advisors

Phone: (800) 261-3898



MY HOME ESTATES

ALL OF LOT 4 OF SAUK COUNTY CERTIFIED SURVEY MAP NO. 1740 RECORDED AS DOCUMENT NO. 489000 IN VOLUME 7 OF CERTIFIED SURVEYS, PAGES 1740 & 1740A, PART OF LOT 2 OF THE CITY OF REEDSBURG ASSESSOR'S PLAT, LOCATED IN AND PART OF THE NORTHEAST, SOUTHEAST AND SOUTHWEST QUARTERS OF THE SOUTHWEST QUARTER OF SECTION 2, T12N, R4E, CITY OF REEDSBURG, SAUK COUNTY, WISCONSIN



SURVEYOR'S CERTIFICATE

I, Marc A. Londo, Wisconsin Professional Land Surveyor No. 2696, hereby certify, That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes, Chapter A-E7 of the Wisconsin Administrative Codes and the subdivision regulations of the City of Reedsburg, and under the direction of Max Dvorak, owner of KMD Enterprises, I have surveyed, divided, mapped, dedicated and monumented this subdivision plat named My Home Estates, being part of Assessor's Lot 2 of the Assessor's Plat of the City of Reedsburg and Lot 4 of Sauk County Certified Survey Map No. 1740, located in part of the Northeast quarter of the Southwest quarter, part of the Southeast Quarter of the Southwest Quarter and part of the Southwest Quarter of the Southwest Quarter of Section 2 T12N, R4E, City of Reedsburg, Sauk County, Wisconsin, more particularly described as follows:

All of Lot 4 of Sauk County Certified Survey Map No. 1740 recorded as Document No. 489000 in Volume 7 of Certified Surveys, Pages 1740 & 1740A, part of Lot 2 of the City of Reedsburg Assessor's Plat, located in part of the Northeast, Southeast and Southwest Quarters of the Southwest quarter of Section 2, T12N, R4E, City of Reedsburg, Sauk County, Wisconsin and bounded by a line described as follows:

Commencing at the South One-Quarter Corner of Section 2, T12N, R4E; Thence, S89°24'36\"W, along the south line of the Southwest Quarter of said Section 2, 931.60 feet to its intersection with the southerly extension of the west line of Park Place Condominium; Thence, N00°11'38\"E, along said southerly extension of the west line of Park Place Condominium, 31.12 feet, to a found 3/4\" diameter iron rod at the southwest corner thereof, the north right-of-way line of Eighth Street and the Point of Beginning (P.O.B.) of this description;

Thence, S89°31'01\"W, along the said north right-of-way line of Eighth Street, 349.24 feet, to a found 3/4\" inch diameter iron rod at the southwest corner of Lot 4 of Sauk County Certified Survey Map No. 1740;

Thence, N00°15'34\"E, along the west line of said Lot 4 and the east line of Lot 1 of said Sauk County Certified Survey Map No. 1740, 295.00 feet, to a found 3/4\" inch diameter iron rod at the northeast corner thereof;

Thence, N89°24'59\"W, along the northeast line of said Lot 1, 393.74 feet to a found 3/4\" inch diameter iron rod at the northwest corner thereof and the west line of Lot 2 of said City of Reedsburg Assessor's Plat;

Thence, N00°27'36\"E, along the west line of said Lot 2, 871.24 feet to a found 3/4\" inch diameter iron rod at the northwest corner thereof and the south line of lands described in Sauk County Register of Deeds Document No. 293297; Thence, N89°24'59\"E, along the said south line of said lands described in Sauk County Register of Deeds Document No. 293297, 329.17 feet, to a found 3/4\" inch diameter iron rod at the southeast corner thereof;

Thence, N00°17'04\"E, along the east line of said lands described in Sauk County Register of Deeds Document No. 293297, 535.43 feet, to a found 1-1/4\" inch diameter iron rod at the southwest corner of Lot 9 of Gavin Addition.

Thence, S51°33'52\"E, along the southwest line of said Lot 9, 155.33 feet to a found 1-1/4\" inch diameter iron rod; Thence, N89°19'10\"E, along the south line of said Gavin Addition and the south line of lands described in Sauk County Register of Deeds Document No. 332558, 390.55 feet, to a found 3/4\" inch diameter iron rod at the west line of Parcel \"C\" shown in Sauk County Plat of Survey No. 2393;

Thence, S00°03'10\"E, along the west line of said Parcel \"C\" shown in Sauk County Plat of Survey No. 2393, 1301.58 feet, to a found 3/4\" inch diameter iron rod at the northeast corner of said Park Place Condominium;

Thence, S43°27'53\"W, along the northwest line of Park Place Condominium, 187.36 feet, to a found 3/4\" inch diameter iron rod at the northwest corner thereof;

Thence, S00°11'38\"W, along the west line of said Park Place Condominium, 294.37 feet, returning to the Point of Beginning;

Described lands contain 26.36 Ac., 1,148,105 Sq. Ft., (22.02 Ac., 959,294 Sq. Ft. excluding the rights-of-way of Roads \"A\", \"B\" and \"C\") and is subject to all other easements and rights-of-way of record.

That such plat is a correct representation of all exterior boundaries of the land surveyed. That I have fully complied with the requirements of Chapter 235 of the Wisconsin Statutes Chapter A-E7 of the Wisconsin Administrative Code and the subdivision regulations of the City of Reedsburg.

Marc A. Londo, WI PLS-2696 Date
Vierbicher Associates, Inc.

SAUK COUNTY REGISTER OF DEEDS CERTIFICATE

Received for recording this _____ day of _____, 20____

at _____ o'clock _____m. and recorded in Volume _____ of Plats on

pages _____, as Doc. No. _____

Brent Bailey
Sauk County Register of Deeds

KMD DEVELOPMENT, LLC OWNER'S CERTIFICATE

KMD Development, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, I, Max Dvorak, as owner do hereby certify that said corporation caused the land described on this plat to be surveyed, divided, mapped, and dedicated as represented on this plat of subdivision. I, Max Dvorak, owner of KMD Development, LLC, further certify that this plat is required by s.236.10 or s.236.12 of the Wisconsin Statutes, to be submitted to the following for approval or objection:

The City of Reedsburg Board
The State of Wisconsin Department of Administration

IN WITNESS WHEREOF, the said KMD Development, LLC, has caused these presents to be signed by Max Dvorak, its President, at Reedsburg Wisconsin, and its corporate seal to be

hereunto affixed on this _____, day of _____, 2021, in the presence of:

Max Dvorak, Owner
KMD Development, LLC
STATE OF WISCONSIN)
SAUK COUNTY) SS

Personally came before me this _____ day of _____, 2023, Max Dvorak, Owner, of the above named corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such owner of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

_____, Notary Public, _____
Wisconsin
My commission expires _____

THE CITY OF REEDSBURG APPROVAL CERTIFICATE

Resolved, that the plat of My Home Estates, KMD Development, LLC owner, is hereby approved by the The City of Reedsburg.

David G. Estes, Mayor Date
City of Reedsburg Wisconsin

CITY CLERK/TREASURER'S CERTIFICATE
STATE OF WISCONSIN)
SAUK COUNTY) SS

I, Jacob Crossetto, being the duly appointed qualified and acting city clerk/treasurer of the City of Reedsburg, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of

_____ on any of the land included in the My Home Estates.

Jacob Crossetto, Clerk/Treasurer Date
City of Reedsburg



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



vierbicher
planners | engineers | advisors

Phone: (800) 261-3898



MY HOME ESTATES

LOT 4, CSM 1740 AND PART OF THE NE, SE & SW QUARTERS OF THE SW QUARTER, SECTION 2, T12N, R4E
CITY OF REEDSBURG, SAUK COUNTY, WISCONSIN

Curve Table							
Curve #	Arc Len.	Radius	Delta	Ch. Len.	Ch. Dir.	Tangent In	Tangent Out
C1	93.19'	488.17'	10°56'13"	93.04'	N05°43'41"E	N00°15'34"E	N11°11'48"E
C2	167.09'	183.00'	52°18'56"	161.35'	N78°58'34"E	S74°51'58"E	N52°49'06"E
C4	107.96'	117.00'	52°52'16"	104.17'	S26°22'58"W	S00°03'10"E	S52°49'06"W
C5	10.70'	117.00'	5°14'19"	10.69'	S50°11'57"W	S47°34'48"W	S52°49'06"W
C6	90.74'	117.00'	44°26'19"	88.49'	S25°21'38"W	S03°08'29"W	S47°34'48"W
C7	6.52'	117.00'	3°11'39"	6.52'	S01°32'40"W	S00°03'10"E	S03°08'29"W
C8	168.87'	183.00'	52°52'16"	162.94'	N26°22'58"E	N52°49'06"E	N00°03'10"W
C9	235.89'	183.00'	73°51'23"	219.90'	N36°58'51"W	N00°03'10"W	N73°54'32"W
C10	86.35'	183.00'	27°02'13"	85.56'	N13°34'16"W	N00°03'10"W	N27°05'23"W
C11	100.07'	183.00'	3°19'56"	98.83'	N42°45'21"W	N27°05'23"W	N58°25'19"W
C12	49.47'	183.00'	15°29'13"	49.31'	N66°09'56"W	N58°25'19"W	N73°54'32"W
C13	150.85'	117.00'	73°52'24"	140.62'	S36°59'22"E	S73°55'34"E	S00°03'10"E
C14	33.45'	117.00'	16°22'43"	33.33'	S08°14'31"E	S16°25'52"E	S00°03'10"E
C15	117.41'	117.00'	57°29'41"	112.54'	S45°10'43"E	S73°55'34"E	S16°25'52"E
C16	13.87'	164.00'	4°50'46"	13.87'	N13°06'34"E	N10°41'11"E	N15°31'57"E
C17	306.45'	60.00'	292°38'33"	66.54'	S88°00'20"E	S58°18'56"W	N54°19'37"W
C18	29.51'	230.00'	7°21'08"	29.49'	S11°51'23"W	S15°31'57"W	S08°10'49"W
C19	97.54'	464.00'	12°02'40"	97.36'	S84°33'47"E	N89°24'53"E	S78°32'27"E
C20	154.10'	530.00'	16°39'33"	153.56'	N82°15'20"W	N73°55'34"W	S89°24'53"W
C21	283.73'	183.00'	88°50'01"	256.15'	S44°59'53"W	S89°24'53"W	S00°34'52"W
C22	181.40'	117.00'	88°50'01"	163.77'	N44°59'53"E	N00°34'52"E	N89°24'53"E
C23	154.07'	117.00'	75°26'50"	143.17'	N37°08'33"W	N74°51'58"W	N00°34'52"E
C24	240.97'	183.00'	75°26'50"	223.94'	S37°08'33"E	S00°34'52"W	S74°51'58"E
C25	110.33'	554.17'	11°24'24"	110.14'	S05°57'46"W	S11°39'58"W	S00°15'34"W
EC26	5.26'	183.00'	1°38'53"	5.26'	N51°59'40"E	N52°49'06"E	N51°10'13"E
EC27	163.60'	183.00'	5°13'23"	158.21'	N25°33'32"E	N51°10'13"E	N00°03'10"W
EC28	208.05'	183.00'	65°08'15"	197.02'	S56°50'46"W	S89°24'53"W	S24°16'38"W
EC29	12.08'	183.00'	3°46'53"	12.08'	S22°23'11"W	S24°16'38"W	S20°29'45"W
EC30	63.61'	183.00'	19°54'53"	63.29'	S10°32'18"W	S20°29'45"W	S00°34'52"W

DATE	REVISIONS			DATE	REVISIONS		
	NO.	DATE	REMARKS		NO.	DATE	REMARKS
8/25/2023	1	9/5/2023	Street Names				

2 OF 2

SHEET

PROJECT NO. 230214

CHECKED

DATE

DRAWN

Staff Report

DATE: October 10, 2023

APPLICANT: D2 Property Construction LLC (Freeman Decorah)

LOCATION: Corner of S. Dewey Ave & Plum St; Parcel #s 276-1313-20000 & 276-1313-30000

ZONING: R-3 Multi-family Residential

DESCRIPTION OF PROPERTY/IMPROVEMENTS: Consider Planned Development Group for nine new townhouse and one duplex

General Findings

SURROUNDING LAND USES:

- North – Commercial
- West – Residential
- South – Residential
- East – Residential

ZONING:

- North – B-2 Business
- West – R-3 Residential
- South – R-2 Residential
- East – R-2 Residential

TOPOGRAPHY: Slopes up to north

STREET R.O.W./TRAFFIC/ACCESS: Corner of S. Dewey Ave & Plum St; 66' ROW

ENVIRONMENTAL HAZARDS/CONDITIONS: None known

COMP PLAN DESIGNATION: High Density Residential

COMMENTS

ADMINISTRATOR:

AMBULANCE:

FIRE:

POLICE:

PUBLIC WORKS:

SCHOOL:

UTILITIES:

OTHER:

Site Plan Review Findings of Fact for Section 690-33

Topography and vegetation. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property, the minimization of tree and soil removal and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.

1. The Board finds that the existing parcels are vacant.
2. The Board finds that a 9-unit townhome is proposed on one lot and a duplex on the other.
3. The Board finds that the use is permitted under §690 Schedule 1.
4. The Board finds that the parcels are zoned R-3 Residential.
5. The Board finds that the parcel is on the corner of Plum St and S Dewey Ave.
6. The Board finds that the parcels are 0.85 and 0.25 acres.
7. The Board finds that 18 surface parking spaces and 9 attached garages are proposed.
8. The Board finds that the proposed lot line setbacks require Council approval – front for the townhomes and rear for the duplex.

Stormwater. Special attention shall be given to proper site drainage so that removal of stormwaters will not adversely affect neighboring properties.

1. The Board finds that stormwater would flow to S Dewey and Plum St.
2. The Board finds that there is an existing swale in the SW Corner.

Emergency Services. All buildings shall be so arranged as to permit emergency vehicle access by some practical means.

1. The Board finds that a 9-unit townhome is proposed on one lot and a duplex on the other.
2. The Board finds that the rear parking area would have a 46'-wide aisle.
3. The Board finds that the townhomes would have a circular drive on S Dewey Ave.
4. The Board finds that the duplex would have a driveway on each S Dewey and Plum St

Exterior lighting shall be arranged as follows:

1. It is deflected away from adjacent properties.
 2. It does not impede the vision of traffic along adjacent streets.
 3. It does not unnecessarily illuminate night skies.
1. The Board finds that exterior lights are required at all exit doors of the dwelling units.

Traffic generation, circulation and parking areas. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area.

5. The Board finds that a 9-unit townhome is proposed on one lot and a duplex on the other.
6. The Board finds that the townhomes would have a circular drive on S Dewey Ave.
7. The Board finds that the duplex would have a driveway on each S Dewey and Plum St.

Architectural plans; existing and proposed structures. The proposed conditional land use shall be designed, constructed, operated, and maintained so to complement the surrounding area. Physical buffers shall be added as needed for neighboring conformance.

1. The Board finds that plans are attached.

Consistency with other plans and statutes. Site plans shall conform to all applicable requirements of City, state and federal statutes and the City of Reedsburg Comprehensive Plan, and approval may be conditioned on the applicant receiving necessary City, state and federal permits.

1. The Board finds that the future use map indicates High-density Residential.

Multi-Family Standards – Section 17.42

- (3) **Standards – General.** In addition to standards applicable to regular subdivisions, no MFRD shall be approved unless the following items have been submitted and approved by the City:
 - (A) A development plan of the project including location and sizes of structures, parking layout, access areas and exterior elevations;
 - (B) A preliminary landscaping plan of the project, indicating types and sizes of landscaping materials and permanent irrigation facilities, prepared by a person licensed by the state to prepare such plans;
 - (C) A preliminary lighting plan of the project, indicating location and nature of exterior lighting and lighting fixtures in common areas;
 - (D) The proposed condominium documents, including those portions of the covenants, conditions and restrictions that apply to the conveyance of units, the assignment of parking and the management of common areas within the project;
 - (E) Preliminary construction plans of any proposed new buildings. For existing buildings proposed to be converted, original construction plans or a set of plans accurately showing existing construction shall be submitted; and
 - (F) Such other information, which the City Engineer determines, is necessary to evaluate the proposed project.
- (4) **Environmental Preservation.** The location and orientation of all buildings shall, whenever feasible, preserve natural features by minimizing the disturbance to the physical environment. Natural features such as trees, waterways, historic landmarks or slopes shall be delineated in the development plan and considered when planning the location and orientation of buildings, open spaces, underground services, walks, paved areas, play areas, parking areas and finished grade elevations.
- (5) **Landscaping.** The following standards shall be met:
 - (A) All setback areas fronting on or visible from an adjacent public street, and all recreation, leisure and open space areas shall be landscaped in accordance with the project plan. Parking lots are allowed in the setback area if approved by the Plan Commission;
 - (B) Decorative design elements, such as fountains, pools, benches, sculpture, planters, exterior recreational facilities and similar elements may be permitted, providing such elements are incorporated as a part of the landscaping plan; and,
- (6) **Lighting.** All on-site lighting systems shall be required on all vehicular access ways and along major walkways. Such lighting shall be directed onto the driveways and walkways within the development and away from the adjacent properties. Lighting shall also be installed within all covered and enclosed parking areas.
- (7) **Lot Coverage.** Lot coverage shall conform to zoning ordinance requirements for the zoning district in which the MFRD project is proposed.
- (8) **Open Space – Common.** The following requirements shall apply:
 - (A) Minimum grass or vegetated open space for MFRD's shall be thirty (30.0%) percent of the parcel being developed.

- (B) Common open space areas shall be designed and located within the project to afford use by all residents of the project. These common areas may include, but are not limited to: game courts or rooms, swimming pools, garden roofs, sauna baths, putting greens, or play lots.
 - (C) Active recreation and leisure areas, except those located completely within a structure, used to meet the open space requirement, shall not be located within fifteen (15) feet of any door or window of a dwelling unit.
 - (D) Private waterways, including pools, streams and fountains, may be used to satisfy not more than fifty (50.0%) percent of the required open space.
- (9) Open Space – Private. Notwithstanding the common open space requirement, each unit may directly access private open space.
- (10) Trash Collection Areas. Trash collection areas shall be provided within two hundred and fifty (250') feet of the units they are designed to serve. Such areas shall be enclosed within a building or screened with masonry or wood walls having a minimum height of five feet. Access gates or doors to any trash area, not enclosed within a building, are to be of opaque material.

690-23

Planned Development Groups.

- (A) Planned development groups shall be permitted in appropriate zones only after specific approval by the Plan Commission and the governing body.
- (B) The application shall show the proposed use or uses, dimensions and locations of proposed structures and of areas to be reserved for vehicular and pedestrian traffic, parking, public uses such as schools, and playgrounds, landscaping, other open spaces, architectural drawings and sketches showing design structures and their relationship, and such other information as may be requested by such bodies for a determination that it is desirable to deviate from certain other provisions of this Ordinance.
- (C) The following regulations shall apply:
 1. Spacing and Orientation of Building Center. Exterior walls of opposite building shall be located no closer than a distance equal to the height of the taller building.
A building group shall not be so arranged that any permanently or temporarily occupied building is inaccessible to emergency vehicles.
 2. Circulation. There shall be an adequate, safe and convenient arrangement of pedestrian circulation facilities, roadways, driveways, off-street parking and loading space. There shall be an adequate amount, in a suitable location, of pedestrian walks, malls and landscape spaces to prevent pedestrian use of vehicular ways and parking spaces and to separate pedestrian walks, malls and public transportation loading places from general vehicular circulation facilities. Buildings and vehicular circulation open spaces shall be arranged so that pedestrians moving between buildings are not unnecessarily exposed to vehicular traffic.
 3. Paving and Drainage. There shall be adequate design of grades, paving, gutters, drainage and treatment of turf to handle storm waters and prevent erosion and formation of dust.
 4. Signs and Lighting. Signs and lighting devices shall be properly arranged with respect to traffic control devices and adjacent residential districts.

STAFF COMMENTS:

- Waivers are needed for
 - The rear setback of the duplex
 - Front setback of the townhomes
 - Width of townhomes – 24’ minimum width whereas these are around 18’-19’
- There is no stormwater indicated on the plan.
- Having the parking in the rear improves the aesthetics.
- Landscaping should be added along the west lot line.
- If the townhomes are divided in the future (zero lot line), then the residential trash & recycling bins can be used.

Exhibit List

- A. City of Reedsburg Comprehensive Plan
- B. Zoning Ordinance, City of Reedsburg, Wisconsin
- C. October 10, 2023, Plan Commission Agenda
- D. Land Use Change Application
- E. Staff Report
- F. Notice of Public Meeting

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[DELETE FORM](#)

Application form Site Plan

All required fields are marked with *

SITE PLAN APPROVAL

[Close ^](#)

Existing Use

Proposed use

Existing Use

Proposed use

SITE PLAN REQUIREMENTS, AS APPLICABLE

[Close ^](#)

Please Select from the following

- ☐ North arrow
- ☐ Location of property lines, dimensions, and setbacks.
- ☐ Location of existing and proposed public roads, rights-of-way and private easements of record.
- ☐ Location of existing water bodies, surface drainage ways, stormwater controls, floodplains, and wetlands
- ☐ Location of existing and proposed buildings.
- ☐ Location of parking areas and all exterior lighting.
- ☐ Location of all loading / unloading areas.

- ☐ Location of all sidewalks, walkways, bicycle paths and areas for public use.
- ☐ Location of all utilities on the site.
- ☐ Location and specifications for all fences, walls, and other screening features.
- ☐ Location and specifications for all existing and proposed perimeter and internal landscaping
- ☐ Location and specifications for screening of all trash receptacles and other solid waste disposal facilities.
- ☐ Location and specifications for proposed signs.
- ☐ Elevation drawings for proposed commercial structures
- ☐ Floor plans, when needed to determine the number of parking spaces required.

PLEASE DESCRIBE HOW YOUR REQUEST MEETS EACH OF THE FOLLOWING SITE PLAN STANDARDS, AS APPLICABLE.

Close ^

A. Topography and vegetation. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property, the minimization of tree and soil removal and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.

Please provide more informatoin *

project conforms to all city requirements

B. Stormwater. Special attention shall be given to proper site drainage so that removal of stormwaters will not adversely affect neighboring properties.

Please provide more information *

The project conforms to all requirements

C. Emergency Services. All buildings shall be so arranged as to permit emergency vehicle access by some practical means.

Please provide more information *

The property and utilities are accessible to emergency personnel.

D. Exterior lighting shall be arranged as follows:

- (1) It is deflected away from adjacent properties.
- (2) It does not impede the vision of traffic along adjacent streets.
- (3) It does not unnecessarily illuminate night skies.

Please provide more information *

The lighting meets all requirements.

E. Traffic generation, circulation and parking areas. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area.

Please provide more information *

Parking and traffic does not impede on existing patterns.

F. Architectural plans; existing and proposed structures. The proposed conditional land use shall be designed, constructed, operated, and maintained so to complement the surrounding area. Physical buffers shall be added as needed for neighboring conformance.

Please provide more information *

The architectural design meets all requirements.

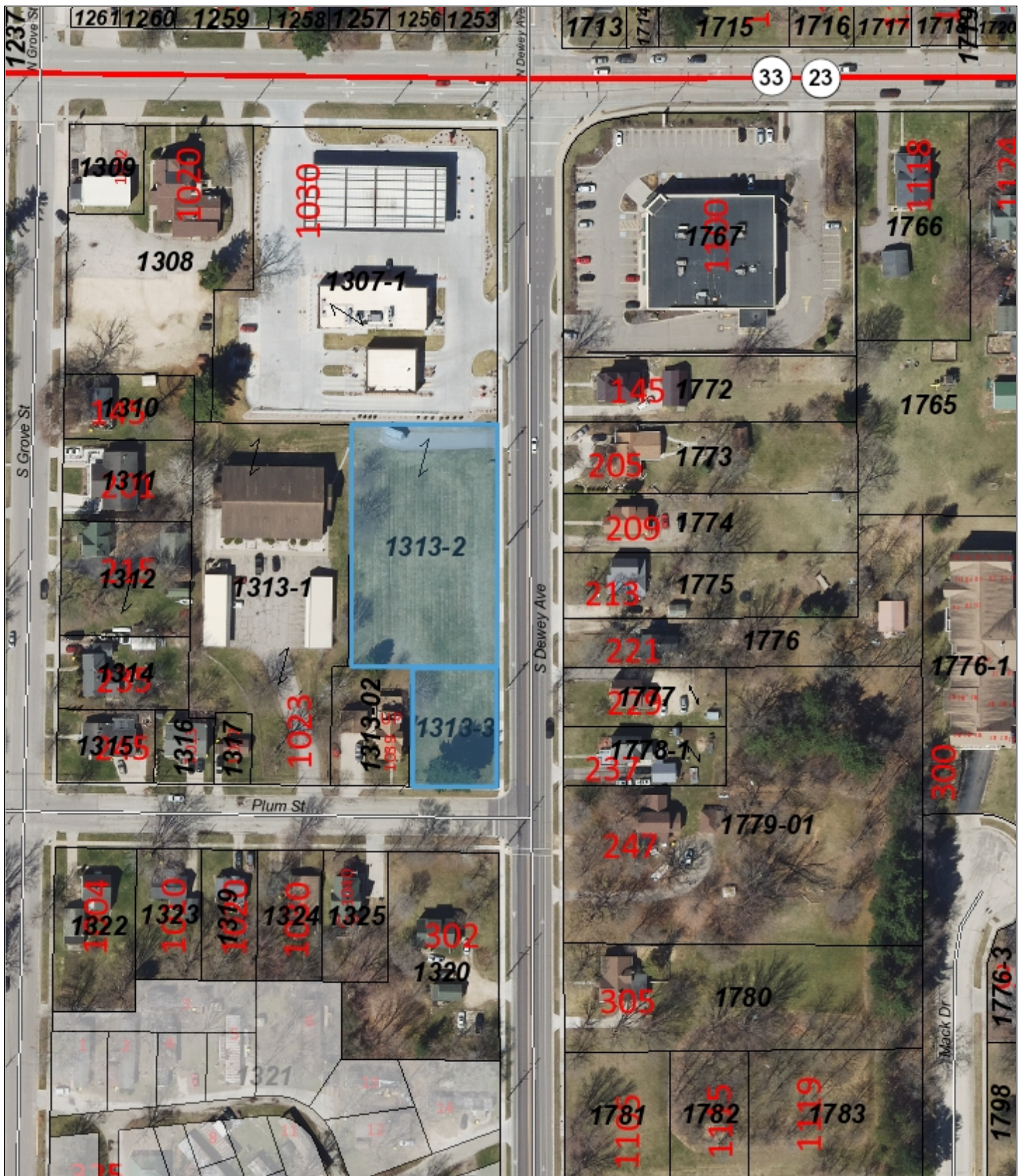
G. Consistency with other plans and statutes. Site plans shall conform to all applicable requirements of City, state and federal statutes and the City of Reedsburg Comprehensive Plan, and approval may be conditioned on the applicant receiving necessary City, state and federal permits.

Please provide more information *

The project improves the land value and provides affordable housing options for t

Back to top 

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City of Reedsburg GIS

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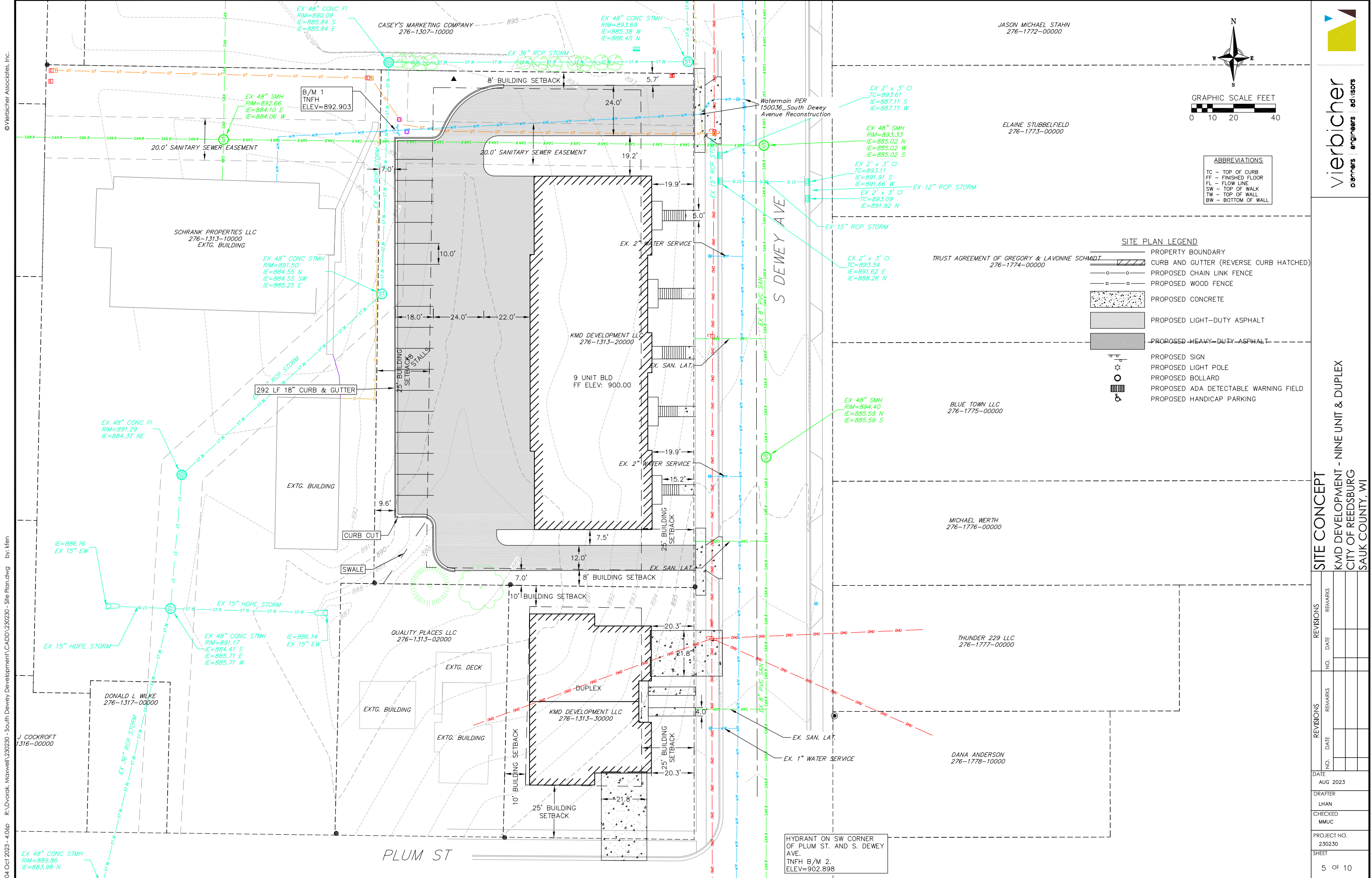


SCALE: 1" = 139'

CITY OF REEDSBURG

134 S. Locust Street
PO Box 490
Reedsburg, WI 53959
608-524-6404

Print Date: 10/5/2023



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vierbicher
planners engineers advisors

SITE CONCEPT
KMD DEVELOPMENT - NINE UNIT & DUPLEX
CITY OF REEDSBURG
SAUK COUNTY, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

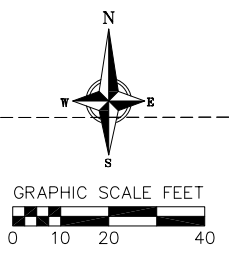
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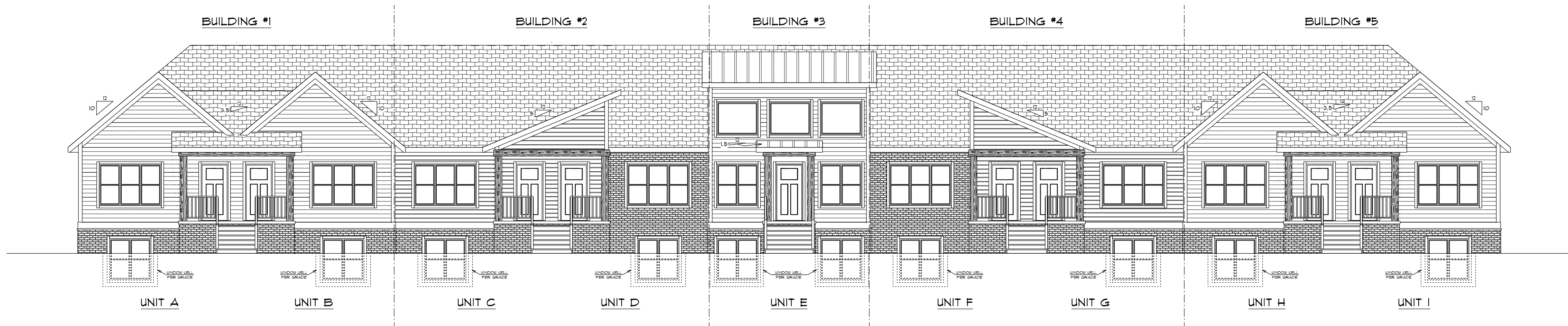
SHEET
5 OF 10



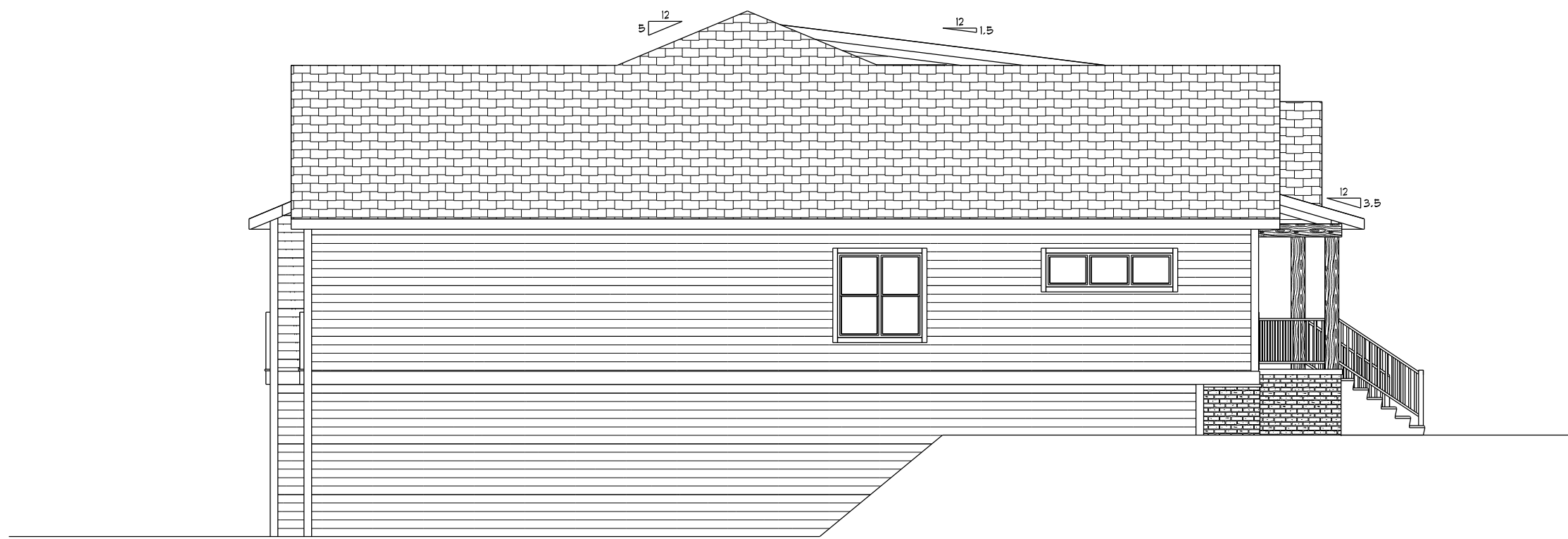
ABBREVIATIONS

TC - TOP OF CURB
FF - FINISHED FLOOR
FL - FLOW LINE
SW - TOP OF WALL
TW - TOP OF WALL
BW - BOTTOM OF WALL

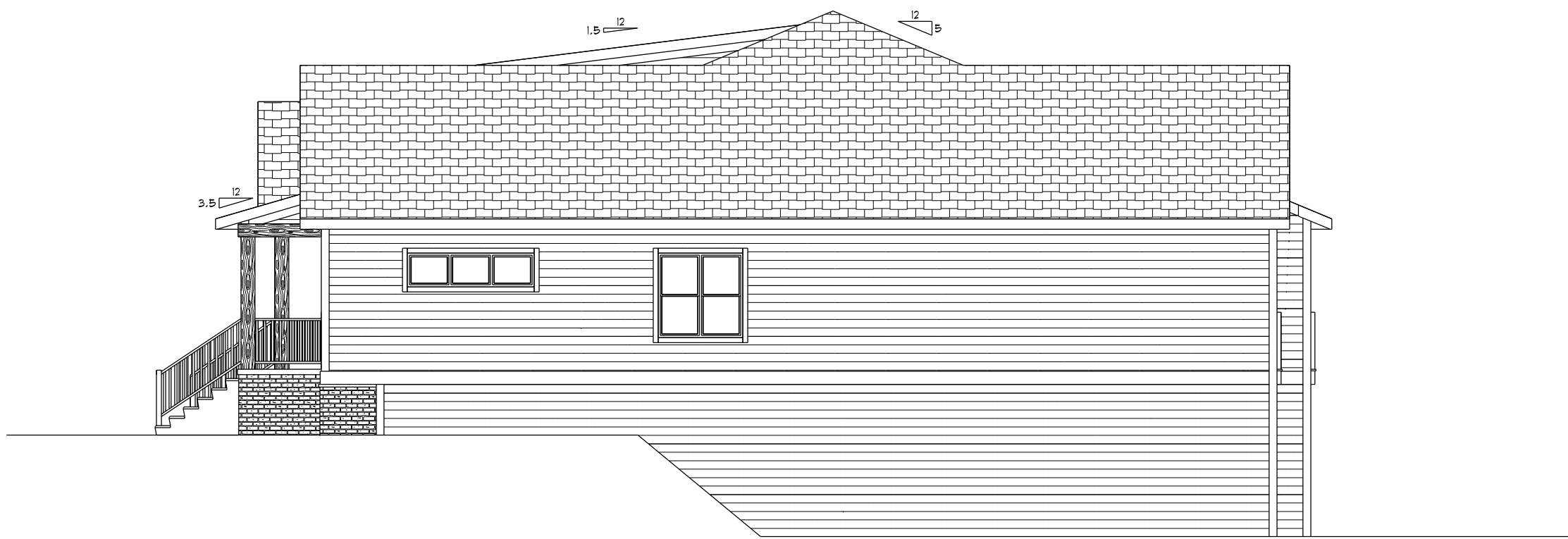
- SITE PLAN LEGEND**
- PROPERTY BOUNDARY
 - CURB AND GUTTER (REVERSE CURB HATCHED)
 - PROPOSED CHAIN LINK FENCE
 - PROPOSED WOOD FENCE
 - PROPOSED CONCRETE
 - PROPOSED LIGHT-DUTY ASPHALT
 - PROPOSED HEAVY-DUTY ASPHALT
 - PROPOSED SIGN
 - PROPOSED LIGHT POLE
 - PROPOSED BOLLARD
 - PROPOSED ADA DETECTABLE WARNING FIELD
 - PROPOSED HANDICAP PARKING



FRONT ELEVATION
SCALE : 1/8" = 1'-0"



LEFT ELEVATION
SCALE : 1/8" = 1'-0"



RIGHT ELEVATION
SCALE : 1/8" = 1'-0"



REAR ELEVATION
SCALE : 1/8" = 1'-0"

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A1

ELEVATIONS

SCALE: 1/8" = 1'

PLAN START DATE 06/27/23

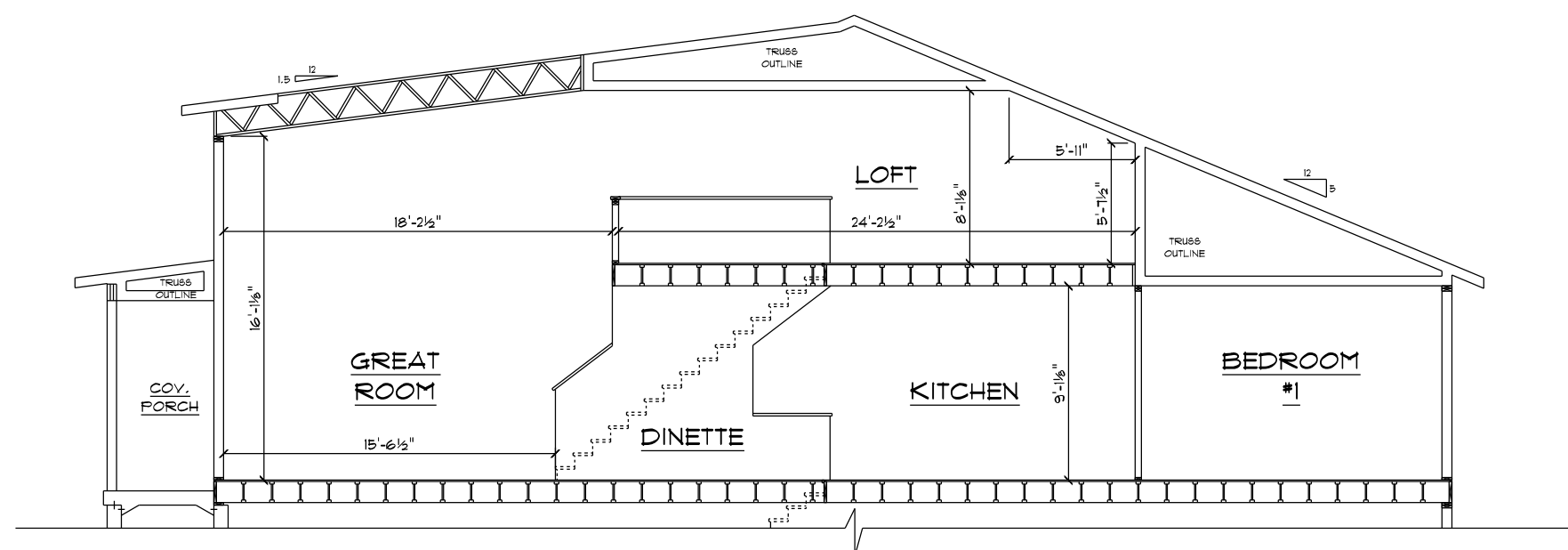
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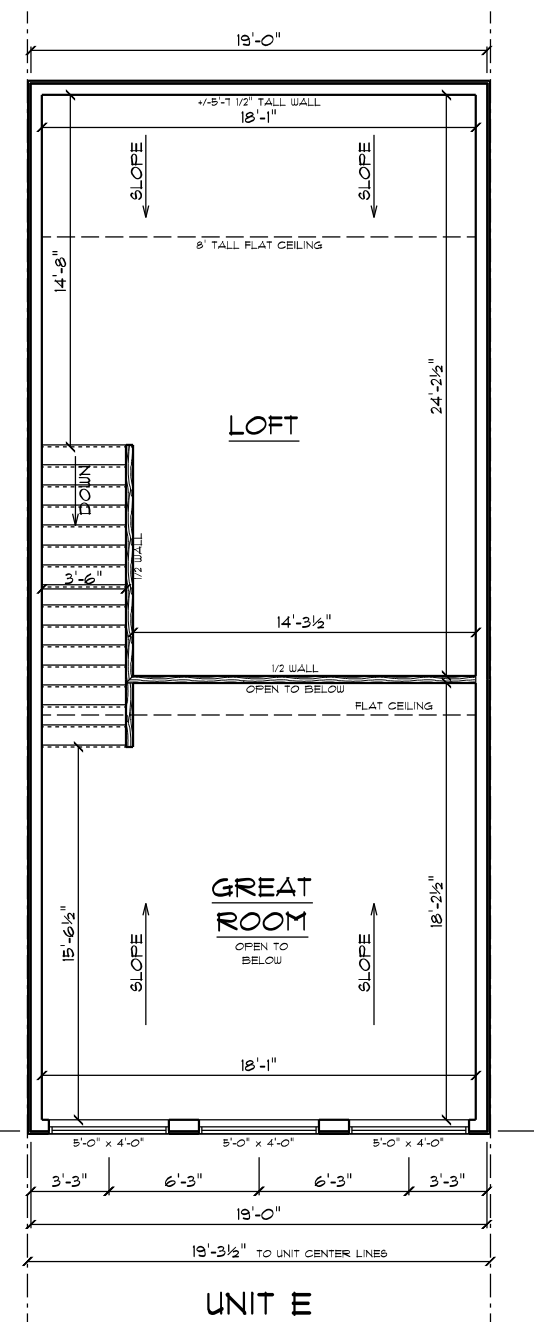
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KMD DEVELOPMENT
DEWEY AVE 9-UNIT

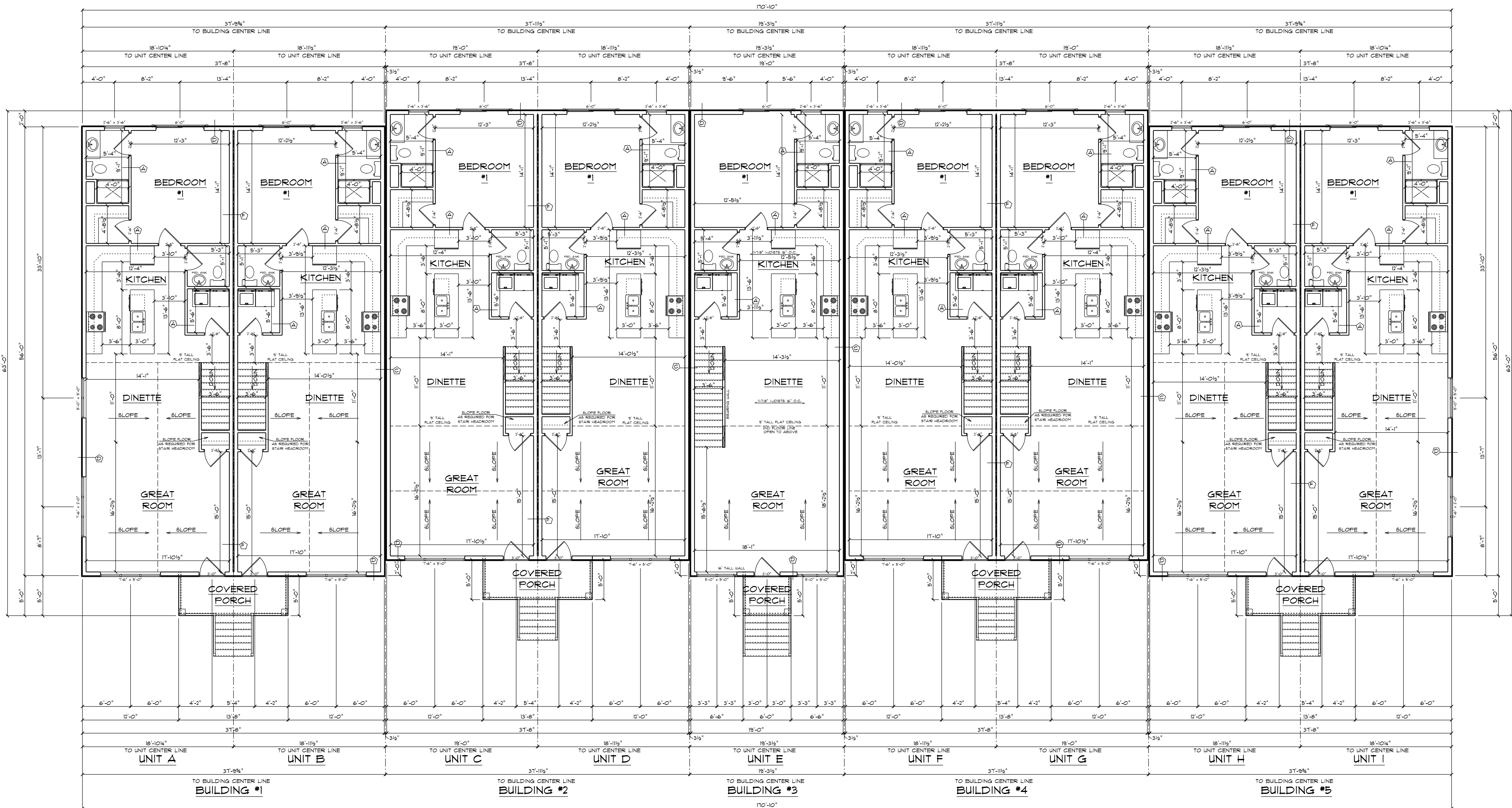
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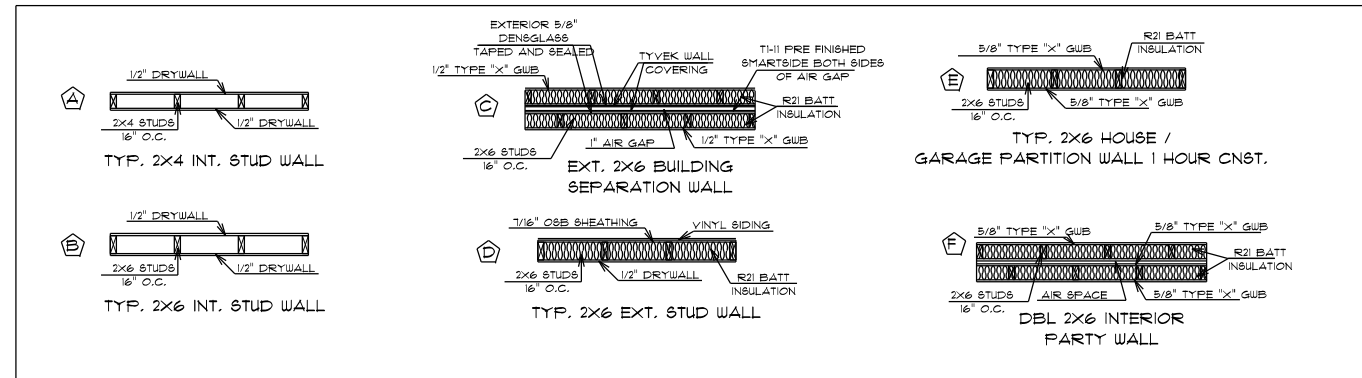
UNIT E CROSS SECTION
NOT TO SCALE



LOFT FLOOR PLAN
SCALE: 1/8" = 1'-0"
UNIT E: 428 SQFT FINISHED AREA



FIRST FLOOR FLOOR PLAN
SCALE: 1/8" = 1'-0"
1052 SQFT FINISHED AREA UNITS A-D, F-I
1102 SQFT FINISHED AREA UNIT E



WALL TYPES

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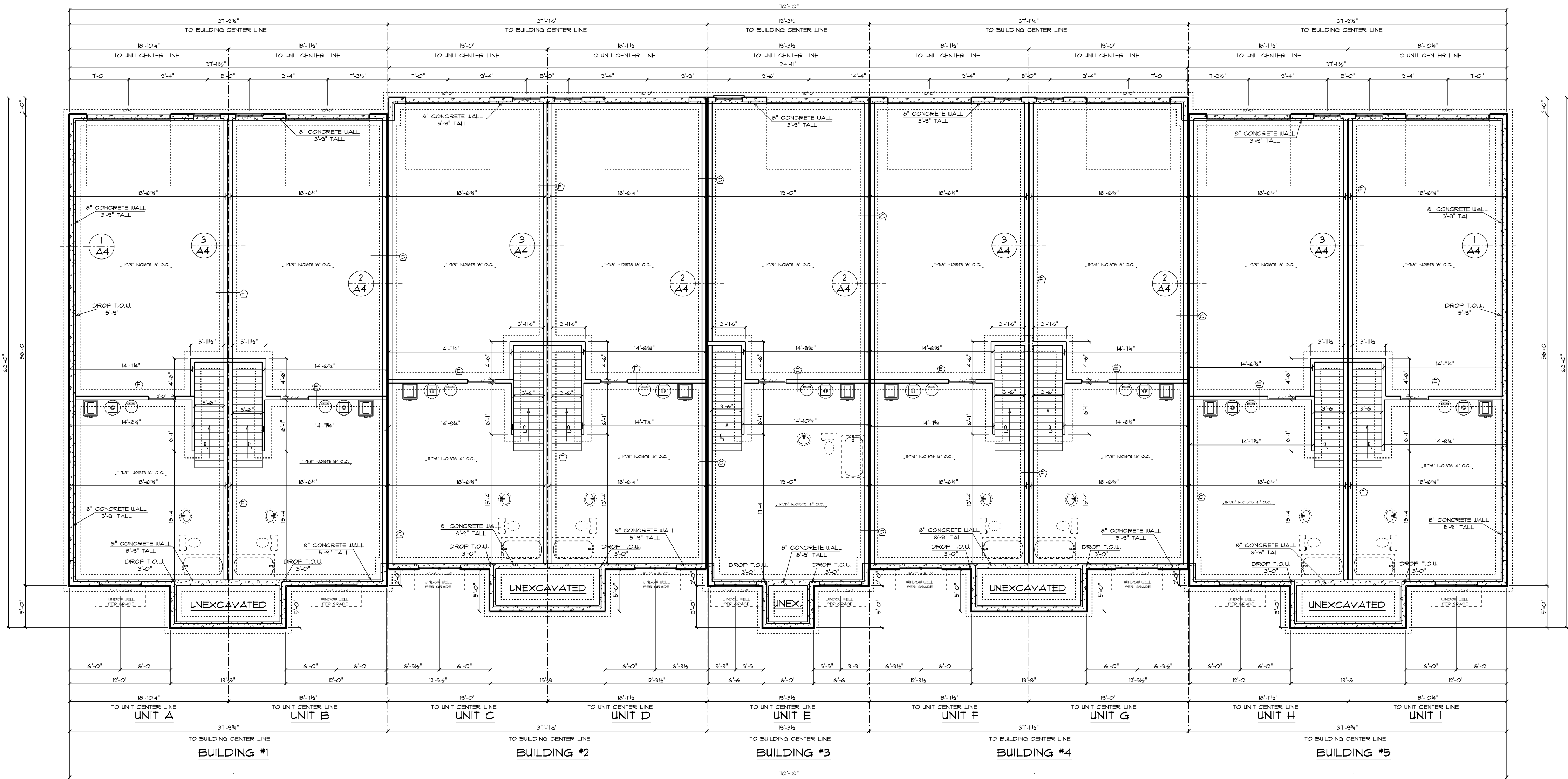
KMD DEVELOPEMENT
DEWEY AVE 9-UNIT

FIRST FLOOR PLAN & LOFT PLAN
9946 SQFT FINISHED AREA
SCALE: 1/8" = 1'

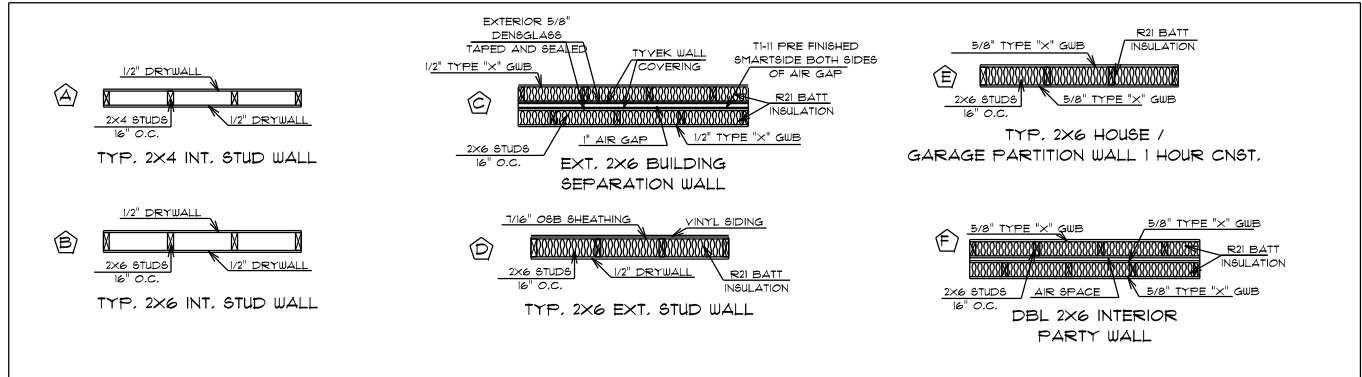
PLAN START DATE 06/17/23
REVISED 08/17/23

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FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



WALL TYPES

A3

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KMD DEVELOPEMENT

DEWEY AVE 9-UNIT

FOUNDATION PLAN

SCALE: 1/8" = 1'

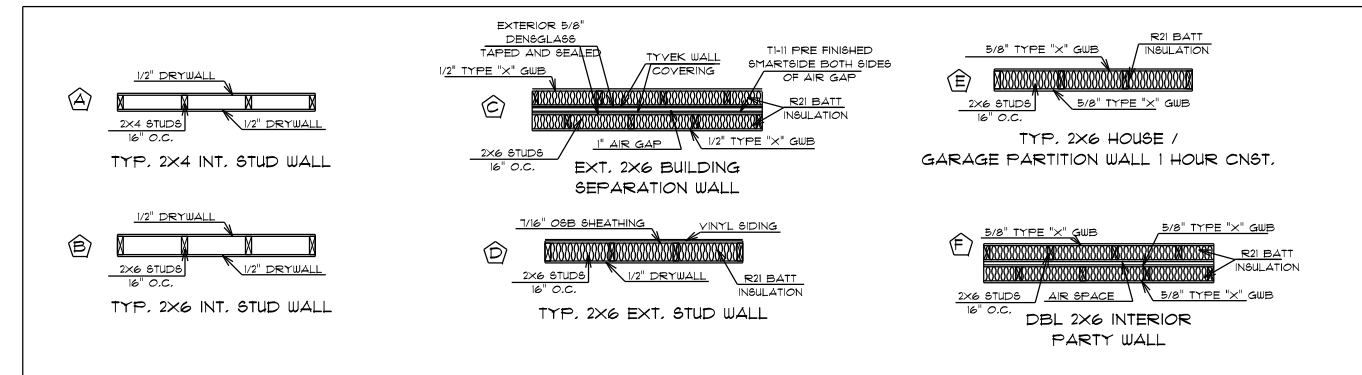
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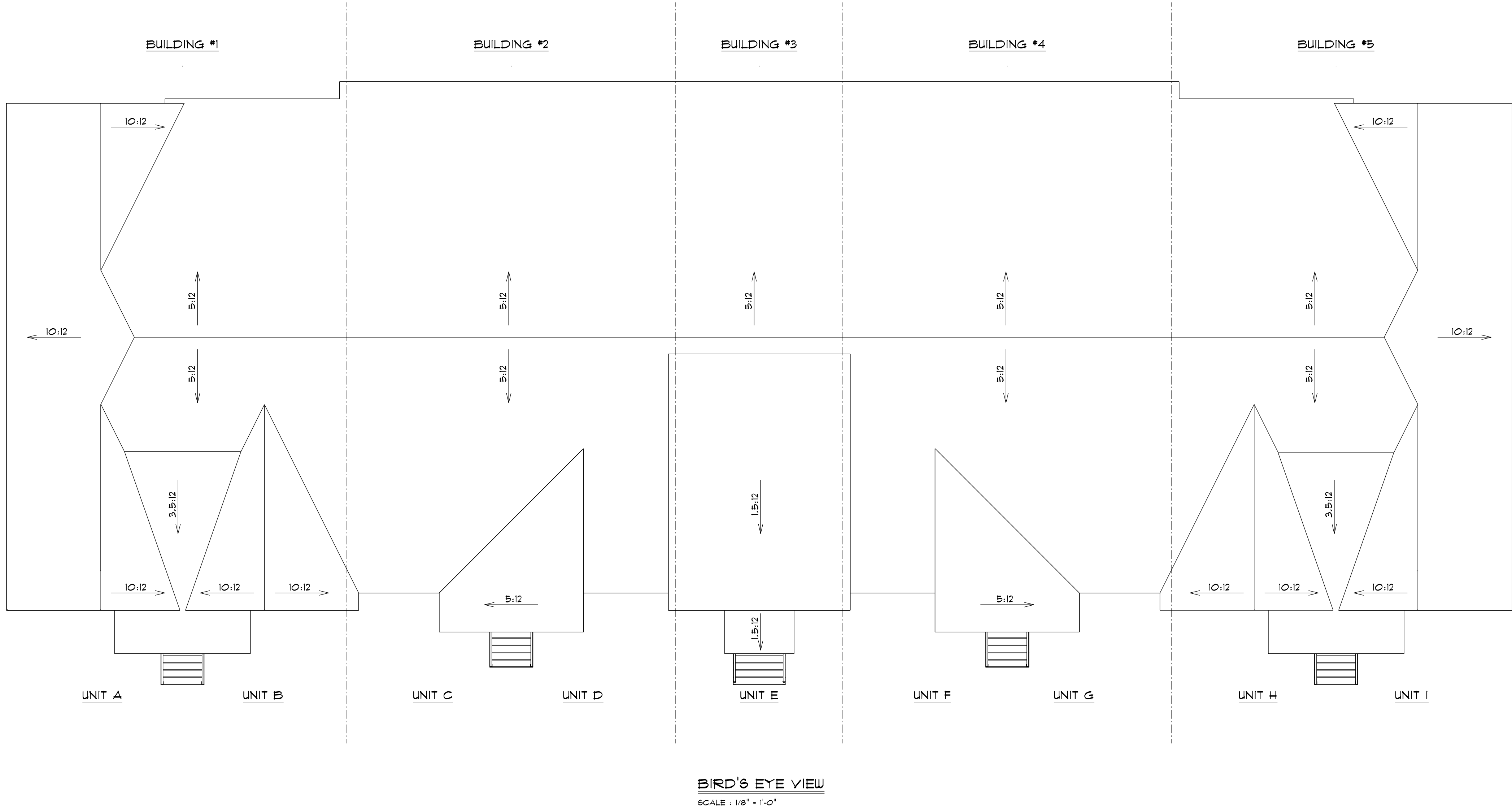
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