

City Plan Commission Agenda
October 10, 2023
Reedsburg City Hall Council Chambers
6:00 PM

DUE TO THE RESTRICTIONS CAUSED BY THE COVID-19 PANDEMIC, SOME VOTING MEMBERS MAY BE PRESENT VIA TELECONFERENCE OR VIDEO CONFERENCE, AS PROVIDED BY THE RECOMMENDATIONS OF THE WISCONSIN DEPARTMENT OF JUSTICE. [HTTPS://WWW.DOJ.STATE.WI.US/NEWS-RELEASES/OFFICE-OPEN-GOVERNMENT-ADVISORY-CORONAVIRUS-DISEASE-2019-COVID-19-AND-OPEN-MEETINGS](https://www.doj.state.wi.us/news-releases/office-open-government-advisory-coronavirus-disease-2019-covid-19-and-open-meetings)

NOTICE IS HEREBY GIVEN THAT A MAJORITY OF THE MEMBERS OF THE COMMON COUNCIL MAY ATTEND THIS MEETING TO GATHER INFORMATION ABOUT A SUBJECT OVER WHICH THE COMMON COUNCIL HAS DECISION-MAKING AUTHORITY. IF A QUORUM OF THE COMMON COUNCIL ATTENDS THIS MEETING, NO ACTION WILL BE TAKEN BY THE COMMON COUNCIL AT THIS MEETING.

CALL TO ORDER

APPROVAL OF MINUTES

I. APPROVE MINUTES FOR THE MEETING HELD ON SEPTEMBER 12, 2023:

THE COMMITTEE WILL RECEIVE INFORMATION ON NON-AGENDA TOPICS BROUGHT BEFORE THE COMMITTEE BY MEMBERS OF THE PUBLIC. THE COMMITTEE WILL NOT DISCUSS THESE TOPICS, AND WILL NOT TAKE ACTION ON ANY OF THEM AT THIS MEETING

I. GENERAL BUSINESS:

- A. Consider variance as part of subdivision plat review to allow a cul-de-sac street per § 674-7(D)(5). 1351 8th St; parcel #276-2031-00000 – Third Act Development, LLC
- B. Consider Site Plan Review for a new 106' X 54' Reedsburg Flooring building and parking lot – Corner of Greenway Ct & Zinga Dr; Parcel # 276-2243-11000 – D2 Property Construction LLC (Freeman Decorah)
- C. Consider recommending Planned Development Group for nine new townhouse and one duplex – S. Dewey Ave between E Main St & Plum St; Parcel #s 276-1313-20000 & 276-1313-30000 – D2 Property Construction LLC (Freeman Decorah)
- D. Consider recommending property rezone from R-3 Residential to B-3 Business per § 690 Schedule 1 – 420 Plum St; Parcel #276-1640-20000 – Dan DeBaets

II. ADJOURN:



The City of Reedsburg does not discriminate on the basis of disability in the admissions or access to, or treatment of or employment in, its programs or activities. Disability-related aids or services, including printed information in alternate formats, to enable persons with disabilities to participate in public meetings and programs are available by calling (608) 524-6404. To be able to meet the needs of a request for a different format contact the City Clerk-Treasurer at 134 S. Locust Street, Reedsburg, WI at least 48 hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

Reedsburg Plan Commission

September 12, 2023



Mayor Dave Estes called the joint meeting of the Reedsburg Plan Commission and ZBA to order at 6:00 PM in Reedsburg City Hall.

Present: Alder Mike Gargano, Beth DeForge, Dan DeBaets, Steve Zibell

Absent: Alder Sonny Hyde, Jay Brunken

Staff: Tim Becker, Brian Duvalle

Approval of Plan Commission Minutes: Motion by Gargano, seconded by DeBaets to approve the 8/8/23 meeting minutes.

Motion approved

Consider recommending Certified Survey Map to divide existing tax parcel into two lots with a zero-lot line – 2462 & 2464 Russell Ct; Parcel # 276-2758-00000 – LP LLC

This is a corner lot and a draft agreement is attached.

Motion by Gargano, seconded by DeForge to recommend approval as presented.

Motion approved

Consider Planned Development Group site plan for new apartment building with detached garages, rec facilities, duplexes, and townhomes. – 1351 8th St, Parcel #s 276-2031-00000, 276-1380-00000, 276-1380-40000 – Third Act Development, LLC

This is a two-part review with Council approval and a cul-de-sac variance. The development would include a community center, pocket parks, duplexes and townhomes. Phase 2 would further divide lots. Trees would be maintained on the hillside according to Matt Muchow of Vierbicher.

Patrick Worley questioned access on 8th St and the emergency access. There is school property to the west and the emergency access could handle emergency vehicles.

Carie Pieper complained about the views from her condo and asked when construction would start, which would be around October.

Tammy Mihlbauer questioned why the apartments were not moved further west.

Ann Rocha complained about blocked views, not fitting in area, traffic on 8th St, city's vision, and Sandhill cranes.

Gargano stated that cranes need wetlands and their #s are increasing, that traffic will not leave the site all at the same time, it's a good infill site for development, and that the apartment height will not negatively affect the area.

Discussion was held on the comprehensive plan, the apartments not fitting elsewhere on site, stormwater flow to 8th St, traffic, and possibly eliminating north side parking on 8th St. Parking and traffic could be reviewed by Public Works Committee in the future.

Motion by Gargano, seconded by Zibell to recommend approval as presented.

Motion approved

Consider final Plat for new duplexes and townhomes. – 1351 8th St, Parcel #s 276-2031-00000, 276-1380-00000, 276-1380-40000 – Third Act Development, LLC

Matt Muchow stated that there will be lot lines added in a future phase. Lots 8 & 9 are expected to start in 2024 and 2025 respectively.

Motion by Gargano, seconded by DeBaets to recommend approval as presented & pending cul-de-sac variance.

Motion approved

Consider recommending zoning ordinance amendment for § 690-28.1, § 690-28.2, § 690-28.3, § 690-106 – street frontages, bungalow court minimum dwelling size & existing signs; also for § 690-28.4 – adding Accessory Dwelling Units (ADU) to the zoning ordinance.

Discussion held on a minimum size for bungalow houses and ADU standards.

Motion by Gargano, seconded by DeBaets to recommend approval with changes highlighted.

Motion approved

Motion by Gargano, seconded by DeForge to adjourn at 7:17 PM.

Motion approved

Respectfully submitted,



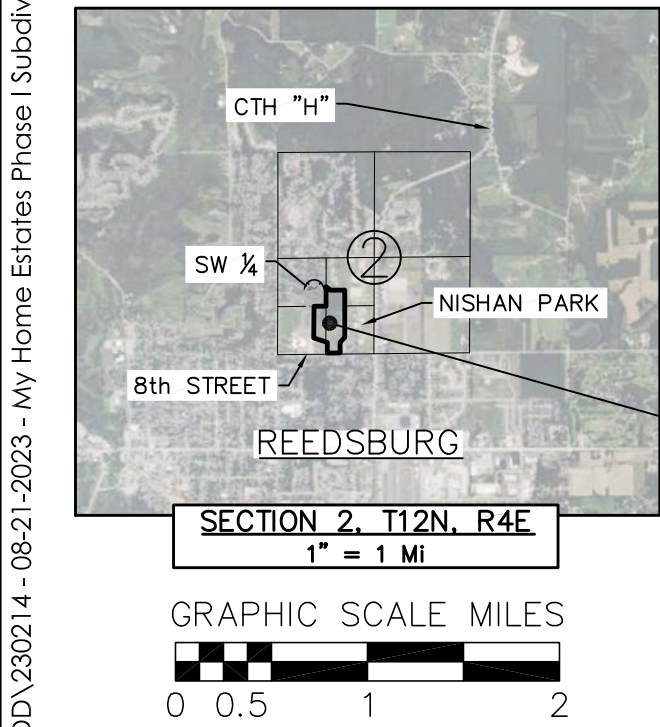
Brian Duvalle
Planner/Building Inspector

MY HOME ESTATES

ALL OF LOT 4 OF SAUK COUNTY CERTIFIED SURVEY MAP NO. 1740 RECORDED AS DOCUMENT NO. 489000 IN VOLUME 7 OF CERTIFIED SURVEYS, PAGES 1740 & 1740A, PART OF LOT 2 OF THE CITY OF REEDSBURG ASSESSOR'S PLAT, LOCATED IN AND PART OF THE NORTHEAST, SOUTHEAST AND SOUTHWEST QUARTERS OF THE SOUTHWEST QUARTER OF SECTION 2, T12N, R4E, CITY OF REEDSBURG, SAUK COUNTY, WISCONSIN

© Vierbicher Associates, Inc.

R:\Reedsburg, City of\230214 - My Home Estates\CADD\230214 - 08-21-2023 - My Home Estates Phase I Subdivision Plat.dwg by:mlon



SURVEY LEGEND

- Public Land Corner, Recovered from Ties
- Found 2" ϕ Iron Pipe
- Found 1 1/4" ϕ Iron Rod
- Found 3/4" ϕ Iron Rod
- Set 3/4" ϕ c 18" Iron Rod, 1.5 Lb./Ft
- Set 1 1/4" ϕ x 18" Iron Rod, 4.3 Lb./Ft.
- Computed Location

SURVEYOR'S NOTES:

- Bearings are referenced to the Wisconsin Coordinate Reference System, Sauk County, (WICRS, Sauk, NAD 83/2011). The south line of the northwest quarter of Section 2, T12N, R4E Bears N89°27'36"E.
- The area of dedicated right-of-way of Roads "A", "B" and "C" within this subdivision plat total 4.33 Ac., (188,811 Sq. Ft.).
- There are no existing buildings within the boundary of the My Home Estates. Building shown on Lot 1 is a proposed apartment building and on lots 2, 3, 4, 5, 6 and 7 are zero lot line residential duplex structures.
- See Sheet 2 of 2 for general utility easement details.
- Zero lot line parcels shown in this subdivision are allowable under the City of Reedsburg Code of Ordinance § 690-28.
- Outlots 1 and 2 are dedicated to the City of Reedsburg for storm water management purposes.
- Outlot 3 is intended for the purpose of a pocket park for the exclusive use of the residents of this development with the exception of the 20' wide access easement to access Outlot 4.
- Outlot 4 is dedicated to the public for park purposes.
- EC# denotes Easement Curve measurements.

SHEET	PROJECT NO.	CHECKED	DATE	REVISIONS		REVISIONS	
				NO.	DATE	NO.	DATE
1 OF 2	230214	mlon	8/23/2023				

MY HOME ESTATES

LOT 4, CSM 1740 AND PART OF THE NE, SE & SW QUARTERS OF THE SW QUARTER, SECTION 2, T12N, R4E
CITY OF REEDSBURG, SAUK COUNTY, WISCONSIN

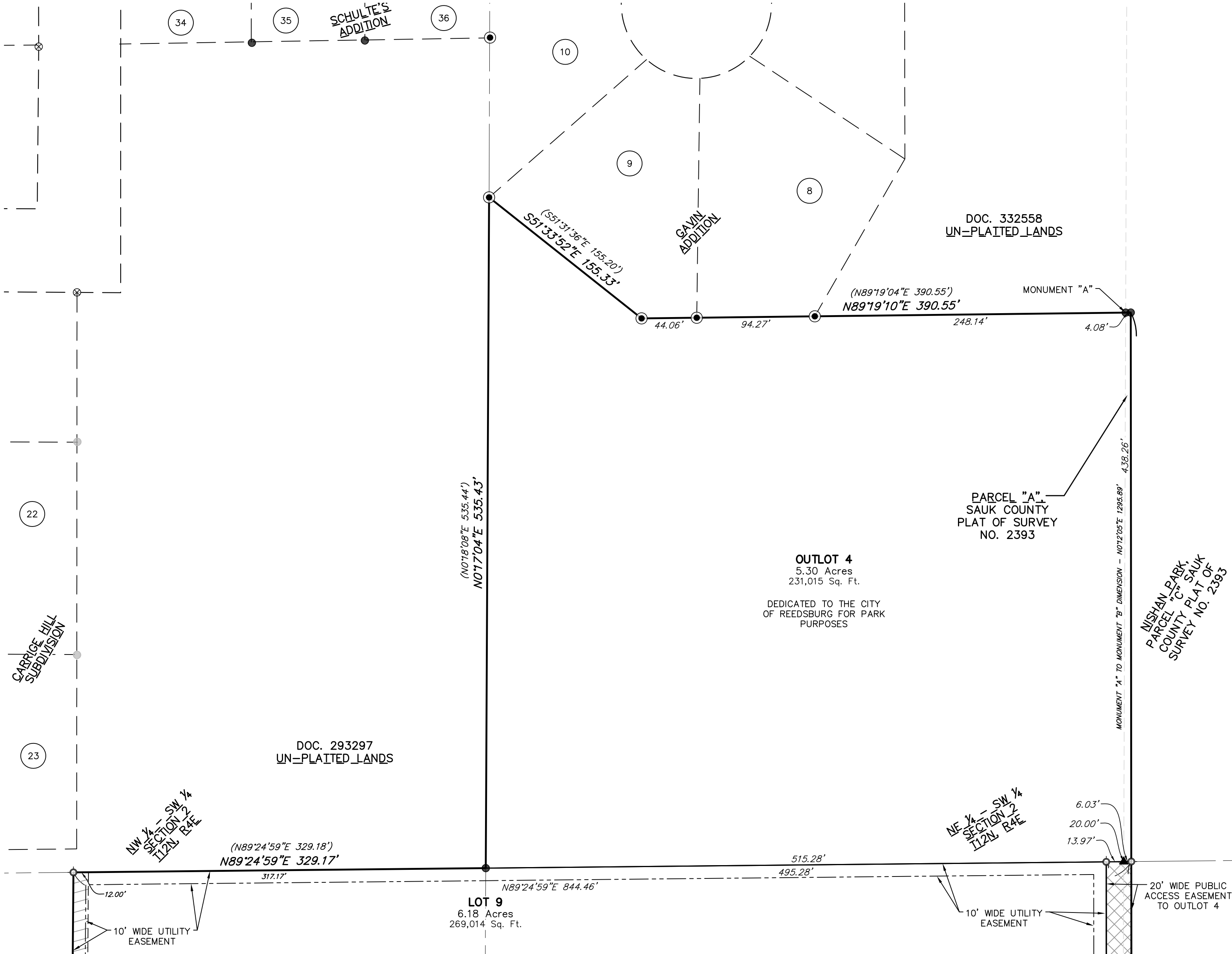
vierbicher
planners | engineers | advisors

Phone: (800) 261-3898



MY HOME ESTATES

ALL OF LOT 4 OF SAUK COUNTY CERTIFIED SURVEY MAP NO. 1740 RECORDED AS DOCUMENT NO. 489000 IN VOLUME 7 OF CERTIFIED SURVEYS, PAGES 1740 & 1740A, PART OF LOT 2 OF THE CITY OF REEDSBURG ASSESSOR'S PLAT, LOCATED IN AND PART OF THE NORTHEAST, SOUTHEAST AND SOUTHWEST QUARTERS OF THE SOUTHWEST QUARTER OF SECTION 2, T12N, R4E, CITY OF REEDSBURG, SAUK COUNTY, WISCONSIN



SURVEYOR'S CERTIFICATE

I, Marc A. Londo, Wisconsin Professional Land Surveyor No. 2696, hereby certify, That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes, Chapter A-E7 of the Wisconsin Administrative Codes and the subdivision regulations of the City of Reedsburg, and under the direction of Max Dvorak, owner of KMD Enterprises, I have surveyed, divided, mapped, dedicated and monumented this subdivision plat named My Home Estates, being part of Assessor's Lot 2 of the Assessor's Plat of the City of Reedsburg and Lot 4 of Sauk County Certified Survey Map No. 1740, located in part of the Northeast quarter of the Southwest quarter, part of the Southeast Quarter of the Southwest Quarter and part of the Southwest Quarter of the Southwest Quarter of Section 2 T12N, R4E, City of Reedsburg, Sauk County, Wisconsin, more particularly described as follows:

All of Lot 4 of Sauk County Certified Survey Map No. 1740 recorded as Document No. 489000 in Volume 7 of Certified Surveys, Pages 1740 & 1740A, part of Lot 2 of the City of Reedsburg Assessor's Plat, located in part of the Northeast, Southeast and Southwest Quarters of the Southwest Quarter of Section 2, T12N, R4E, City of Reedsburg, Sauk County, Wisconsin and bounded by a line described as follows:

Commencing at the South One-Quarter Corner of Section 2, T12N, R4E; Thence, S89°27'36"W, along the south line of the Southwest Quarter of said Section 2, 931.60 feet to its intersection with the southerly extension of the west line of Park Place Condominium; Thence, N00°11'38"E, along said southerly extension of the west line of Park Place Condominium, 31.12 feet, to a found 3/4" diameter iron rod at the southwest corner thereof, the north right-of-way line of Eighth Street and the Point of Beginning (P.O.B.) of this description;

Thence, S89°31'01"W, along the said north right-of-way line of Eighth Street, 349.24 feet, to a found 3/4 inch diameter iron rod at the southwest corner of Lot 4 of Sauk County Certified Survey Map No. 1740;

Thence, N00°15'34"E, along the west line of said Lot 4 and the east line of Lot 1 of said Sauk County Certified Survey Map No. 1740, 295.00 feet, to a found 3/4 inch diameter iron rod at the northeast corner thereof;

Thence, N89°24'59"W, along the northeast line of said Lot 1, 393.74 feet to a found 3/4 inch diameter iron rod at the northwest corner thereof and the west line of Lot 2 of said City of Reedsburg Assessor's Plat;

Thence, N00°27'36"E, along the west line of said Lot 2, 871.24 feet to a found 3/4 inch diameter iron rod at the northwest corner thereof and the south line of lands described in Sauk County Register of Deeds Document No. 293297; Thence, N89°24'59"E, along the said south line of said lands described in Sauk County Register of Deeds Document No. 293297, 329.17 feet, to a found 3/4 inch diameter iron rod at the southeast corner thereof;

Thence, N00°17'04"E, along the east line of said lands described in Sauk County Register of Deeds Document No. 293297, 535.43 feet, to a found 1-1/4 inch diameter iron rod at the southwest corner of Lot 9 of Gavin Addition.

Thence, S51°13'52"E, along the southwest line of said Lot 9, 155.33 feet to a found 1-1/4 inch diameter iron rod;

Thence, N89°19'10"E, along the south line of said Gavin Addition and the south line of lands described in Sauk County Register of Deeds Document No. 332558, 390.55 feet, to a found 3/4 inch diameter iron rod at the west line of Parcel "C" shown in Sauk County Plat of Survey No. 2393;

Thence, S00°03'10"E, along the west line of said Parcel "C" shown in Sauk County Plat of Survey No. 2393, 1301.58 feet, to a found 3/4 inch diameter iron rod at the northeast corner of said Park Place Condominium;

Thence, S43°27'53"W, along the northwest line of Park Place Condominium, 187.36 feet, to a found 3/4 inch diameter iron rod at the northwest corner thereof;

Thence, S00°11'38"W, along the west line of said Park Place Condominium, 294.37 feet, returning to the Point of Beginning;

Described lands contain 26.36 Ac., 1,148,105 Sq. Ft., (22.02 Ac., 959,294 Sq. Ft. excluding the rights-of-way of Roads "A", "B" and "C") and is subject to all other easements and rights-of-way of record.

That such plat is a correct representation of all exterior boundaries of the land surveyed.

That I have fully complied with the requirements of Chapter 235 of the Wisconsin Statutes Chapter A-E7 of the Wisconsin Administrative Code and the subdivision regulations of the City of Reedsburg.

Marc A. Londo, WI PLS-2696 August 23, 2023
Vierbicher Associates, Inc.

SAUK COUNTY REGISTER OF DEEDS CERTIFICATE

Received for recording this _____ day of _____, 20____

at _____ o'clock _____m. and recorded in Volume _____ of Plats on

pages _____, as Doc. No. _____

Brent Bailey
Sauk County Register of Deeds

KMD DEVELOPMENT, LLC OWNER'S CERTIFICATE

KMD Development, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, I, Max Dvorak, as owner do hereby certify that said corporation caused the land described on this plat to be surveyed, divided, mapped, and dedicated as represented on this plat of subdivision. I, Max Dvorak, owner of KMD Development, LLC, further certify that this plat is required by s.236.10 or s.236.12 of the Wisconsin Statutes, to be submitted to the following for approval or objection:

The City of Reedsburg Board
The State of Wisconsin Department of Administration

IN WITNESS WHEREOF, the said KMD Development, LLC, has caused these presents to be signed by Max Dvorak, its President, at Reedsburg Wisconsin, and its corporate seal to be

hereunto affixed on this _____, day of _____, 2021, in the presence of:

Max Dvorak, Owner
KMD Development, LLC
STATE OF WISCONSIN
SAUK COUNTY) SS

Personally came before me this _____ day of _____, 2023, Max Dvorak, Owner, of the above named corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such owner of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

_____, Notary Public, _____
Wisconsin
My commission expires _____

THE CITY OF REEDSBURG APPROVAL CERTIFICATE

Resolved, that the plat of My Home Estates, KMD Development, LLC owner, is hereby approved by the The City of Reedsburg.

David G. Estes, Mayor Date
City of Reedsburg Wisconsin

CITY CLERK/TREASURER'S CERTIFICATE
STATE OF WISCONSIN
SAUK COUNTY) SS

I, Jacob Crossetto, being the duly appointed qualified and acting city clerk/treasurer of the City of Reedsburg, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or unpaid special assessments as of

_____ on any of the land included in the My Home Estates.

Jacob Crossetto, Clerk/Treasurer Date
City of Reedsburg



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



vierbicher
planners | engineers | advisors

Phone: (800) 261-3898

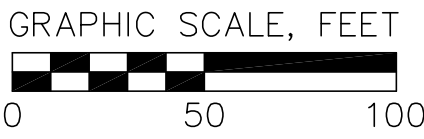
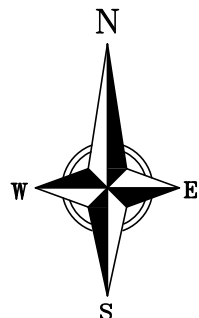


MY HOME ESTATES

LOT 4, CSM 1740 AND PART OF THE NE, SE & SW QUARTERS OF THE SW QUARTER, SECTION 2, T12N, R4E
CITY OF REEDSBURG, SAUK COUNTY, WISCONSIN

SURVEY LEGEND

- ⊗ FOUND 2" Ø IRON PIPE
- FOUND 1 1/4" Ø IRON ROD
- FOUND 3/4" Ø IRON ROD
- ◆ SET 3/4" c 18" IRON ROD, 1.5 Lb./Ft
- SET 1 1/4" Ø x 18" IRON ROD, 4.3 Lb./Ft.
- ▲ COMPUTED LOCATION



Curve Table							
Curve #	Arc Len.	Radius	Delta	Ch. Len.	Ch. Dir.	Tangent In	Tangent Out
C1	93.19'	488.17'	10°56'13"	93.04'	N05°43'41"E	N00°15'34"E	N11°11'48"E
C2	167.09'	183.00'	52°18'56"	161.35'	N78°58'34"E	S74°51'58"E	N52°49'06"E
C4	107.96'	117.00'	52°52'16"	104.17'	S26°22'58"W	S00°03'10"E	S52°49'06"W
C5	10.70'	117.00'	5°14'19"	10.69'	S50°11'57"W	S47°34'48"W	S52°49'06"W
C6	90.74'	117.00'	44°26'19"	88.49'	S25°21'38"W	S03°08'29"W	S47°34'48"W
C7	6.52'	117.00'	3°11'39"	6.52'	S01°32'40"W	S00°03'10"E	S03°08'29"W
C8	168.87'	183.00'	52°52'16"	162.94'	N26°22'58"E	N52°49'06"E	N00°03'10"W
C9	235.89'	183.00'	73°51'23"	219.90'	N36°58'51"W	N00°03'10"W	N73°54'32"W
C10	86.35'	183.00'	27°02'13"	85.56'	N13°34'16"W	N00°03'10"W	N27°05'23"W
C11	100.07'	183.00'	3°19'56"	98.83'	N42°45'21"W	N27°05'23"W	N58°25'19"W
C12	49.47'	183.00'	15°29'13"	49.31'	N66°09'56"W	N58°25'19"W	N73°54'32"W
C13	150.85'	117.00'	73°52'24"	140.62'	S36°59'22"E	S73°55'34"E	S00°03'10"E
C14	33.45'	117.00'	16°22'43"	33.33'	S08°14'31"E	S16°25'52"E	S00°03'10"E
C15	117.41'	117.00'	57°29'41"	112.54'	S45°10'43"E	S73°55'34"E	S16°25'52"E
C16	13.87'	164.00'	4°50'46"	13.87'	N13°06'34"E	N10°41'11"E	N15°31'57"E
C17	306.45'	60.00'	292°38'33"	66.54'	S88°00'20"E	S58°18'56"W	N54°19'37"W
C18	29.51'	230.00'	7°21'08"	29.49'	S11°51'23"W	S15°31'57"W	S08°10'49"W
C19	97.54'	464.00'	12°02'40"	97.36'	S84°33'47"E	N89°24'53"E	S78°32'27"E
C20	154.10'	530.00'	16°39'33"	153.56'	N82°15'20"W	N73°55'34"W	S89°24'53"W
C21	283.73'	183.00'	88°50'01"	256.15'	S44°59'53"W	S89°24'53"W	S00°34'52"W
C22	181.40'	117.00'	88°50'01"	163.77'	N44°59'53"E	N00°34'52"E	N89°24'53"E
C23	154.07'	117.00'	75°26'50"	143.17'	N37°08'33"W	N74°51'58"W	N00°34'52"E
C24	240.97'	183.00'	75°26'50"	223.94'	S37°08'33"E	S00°34'52"W	S74°51'58"E
C25	110.33'	554.17'	11°24'24"	110.14'	S05°57'46"W	S11°39'58"W	S00°15'34"W
EC26	5.26'	183.00'	1°38'53"	5.26'	N51°59'40"E	N52°49'06"E	N51°10'13"E
EC27	163.60'	183.00'	5°13'23"	158.21'	N25°33'32"E	N51°10'13"E	N00°03'10"W
EC28	208.05'	183.00'	65°08'15"	197.02'	S56°50'46"W	S89°24'53"W	S24°16'38"W
EC29	12.08'	183.00'	3°46'53"	12.08'	S22°23'11"W	S24°16'38"W	S20°29'45"W
EC30	63.61'	183.00'	19°54'53"	63.29'	S10°32'18"W	S20°29'45"W	S00°34'52"W

23 Aug 2023 - 12:52p R:\Reedsburg, City of\230214 - My Home Estates\CADD\230214 - 08-21-2023 - My Home Estates Phase I Subdivision Plat.dwg by:mlon

SHEET	PROJECT NO.	CHECKED	DATE	REVISIONS			REVISIONS		
				NO.	DATE	REMARKS	NO.	DATE	REMARKS
2 OF 2	230214	mlon	8/23/2023						

City of Reedsburg Land Use Application

134 S. Locust St.
PO Box 490
Reedsburg, WI 53959

Ph: 608-524-6404
Fax: 608-524-8458
bduvalle@ci.reedsburg.wi.us

APPLICANT: Third Act Development, LLC

ADDRESS: E9290 Hogsback Rd **CITY:** Baraboo **STATE:** WI

ZIP: 53913 **PHONE:** 608-345-1905 **PARCEL #:** 276-2031-00 & 276-1380-00

E-MAIL: truemusicmax@gmail.com

PROPERTY OWNER: (if different from Applicant) _____

LOCATION: (if different from address above) 276-2031-00 & 276-1380-00

LAND USE REQUEST

(Please describe one or more as applicable – attach extra pages/maps if necessary)

☐ **Certified Survey Map (CSM):** _____

☐ **Conditional Use Permit:** _____

For *CONDITIONAL USE PERMIT* requests, also answer “A, B & C” on back page.

☐ **Preliminary Plat:** _____ **Final Plat:** X **Name of Plat:** My Home Estates

☐ **Rezoning - From:** _____ **To:** _____ **TID #** _____

☐ **Site Plan Review:** (See “B & C” on back page) 56-Unit Apartment Building & 3 Zero Lot Line Duplex Units

☐ **Zoning Appeal / Interpretation:** _____

☐ **Zoning Variance:** _____

For *VARIANCE* requests, also answer “D” on back page.

☐ **Other or Annexation:** _____

AFFIDAVIT

I certify that the information and plans submitted are true and accurate to the best of my knowledge. I also give permission to City zoning officials to enter my property for inspection purposes and for a temporary Zoning sign to be placed in my yard prior to the meeting.

Applicant Signature / Date

Owner Signature / Date

Account #10-461500-00

***The applicant or representative
MUST ATTEND the meeting(s).***

G:\wpnet\Zoning - Planning\Land Use Appl.doc

Cond Use Permit	\$200	_____
Cond Use-Agriculture	\$400	_____
Variance	\$125	_____
Rezoning	\$200	_____
C.S.M.	\$175	_____
Subdivision Plat	\$610	_____
- w/ Stormwater Plan	\$100	_____
Site Plan Review	\$175	_____
Annexation	\$200	_____
Plan Amend	\$200	_____
Date Paid		_____
Receipt #		_____

Staff Report

DATES: October 10, 2023

APPLICANT: Third Act Development, LLC

LOCATION: 1351 8th St, Parcel #s 276-2031-00000, 276-1380-00000, 276-1380-40000

PROPOSED LAND USE CHANGE: Final Plat w/ proposed cul-de-sac

DESCRIPTION OF PROPERTY/IMPROVEMENTS: Consider variance as part of subdivision plat review to allow a cul-de-sac street per § 674-7(D)(5).

(5) Cul-de-sac and dead-end streets are prohibited unless approved under § 674-12.

General Findings

SURROUNDING LAND USES:

- North – Single-family residential; RUC water
- West – School; Church
- South – Single-family residential
- East – Townhouse residential; Nishan Park

ZONING:

- North- R-2 Residential; Government
- West- R-2 Residential; Government
- South- R-2 Residential
- East- R-2 Residential; Government

TOPOGRAPHY: Slopes up to north

STREET R.O.W./TRAFFIC/ACCESS: 8th St; 66' ROW

ENVIRONMENTAL HAZARDS/CONDITIONS: None known

COMP PLAN DESIGNATION: Medium & High Density Residential

COMMENTS

ADMINISTRATOR:

AMBULANCE:

FIRE:

POLICE:

PUBLIC WORKS:

SCHOOL:

UTILITIES:

OTHER:

§ 674-12

(3) Variances In making its determination with respect to unnecessary hardship or practical difficulty the Commission shall take into account the nature of the proposed use of the land, the nature of existing land use in the vicinity, and the considerations set forth in § 674-1 of this chapter of the Code of the City of Reedsburg. No variance shall be granted unless the Commission finds:

- (a) That there are special circumstances uniquely affecting the property such that strict application of the requirements of this chapter would deprive the applicant of the reasonable use of his or her land.
- (b) That the variance is necessary to preserve a substantial property right of the applicant.
- (c) That the granting of the variance will not be detrimental to the public welfare or injurious to other property in the area.
 - The property is 4 acres in size
 - The property is landlocked on three sides
 - Here are private residential lots to the east and south
 - There is a city park to the west
 - The sole public street access is from the north on Retzlaff Dr
 - The proposed cul-de-sac would be roughly 300' long

STAFF COMMENTS:

There is a roughly 50'-high hillside at the north end of this parcel with steep slopes on three sides. The hill has a fairly flat surface on top where a 200'-long cul-de-sac would be located and would minimize site alterations.

Exhibit List

- A. City of Reedsburg Comprehensive Plan
- B. Zoning Ordinance, City of Reedsburg, Wisconsin
- C. October 10, 2023, Plan Commission Agenda
- D. Land Use Change Application
- E. Staff Report
- F. Request for Review and Comment
- G. Notice of Public Meeting

Staff Report

DATES: October 10, 2023

APPLICANT: D2 Property Construction LLC (Freeman Decorah)

LOCATION: Corner of Greenway Ct & Zinga Dr; Parcel # 276-2243-11000

PROPOSED LAND USE CHANGE: Site Plan Review (SPR)

DESCRIPTION OF PROPERTY/IMPROVEMENTS: Consider SPR for a new 106' X 54' Reedsburg Flooring building and parking lot

General Findings

SURROUNDING LAND USES:

- North – Industrial
- West – Industrial
- South – Industrial
- East – Industrial

ZONING:

- North – I-1 Light Industrial
- West – I-4 Business Center
- South – I-4 Business Center; Government
- East – I-4 Business Center; Government

TOPOGRAPHY: Slopes up to north

STREET R.O.W./TRAFFIC/ACCESS: 8th St; 66' ROW

ENVIRONMENTAL HAZARDS/CONDITIONS: None known

COMP PLAN DESIGNATION: Medium & High Density Residential

COMMENTS

ADMINISTRATOR:

AMBULANCE:

FIRE:

POLICE:

PUBLIC WORKS:

SCHOOL:

UTILITIES:

OTHER:

Site Plan Review Findings of Fact for Section 690-33

Topography and vegetation. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property, the minimization of tree and soil removal and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.

1. The Board finds that the existing parcel is vacant.
2. The Board finds that a 106' X 54' Reedsburg Flooring building and parking lot is proposed.
3. The Board finds that the use is permitted under §690-67(B).
4. The Board finds that the parcel is zoned I-4 Business Center.
5. The Board finds that the parcel is on the corner of Greenway Ct & Zinga Dr.
6. The Board finds that the parcel is 1.98 acres.
7. The Board finds that 8 parking spaces and 1 loading space are required; 13 are proposed.
8. The Board finds that the proposed lot line setbacks are compliant.
9. The Board finds that the building exterior
- 10.

Stormwater. Special attention shall be given to proper site drainage so that removal of stormwaters will not adversely affect neighboring properties.

1. The Board finds that a 106' X 54' Reedsburg Flooring building and parking lot is proposed.
2. The Board finds that the parcel is 1.98 acres.
3. The Board finds that 8 parking spaces and 1 loading space are required; 13 are proposed.
4. The Board finds that the land slopes down to the south, with ponds on the adjacent parcel.

Emergency Services. All buildings shall be so arranged as to permit emergency vehicle access by some practical means.

1. The Board finds that a 106' X 54' Reedsburg Flooring building and parking lot is proposed.
2. The Board finds that the parcel is on the corner of Greenway Ct & Zinga Dr.
3. The Board finds that there will be a driveway on both Greenway Ct and Zinga Dr.

Exterior lighting shall be arranged as follows:

1. **It is deflected away from adjacent properties.**
2. **It does not impede the vision of traffic along adjacent streets.**
3. **It does not unnecessarily illuminate night skies.**
1. The Board finds that §690-67(G)(10) states: *lighting will need to meet Section 690-33(D). Vehicular lighting shall be illuminated using high-cutoff luminaires which keep off-site overspill and night-sky lighting to a minimum. The size and scale of light and illumination should match site and building scale, color and theme. Location of the fixtures should match site and building scale, color and theme. Location of the fixtures should emphasize intersections and pedestrians' access routes, yet provide a uniform level of illumination. Scale of fixtures should be lowered in pedestrian areas to emphasize walking surfaces. All outdoor lighting or nonresidential uses shall be*

designed, located and mounted so that the maximum illumination, as measured horizontally at the lot line, does not exceed 9.6 footcandles.

Traffic generation, circulation and parking areas. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area.

1. The Board finds that a 106' X 54' Reedsburg Flooring building and parking lot is proposed.
2. The Board finds that the parcel is on the corner of Greenway Ct & Zinga Dr.
3. The Board finds that there will be a driveway on both Greenway Ct and Zinga Dr.

Architectural plans; existing and proposed structures. The proposed conditional land use shall be designed, constructed, operated, and maintained so to complement the surrounding area. Physical buffers shall be added as needed for neighboring conformance.

1. The Board finds that plans are attached.

Consistency with other plans and statutes. Site plans shall conform to all applicable requirements of City, state and federal statutes and the City of Reedsburg Comprehensive Plan, and approval may be conditioned on the applicant receiving necessary City, state and federal permits.

1. The Board finds that the future use map indicates Industrial.

STAFF COMMENTS:

- Parking spaces shall be at least 10 X 18 (9 X 18 are on the plan)
- The driveways on the site plan do not seem match the location on the building plans
- Landscaping is proposed along the west and north lot lines and shall meet §690-67(G)(10)
 - *(a) The setback area abutting streets shall be landscaped with a combination of deciduous canopy trees, shrubbery and ground cover. At least one tree at least six feet in height for each 50 feet of street frontage shall be planted in the setback area. Any buffer zone, shall be a minimum of 40 feet wide and planted with plant materials at least six feet in height of such variety and growth habits as to provide a year-round, effective screen for the abutting residential properties. All off-street parking areas that serve 20 vehicles or more shall be provided with landscaped areas totaling not less than 5% of the surfaced area.*
 - *(b) All landscaping shall be completed within 90 days of issuance of a certificate of occupancy of allowing occupation and use of such property by the Building Inspector. If the certificate of occupancy is issued after October 1 of any given year, the owner's or lessee's landscaping completion date shall be 90 days, beginning April 1 of the following year (July 1).*
- The exterior shows only vinyl siding, §690-67(G)(4)
 - *(a) The exterior walls of each principal building shall be constructed of durable, permanent architectural materials that are compatible with parklike standards established by the existing buildings, detention ponds, decorative lighting and other landscape features.*
 - *(b) At least 25% of the front facade and street side(s) facades of the office portion of the principal building shall incorporate brick, stone, architectural block, architectural concrete panels, architectural wood and/or glass into their*

design. Front facade materials shall be continued for not less than 20 feet on each side from the front surface. The nonoffice portion of the building, such as light manufacturing, assembly, and storage, shall consist of architectural metal block, tilt-up concrete panels or similar materials designed to be compatible with the color and design theme of the office portion of the building. Unfaced concrete block, structural concrete and the like shall not be permitted without the prior written approval of the Industrial Development Commission.

Exhibit List

- A. City of Reedsburg Comprehensive Plan
- B. Zoning Ordinance, City of Reedsburg, Wisconsin
- C. October 10, 2023, Plan Commission Agenda
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BACK TO WORKSPACE

All information saved 6:48 p.m.

NEEDS CHANGES ⓘ

DELETE FORM

2023-10-05, 7:43 a.m. OK

Brian Duvalle

Application form Site Plan

All required fields are marked with *

SITE PLAN APPROVAL

Close ^

Existing Use	Proposed use
The Property is currently vacant.	construct an office/showroom and warehouse for General construction and flooring sales and installation.

SITE PLAN REQUIREMENTS, AS APPLICABLE

Close ^

Please Select from the following

- ☐ North arrow
- ☐ Location of property lines, dimensions, and setbacks.
- ☐ Location of existing and proposed public roads, rights-of-way and private easements of record.
- ☐ Location of existing water bodies, surface drainage ways, stormwater controls, floodplains, and wetlands

- ☐ Location of existing and proposed buildings.
- ☐ Location of parking areas and all exterior lighting.
- ☐ Location of all loading / unloading areas.
- ☐ Location of all sidewalks, walkways, bicycle paths and areas for public use.
- ☐ Location of all utilities on the site.
- ☐ Location and specifications for all fences, walls, and other screening features.
- ☐ Location and specifications for all existing and proposed perimeter and internal landscaping
- ☐ Location and specifications for screening of all trash receptacles and other solid waste disposal facilities.
- ☐ Location and specifications for proposed signs.
- ☐ Elevation drawings for proposed commercial structures
- ☐ Floor plans, when needed to determine the number of parking spaces required.

PLEASE DESCRIBE HOW YOUR REQUEST MEETS EACH OF THE FOLLOWING SITE PLAN STANDARDS, AS APPLICABLE.

Close ^

A. Topography and vegetation. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property, the minimization of tree and soil removal and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.

Please provide more informatoin *

The site plan was developed in adherence of these requirements.

B. Stormwater. Special attention shall be given to proper site drainage so that removal of stormwaters will not adversely affect neighboring properties.

Please provide more information *

The site plan meets the requirements for storm water and drainage.

C. Emergency Services. All buildings shall be so arranged as to permit emergency vehicle access by some practical means.

Please provide more information *

The building is accessible to emergency vehicles.

D. Exterior lighting shall be arranged as follows:

- (1) It is deflected away from adjacent properties.
- (2) It does not impede the vision of traffic along adjacent streets.
- (3) It does not unnecessarily illuminate night skies.

Please provide more information *

Exterior lighting will meet these requirements.

E. Traffic generation, circulation and parking areas. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area.

Please provide more information *

The traffic and parking patterns will not affect existing traffic patterns.

F. Architectural plans; existing and proposed structures. The proposed conditional land use shall be designed, constructed, operated, and maintained so to complement the surrounding area. Physical buffers shall be added as needed for neighboring conformance.

Please provide more information *

The building conforms to all requirements in design and function.

G. Consistency with other plans and statutes. Site plans shall conform to all applicable requirements of City, state and federal statutes and the City of Reedsburg Comprehensive Plan, and approval may be conditioned on the applicant receiving necessary City, state and federal permits.

Please provide more information *

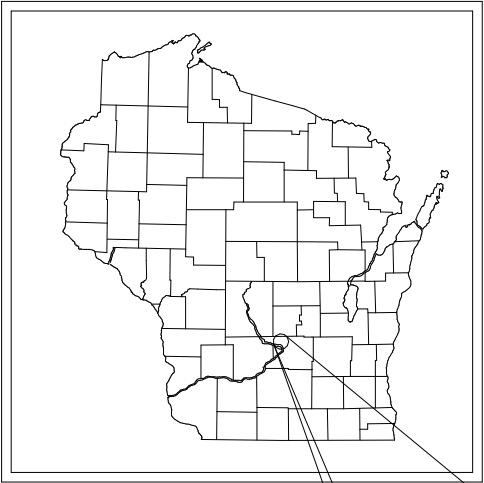
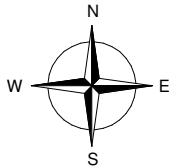
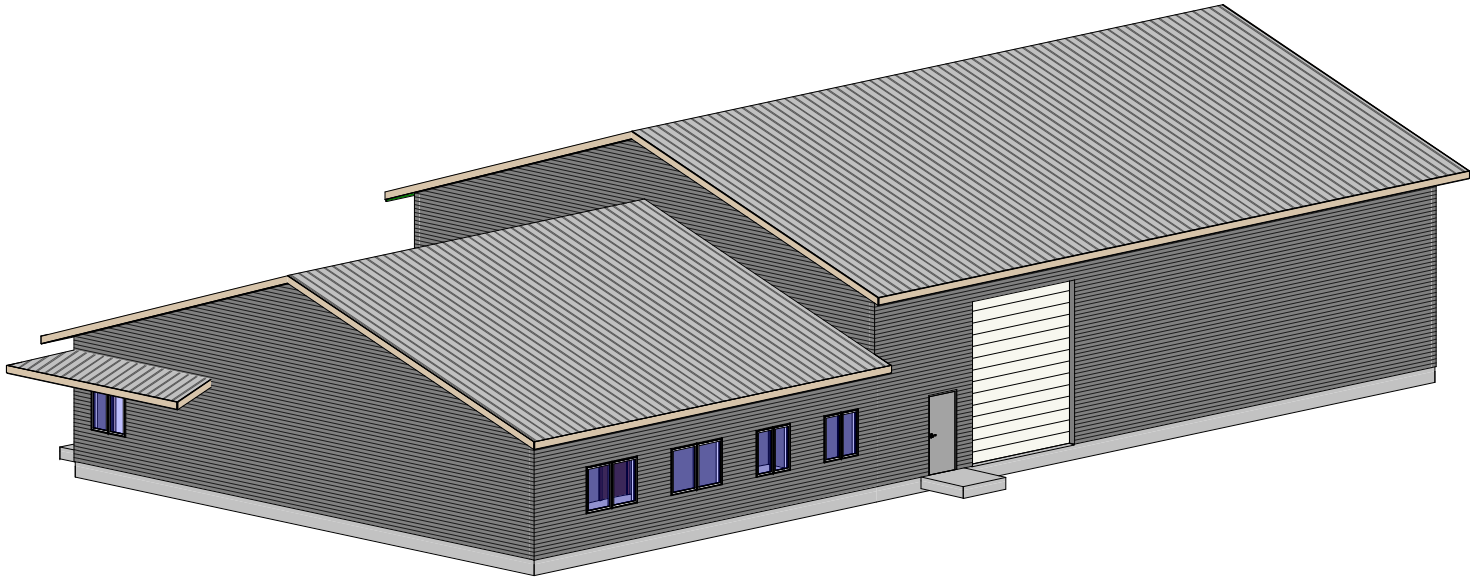
The building has been designed to meet all requirements and will add value to the

Back to top 

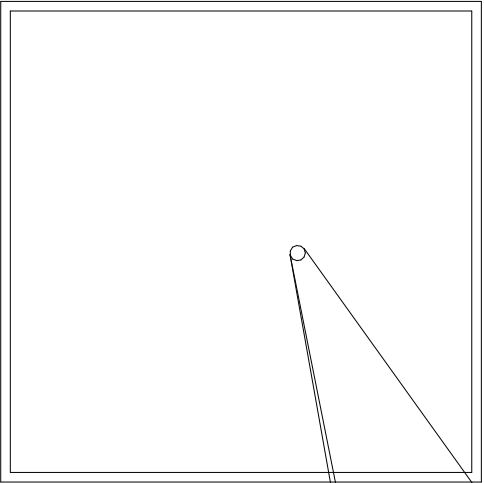
INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
GENERAL	
G0.0	TITLE SHEET
CIVIL	
C1.0	SITE PLAN
ARCHITECTURAL	
A1.0	ELEVATIONS
A2.0	PROPOSED FLOOR PLAN
STRUCTURAL	

OWNER/CONTACT
FREEMAN DECORAH

REEDSBURG FLOORING



LOCATION PLAN
xxxxxxx COUNTY, WI



LOCATION PLAN
CITY OF xxxxxxxx

CASHMAN ASSOCIATES, Inc. PH: (608) 237-7443 FAX: (608) 237-7444 4798 County Road I Sparta, WI 54656 gcashman@charter.net Gregory M. Cashman, AIA

PROJECT NUMBER: G0.0

PROJECT TITLE: REEDSBURG FLOORING

PROJECT OWNER: FREEMAN DECORAH

PROJECT DATE: SEP 2023

LOCATION: REEDSBURG, WI

PROJECT OWNER: FREEMAN DECORAH

PROJECT DATE: SEP 2023

REEDSBURG FLOORING

REEDSBURG, WI

General Engineering Company

1000 N. 10th St., Ste. 200, Reedburg, WI 54656

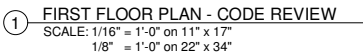
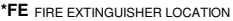
608.722.2222 (Office) 608.722.2222 (Fax)

www.generalengr.com

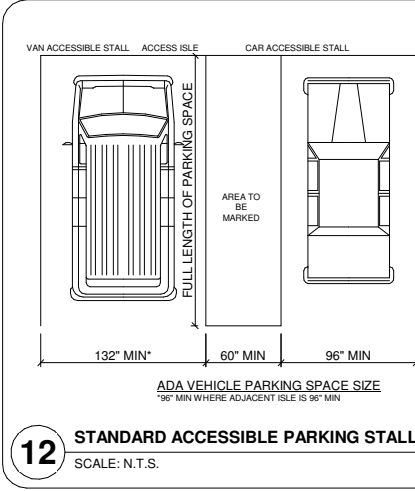
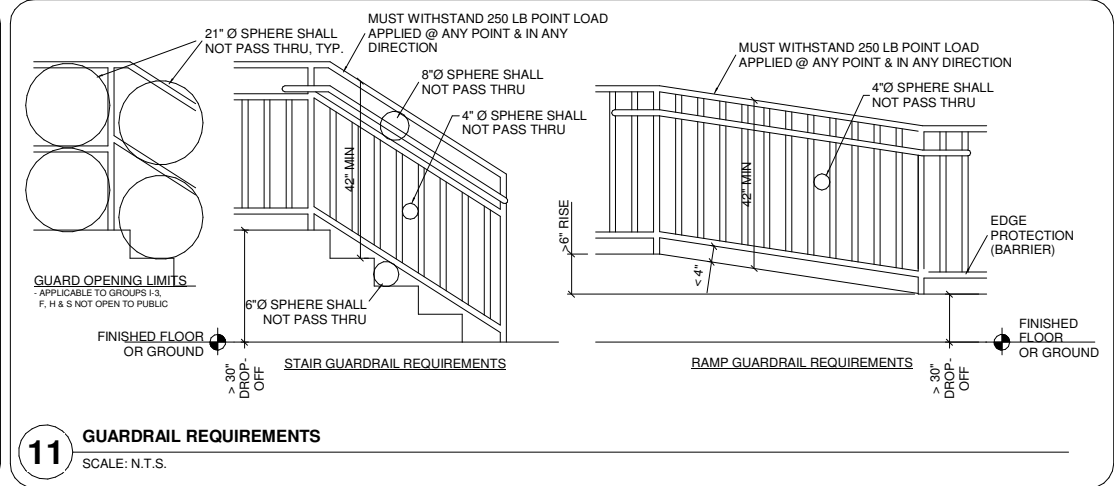
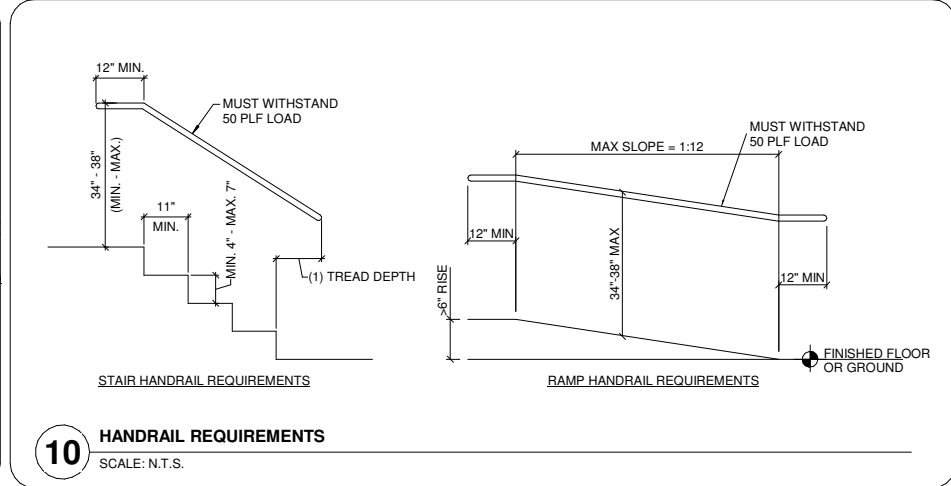
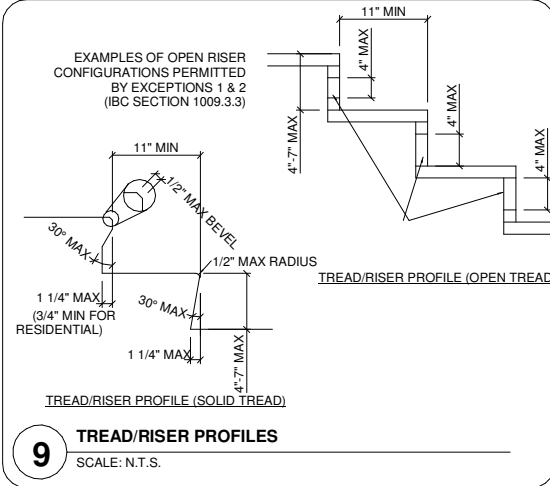
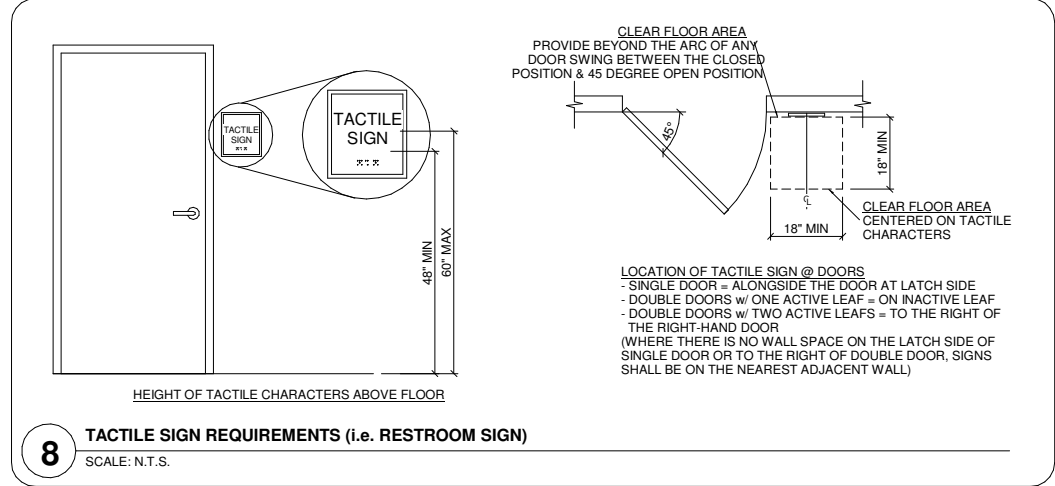
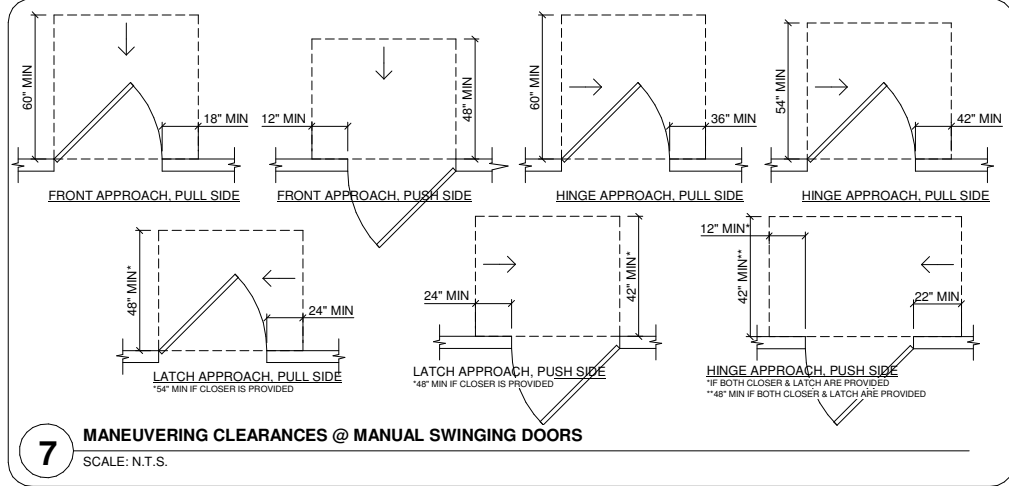
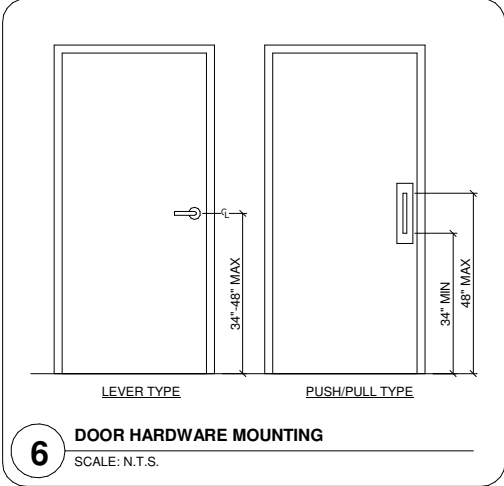
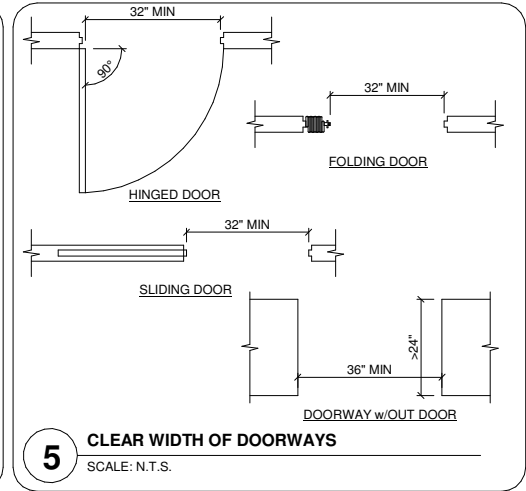
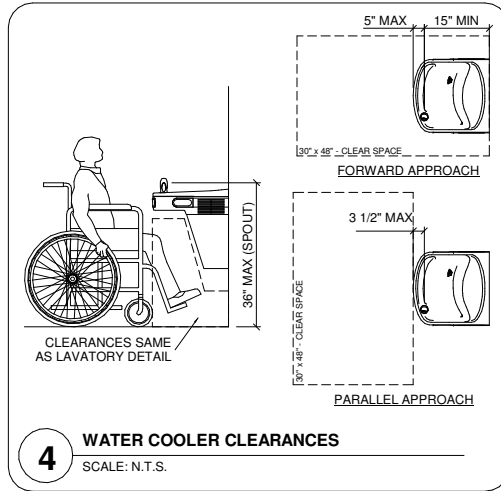
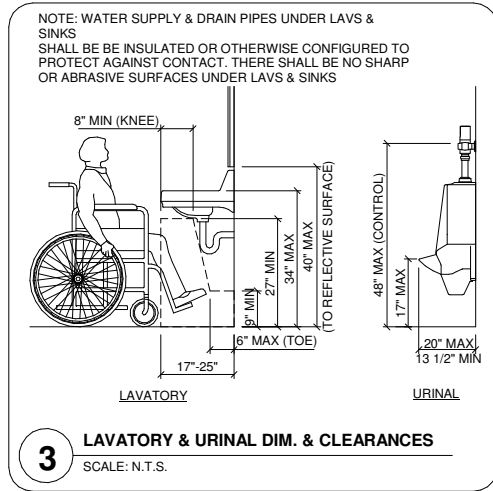
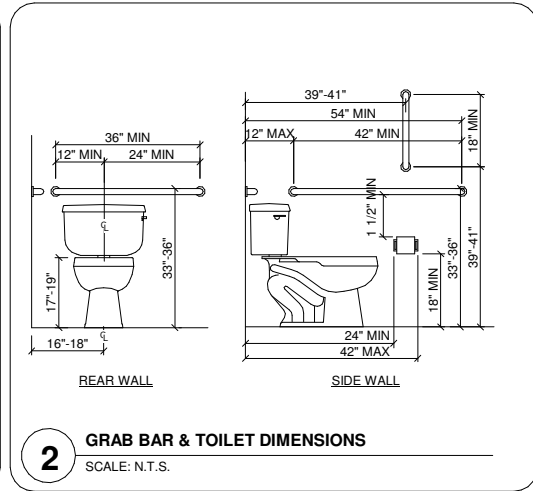
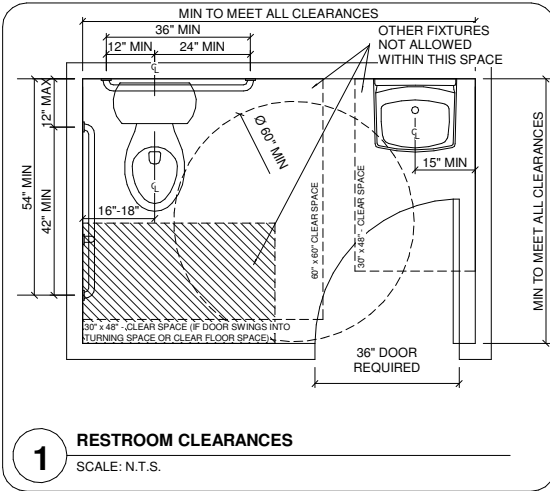
1. OCCUPANT LOADS INCLUDE EMPLOYEES AND PATRONS.
2. ALL ASSEMBLY SPACES SHALL HAVE A POSTED OCCUPANT LOAD PER IBC SECTION 1004.3 INDICATING THE DESIGNATED OCCUPANT LOAD ESTABLISHED BY THIS LIFE SAFETY PLAN. (LOCATION OF SIGN TO BE DETERMINED)
3. PUBLIC AREA RESTROOMS SHALL BE CONSIDERED NON-SIMULTANEOUSLY OCCUPIED WITHIN THE AREA THEY SERVE. THEREFORE, AN OCCUPANT LOAD HAS NOT BEEN ASSIGNED TO THE PUBLIC TOILETS.
4. CORRIDORS NOT BE USED FOR DEDICATED STORAGE OTHER THAN MISCELLANEOUS CARTS AND OTHER EQUIPMENT ON A TEMPORARY BASIS. CORRIDORS SHALL REMAIN UNOBSTRUCTED AT ALL TIMES TO MAINTAIN THE REQUIRED WIDTH OF THE MEANS OF EGRESS.
5. ALL PENETRATIONS AT FIRE RATED ASSEMBLIES SHALL BE SEALED/PROTECTED WITH AN APPROVED THROUGH-PENETRATION FIRESTOP SYSTEM TO MAINTAIN THE INTEGRITY OF THE RATED WALL OF FLOOR ASSEMBLY. FIRESTOPPING MATERIALS ARE TO BE APPROPRIATE FOR, AND BE PART OF A LISTED AND LABELED ASSEMBLY IN ACCORDANCE WITH THE BUILDING CODE.
6. FIRE BARRIERS, FIRE PARTITIONS, AND SMOKE PARTITIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING. SUCH IDENTIFICATION SHALL BE LOCATED ABOVE THE CEILINGS AND SHALL BE REPEATED AT INTERVALS NOT EXCEEDING 30 FEET HORIZONTALLY ALONG THE WALL OR PARTITION. THE LETTERING SHALL NOT BE LESS THAN 0.5 INCHES IN HEIGHT INCORPORATING THE SUGGESTED WORDING: "FIRE BARRIER - PROTECT ALL OPENINGS/PENETRATIONS".
7. ANY PROPOSED DRAPES, CURTAINS, HANGINGS OR OTHER DECORATIVE MATERIALS SUFFERING FROM WALLS OR CEILINGS WITHIN GROUP A OR GROUP R 1 OCCUPANCIES SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF NFPA 701 OR SHALL BE NONCOMBUSTIBLE. REPORTS SHALL BE FURNISHED TO THE AUTHORITY HAVING JURISDICTION UPON REQUEST.
8. ALL FIRE RATED DOORS SHALL BE SELF CLOSING OR AUTOMATIC CLOSING. DOORS REQUIRED TO BE LEFT OPEN MUST CLOSE AND LATCH UPON ACTIVATION OF THE FIRE ALARM SYSTEM OR BY A SMOKE DETECTOR LOCATED ON BOTH SIDES OF THE DOOR.
9. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
10. EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING AN OCCUPANT LOAD GREATER THAN 49.
11. PANIC HARDWARE SHALL BE PROVIDED FOR ALL DOORS SERVING ASSEMBLY AREAS WITH AN OCCUPANT LOAD OF 50 OR GREATER, AND ELECTRICAL ROOMS WITH EQUIPMENT RATED 1,200 AMPS OR GREATER.
12. OWNER SHALL BE RESPONSIBLE FOR SUBMITTING A BUILDING EMERGENCY PROCEDURE MANUAL OR AN UPDATE OF THEIR EXISTING MANUAL THAT INCLUDES, BUT NOT LIMITED TO, EFFECTIVE EVACUATION AND RELOCATION MEASURES, EMPLOYEE TRAINING AND RESPONSE PROCEDURES, AND EVACUATION DRILLS. AT A MINIMUM, THE MANUAL SHALL BE IN ACCORDANCE WITH SECTION 404, 405, 406, AND 407 OF THE INTERNATIONAL FIRE CODE.
13. TACTILE SIGNS STATING "EXIT" AND COMPLYING WITH ANSI A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN EGRESS STAIRWAY, AN EXIT PASSAGEWAY, AND AT ALL EXTERIOR EXIT DOORS.

1. FIRE EXTINGUISHERS ARE REQUIRED TO BE INSTALLED THROUGHOUT THE ENTIRE FACILITY PER THE INTERNATIONAL FIRE CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA 10) AND AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
 - A. TYPE K FIRE EXTINGUISHER SHALL BE LOCATED IN KITCHEN AREAS WITHIN 30 FEET FROM COMMERCIAL COOKING EQUIPMENT.
 - B. OTHER AREAS SHALL BE EQUIPPED WITH A MULTI-PURPOSE DRY CHEMICAL ABC TYPE EXTINGUISHER.
2. FIRE EXTINGUISHERS SHALL BE LOCATED SUCH THAT THEY ARE CONSPICUOUS AND WITHIN THE LINE OF SIGHT.
3. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF FIRE EXTINGUISHERS/ CABINETS LOCATED WITHIN NEW CONSTRUCTION.
4. FIRE EXTINGUISHERS/CABINETS SHOWN ON THE LIFE SAFETY WITHIN THE RENOVATED AREAS ARE DIAGRAMMATIC AND MAY NOT REPRESENT THE EXACT LOCATION TO WHICH THEY ARE TO BE INSTALLED. BASED ON POTENTIAL CONFLICTS WITH WALL FEATURES OR OTHER WALL MOUNTED DEVICES, FIRE EXTINGUISHERS AND CABINETS MAY HAVE TO BE SLIGHTLY RELOCATED OR SHIFTED FROM WHAT IS SHOWN ON THE DRAWINGS. IF THIS OCCURS, CONTACT THE ARCHITECT FOR VERIFICATION OF PROPOSED LOCATION.
5. ALL EXISTING FIRE EXTINGUISHERS AFFECTED BY THE SCOPE OF DEMOLITION SHALL BE STORED FOR POTENTIAL REUSE.
6. FIRE EXTINGUISHER CABINETS SHALL BE FIRE RATED WHERE INSTALLED IN FIRE RATED CONSTRUCTION.
7. LAYOUT CRITERIA - AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A10BC SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 8,000 SF OR PORTION THEREOF ON EACH FLOOR. ADDITIONAL FIRE EXTINGUISHERS MAY BE NEEDED FOR SPECIFIC HAZARD AREAS.

1. EXIT LIGHTING INDICATED ON THE LIFE SAFETY PLANS ARE SHOWN AT RENOVATED AREAS ONLY. EXISTING EXIT LIGHTS THROUGHOUT AREAS OUTSIDE THE SCOPE OF WORK ARE ASSUMED TO PROVIDE CLEAR EXIT ACCESS TO REQUIRED EXITS FOR ALL OCCUPANTS.
2. EXIT SIGNS SHALL BE PROVIDED WITH ARROWS AND FACES TO MATCH FIELD CONDITIONS SO AS TO BE CLEARLY VISIBLE FROM ANY LOCATION WITHIN THE ROOM OR SPACE.
3. COORDINATE THE EXACT LOCATIONS AND MOUNTING OF EXIT LIGHTS IN RENOVATED AREAS WITH FINAL LOCATIONS OF LIGHT FIXTURES, CEILING FIXTURES, AND OTHER WALL OR CEILING FEATURES THAT MAY CAUSE A VISUAL OBSTRUCTION.
4. EXIT LIGHTS SHOWN ON THE LIFE SAFETY PLANS ARE SHOWN FOR GENERAL LOCATIONS. ADDITIONAL EXIT LIGHTS, REMOVAL OF EXISTING EXIT LIGHTS, AND/OR POSSIBLE RELOCATION OF NEW OR EXISTING EXIT LIGHTS MAY BE REQUIRED BY THE AUTHORITY HAVING JURISDICTION DURING THEIR ON-SITE INSPECTION PROCESS. THIS PROCESS SHALL ALSO BE COORDINATED WITH THE ARCHITECT/ENGINEER.

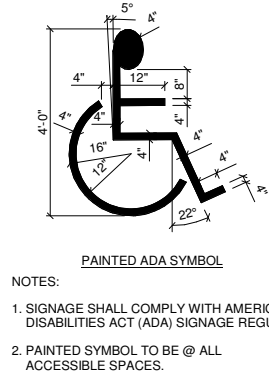


NOTE: NOT ALL DETAILS ON THIS SHEET MAY APPLY TO THIS PROJECT. THIS PROJECT MUST COMPLY WITH ICC/ANSI A117.1-2003 & WITH FEDERAL ADAAG TECHNICAL GUIDELINES. IN THE EVENT OF A CONFLICT BETWEEN THE SUPPLIED INFORMATION & ICC/ANSI A117.1-2003 & OR ADAAG, ICC/ANSI A117.1-2003 & THEN ADAAG SHALL TAKE PRECEDENCE OVER INFORMATION SUPPLIED IN THIS PLAN SET. IN THE EVENT OF AN OMISSION IN THIS PLAN SET, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ICC/ANSI A117.1-2003 AND FEDERAL ADAAG TECHNICAL GUIDELINES.

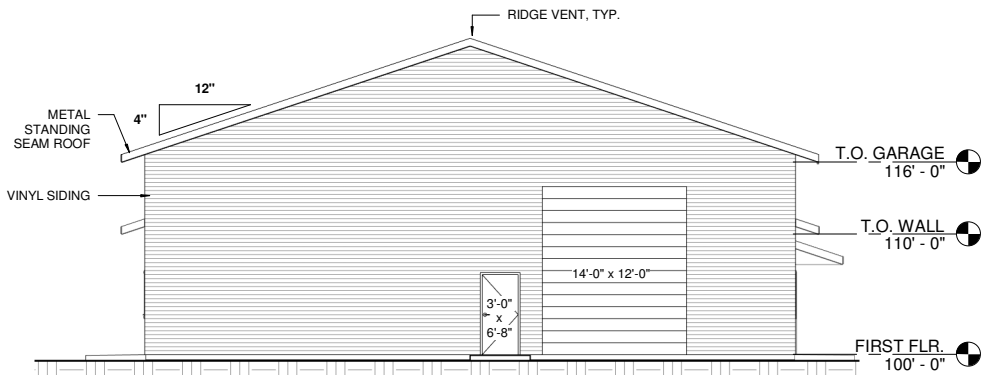


TOTAL PARKING SPACES PROVIDED	REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES*
1 TO 25	1
26 TO 50	2
51 TO 75	3
76 TO 100	4
101 TO 150	5
151 TO 200	6
201 TO 300	7
301 TO 400	8
401 TO 500	9
501 TO 1000	2% OF TOTAL
1001 & OVER	20 PLUS 1 FOR EACH 100, OR FRACTION THEREOF, OVER 1000

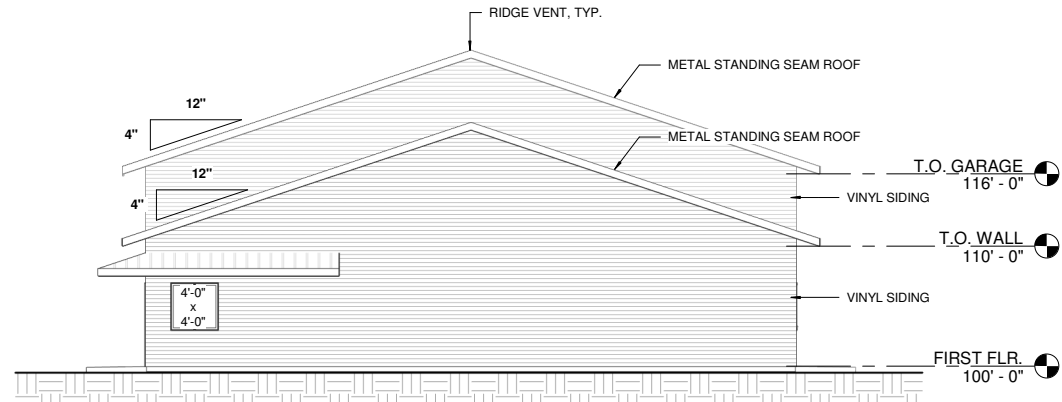
*FOR EVERY SIX OR FRACTION OF SIX ACCESSIBLE PARKING SPACES, AT LEAST ONE SHALL BE A VAN-ACCESSIBLE PARKING SPACE.



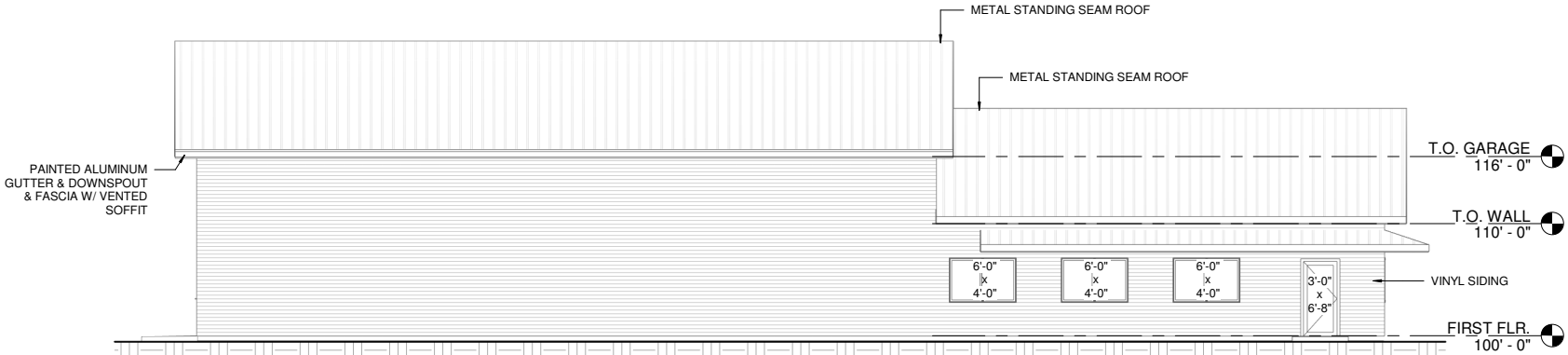
- NOTES:
- ONE SIGN REQUIRED FOR EACH PARKING SPACE.
 - SIGN SHALL BE 60" MIN ABOVE THE GROUND SURFACE OF THE PARKING SPACE, MEASURED TO THE BOTTOM OF THE SIGN.
 - SIGN SHALL CONSIST OF A WHITE RECTANGLE WITH LONGER DIMENSION VERTICAL, HAVING GREEN MESSAGE AND A BLUE & WHITE INTERNATIONAL SYMBOL FOR THE BARRIER-FREE ENVIRONMENTS.
 - THE SIGN MAY BE REFLECTIVE OR NON-REFLECTIVE.



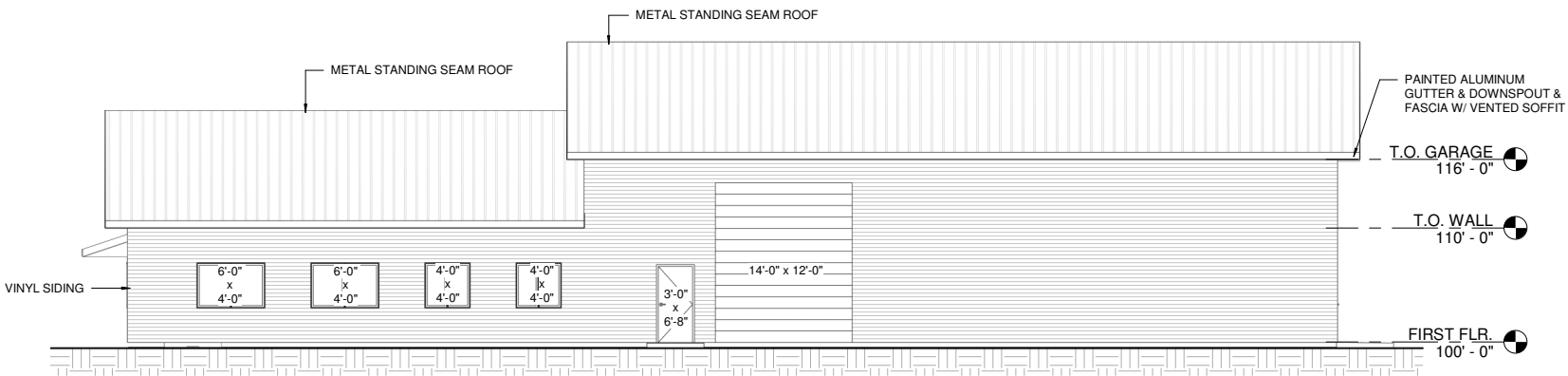
① EAST ELEVATION
SCALE: 1/16" = 1'-0" on 11" x 17"
1/8" = 1'-0" on 22" x 34"



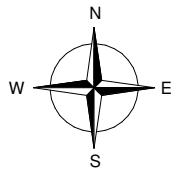
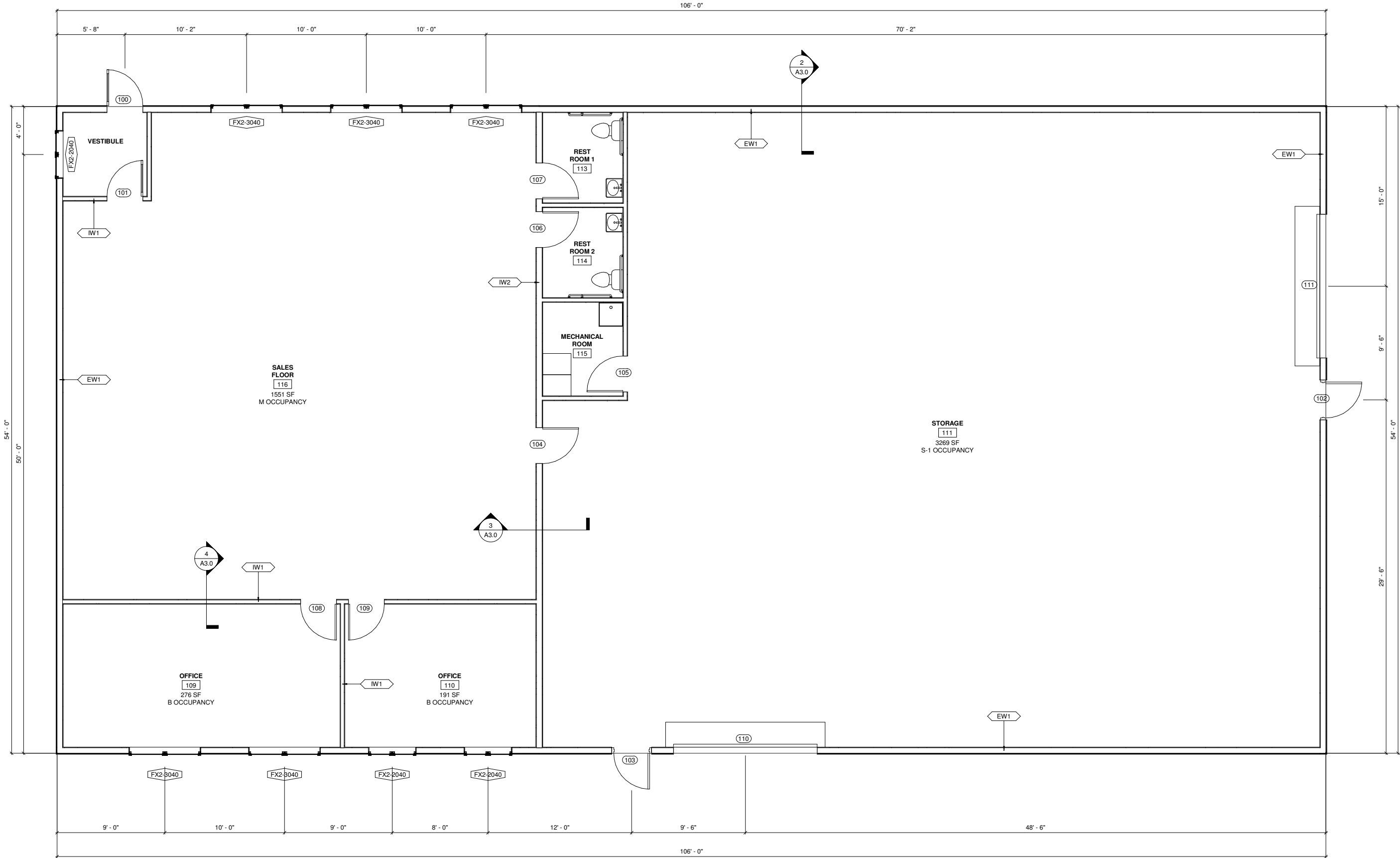
③ WEST ELEVATION
SCALE: 1/16" = 1'-0" on 11" x 17"
1/8" = 1'-0" on 22" x 34"



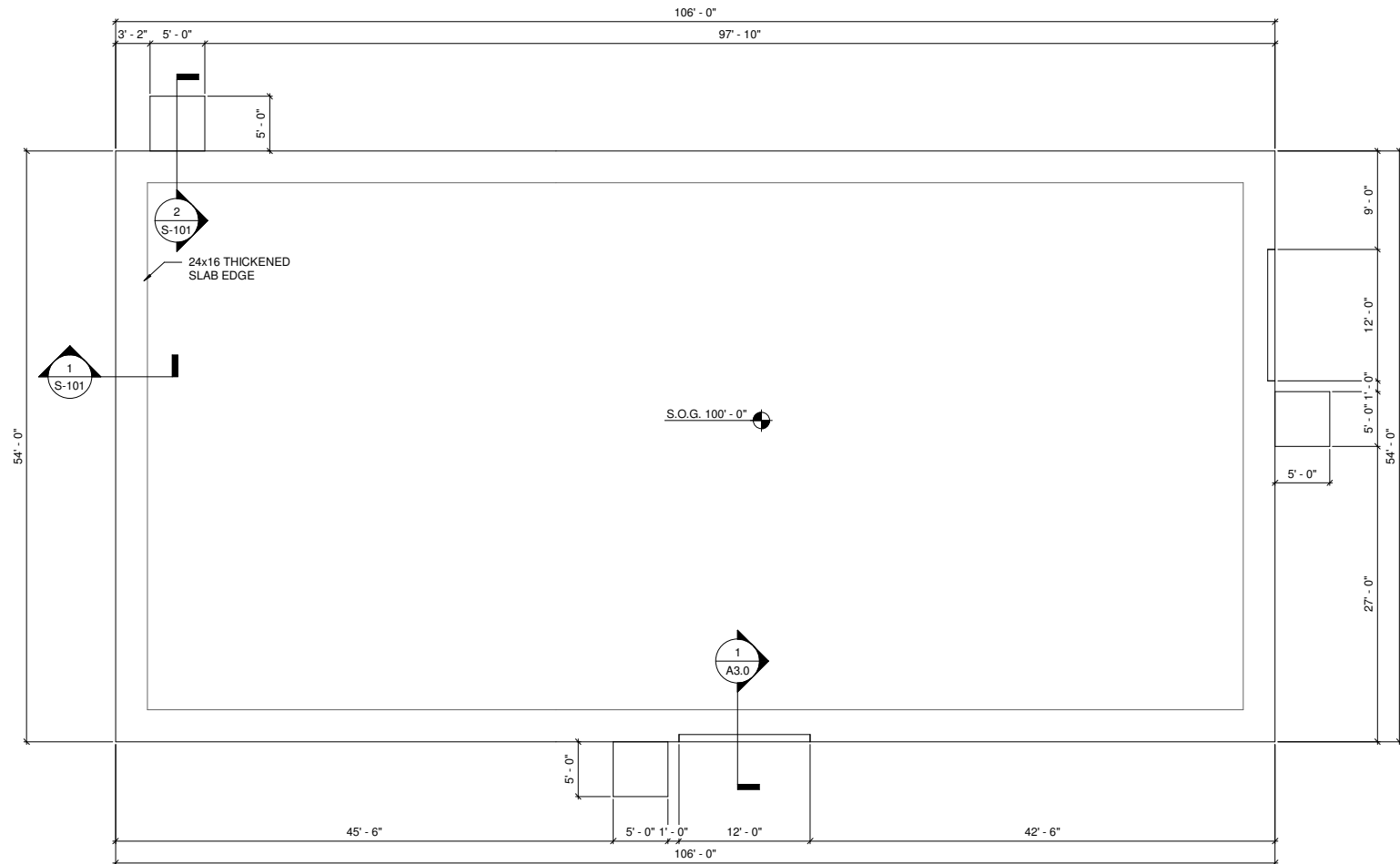
② NORTH ELEVATION
SCALE: 1/16" = 1'-0" on 11" x 17"
1/8" = 1'-0" on 22" x 34"



④ SOUTH ELEVATION
SCALE: 1/16" = 1'-0" on 11" x 17"
1/8" = 1'-0" on 22" x 34"

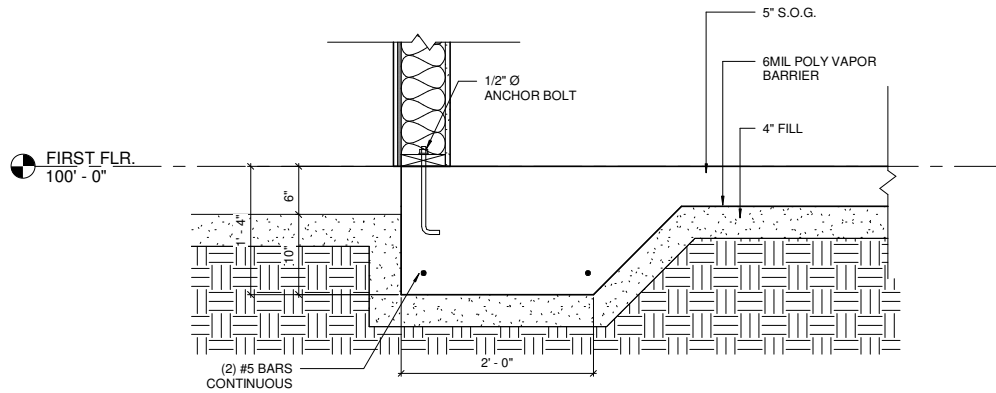


1 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0" on 11" x 17"
1/8" = 1'-0" on 22" x 34"

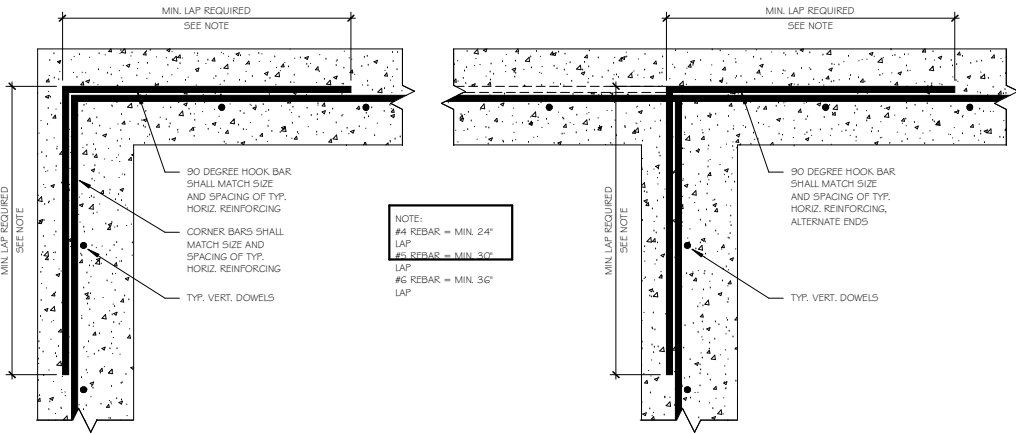


FOUNDATION PLAN NOTES:

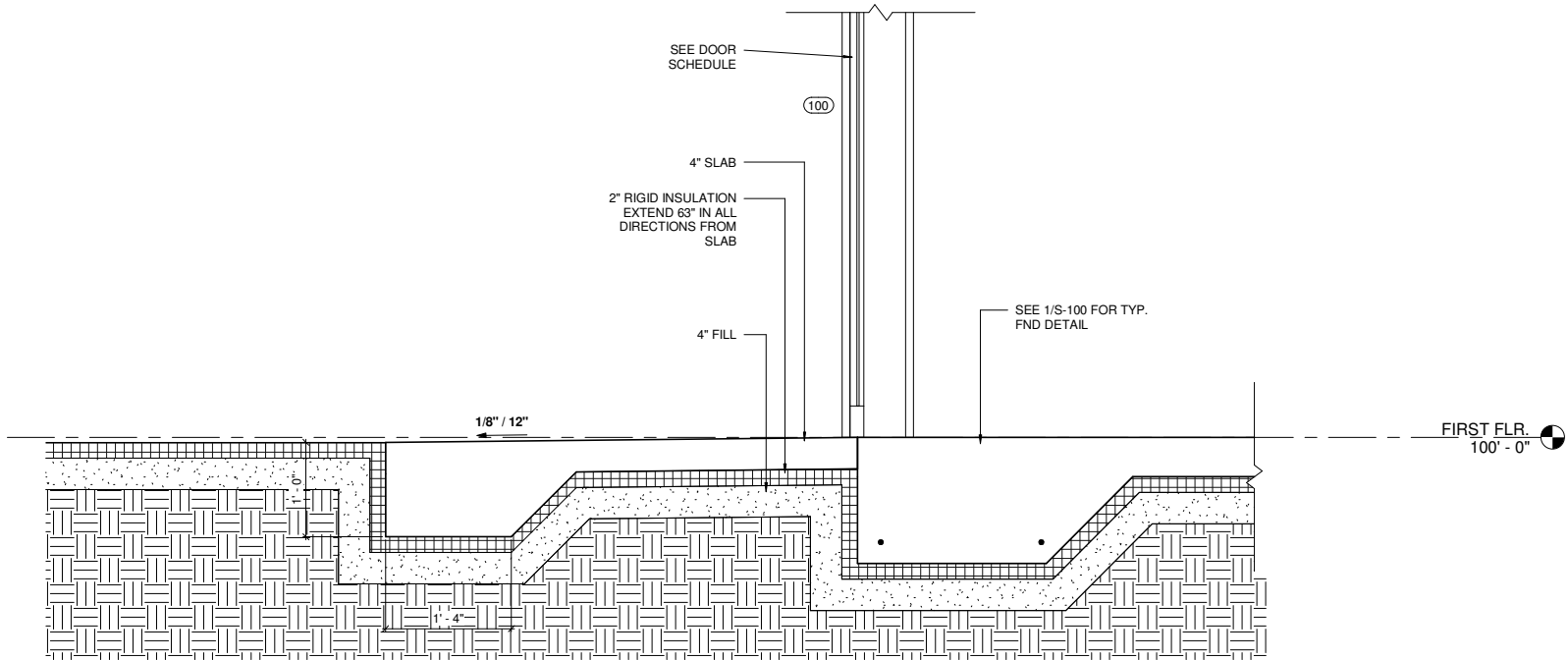
- CONTRACTOR SHALL PROVIDE FROST PROTECTION AND MOISTURE PROTECTION FOR FOOTINGS EXPOSED DURING CONSTRUCTION.
2. REFER TO ARCHITECTURAL DRAWINGS OR PLUMBING DRAWINGS FOR SPECIFIC FLOOR DRAIN LOCATIONS AND ELEVATIONS.
3. REFER TO STRUCTURAL DETAIL PLAN SHEETS FOR MISCELLANEOUS DETAILS NOT INDICATED ON PLAN.
4. NOTIFY ENGINEER OF ANY UNUSUAL SOIL CONDITIONS. ALL FOOTINGS SHALL REST ON UNDISTURBED ROCK OR SOIL. EXCAVATIONS FOR FOOTINGS SHALL BE APPROVED BY ENGINEER PRIOR TO PLACEMENT OF CONCRETE.
5. WHERE REQUIRED, REMOVE UNSUITABLE EXISTING SOILS BELOW FOOTINGS, SLABS-ON-GRADE, ETC. TO APPROVED BEARING SOIL. REPLACE WITH ENGINEERED FILL (COMPACTED TO 95% OF THE MODIFIED PROCTOR DENSITY) TO THE REQUIRED FOOTING BEARING CAPACITY AS INDICATED IN THE STRUCTURAL DESIGN DATA SOIL LOAD INFORMATION ON SHEET S0.0. TYPE OF FILL MATERIAL AND PLACEMENT SHALL CONFORM TO SPECIFICATIONS UNDER THE DIRECTION AND SUPERVISION OF THE SOILS ENGINEER. SOILS ENGINEER SHALL FIELD VERIFY ALL BEARING CAPACITIES BEFORE FOOTINGS ARE POURED. CONTACT ENGINEER IF UNABLE TO ATTAIN LISTED SOIL BEARING PRESSURE.
6. PROVIDE A MINIMUM OF 8 INCHES OF WELL COMPACTED GRANULAR FILL BELOW ALL SLABS ON GRADE. COMPACT TO 95% OF THE MODIFIED PROCTOR DENSITY.
7. CONCRETE EXPOSED TO WEATHER (RETAINING WALLS, EXTERIOR SLABS, WALKS, CURBS, ETC. BUT EXCLUDING EXPOSED FOUNDATION WALLS) SHALL CONTAIN 4 TO 7 PERCENT AIR BY VOLUME.
8. DELIVERY TICKETS FOR EACH LOAD OF CONCRETE DELIVERED TO THE JOB SITE SHALL BE FURNISHED UPON REQUEST TO THE ENGINEER. TICKET INFORMATION SHALL CONTAIN ALL PERTINENT DESIGN INFORMATION, INCLUDING AMOUNT OF WATER ADDED AT THE JOB SITE, IF ANY.
9. VERIFY PIER CENTERLINE SPACING, ANCHOR BOLT LAYOUT, AND FOUNDATION DIMENSIONS WITH METAL BUILDING MANUFACTURER'S ANCHOR BOLT PLAN. VERIFY THAT ALL BASE PLATES WILL BEAR FULLY ON CONCRETE PIERS, NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO POURING CONCRETE.
10. FORMWORK FOR FOOTINGS SHALL CONSIST OF A MANUFACTURED FORM SYSTEM OF A MINIMUM 1 1/2" THICK WOOD PLANK SECURED TO WOOD OR STEEL STAKES. POURING TO EXCAVATION BANK MAY NOT BE DONE WITHOUT PRIOR APPROVAL OF THE ENGINEER.
11. MIXING AND PLACING OF CONCRETE TO BE IN ACCORDANCE WITH ACI 318. CONCRETE SHALL BE DEPOSITED AS NEARLY AS PRACTICAL IN ITS FINAL POSITION TO AVOID SEGREGATION DUE TO REHANDLING OR FLOWING. CONCRETING SHALL BE CARRIED ON SUCH A RATE THAT CONCRETE IS AT ALL TIMES PLASTIC AND FLOWS READILY INTO SPACES BETWEEN REINFORCEMENT. ALL CONCRETE SHALL BE THOROUGHLY CONSOLIDATED BY SUITABLE MEANS DURING PLACEMENT AND SHALL BE THOROUGHLY WORKED AROUND REINFORCEMENT AND EMBEDDED FIXTURES AND INTO CORNERS OF FORMS.
12. ENGINEER ASSUMED 2,000 PSF SOIL BEARING CAPACITY BASED ON TABLE 1804.2. CONTRACTOR SHALL CONTACT OWNER & ENGINEER IF SOILS ARE SUSPECT OF A LESSER BEARING CAPABILITY.
13. PRIOR TO CONSTRUCTION, VERIFY OPENINGS IN FOOTINGS & FOUNDATION WALLS FOR ALL OTHER TRADES.
14. THE CONTRACTOR IS RESPONSIBLE FOR TAKING PRECAUTIONS, AS REQUIRED, TO SUPPORT THE EXCAVATED BANK DURING CONSTRUCTION.
15. CONTRACTOR SHALL PROVIDE 10 MIL. POLY VAPOR BARRIER BENEATH FLOOR SLAB ON GRADE.
16. COVER THE EXPOSED AREA OF THE EXTERIOR INSULATION WITH A RIGID, OPAQUE & WEATHER RESISTANT PROTECTIVE COVERING & EXTEND A MINIMUM OF 6" BELOW GRADE.
17. CONCRETE MEMBERS SHALL BE CAST USING THE FOLLOWING CONCRETE STRENGTHS:
 - A. 3500 PSI. USE FOR FOOTINGS, WALLS, AND INTERIOR SLABS ON GRADE.
 - B. 4000 PSI (AIR ENTRAINED), USE FOR ALL EXTERIOR SLABS RETAINING WALLS, CURBS AND GUTTER, SIDEWALK AND LIKE CONSTRUCTION.



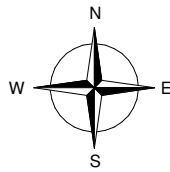
① FOUNDATION DETAIL, TYP.
1" = 1'-0"



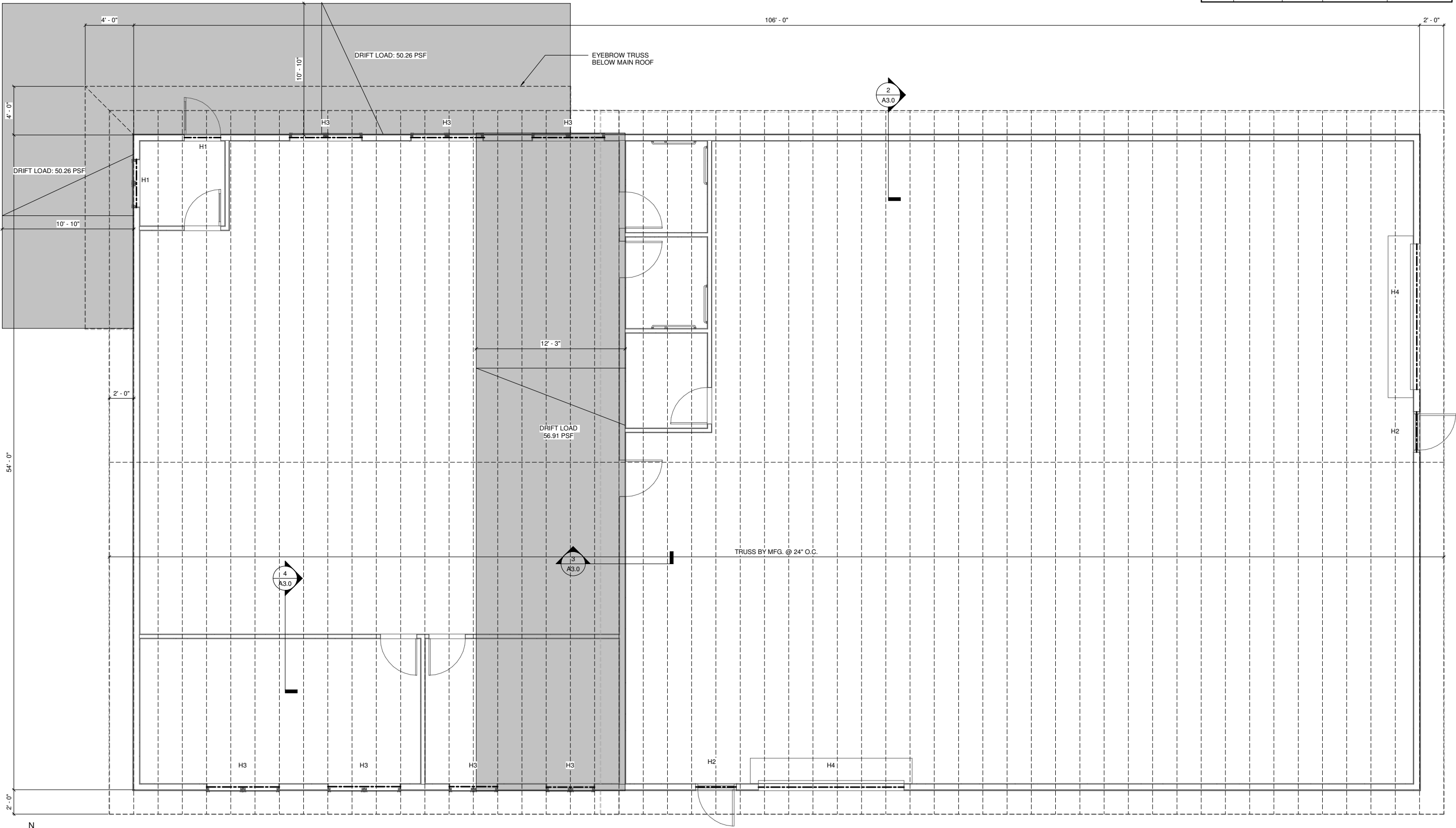
③ CORNER REINFORCEMENT DETAILS
1 1/2" = 1'-0"



② STOOP DETAIL, TYP.
1" = 1'-0"

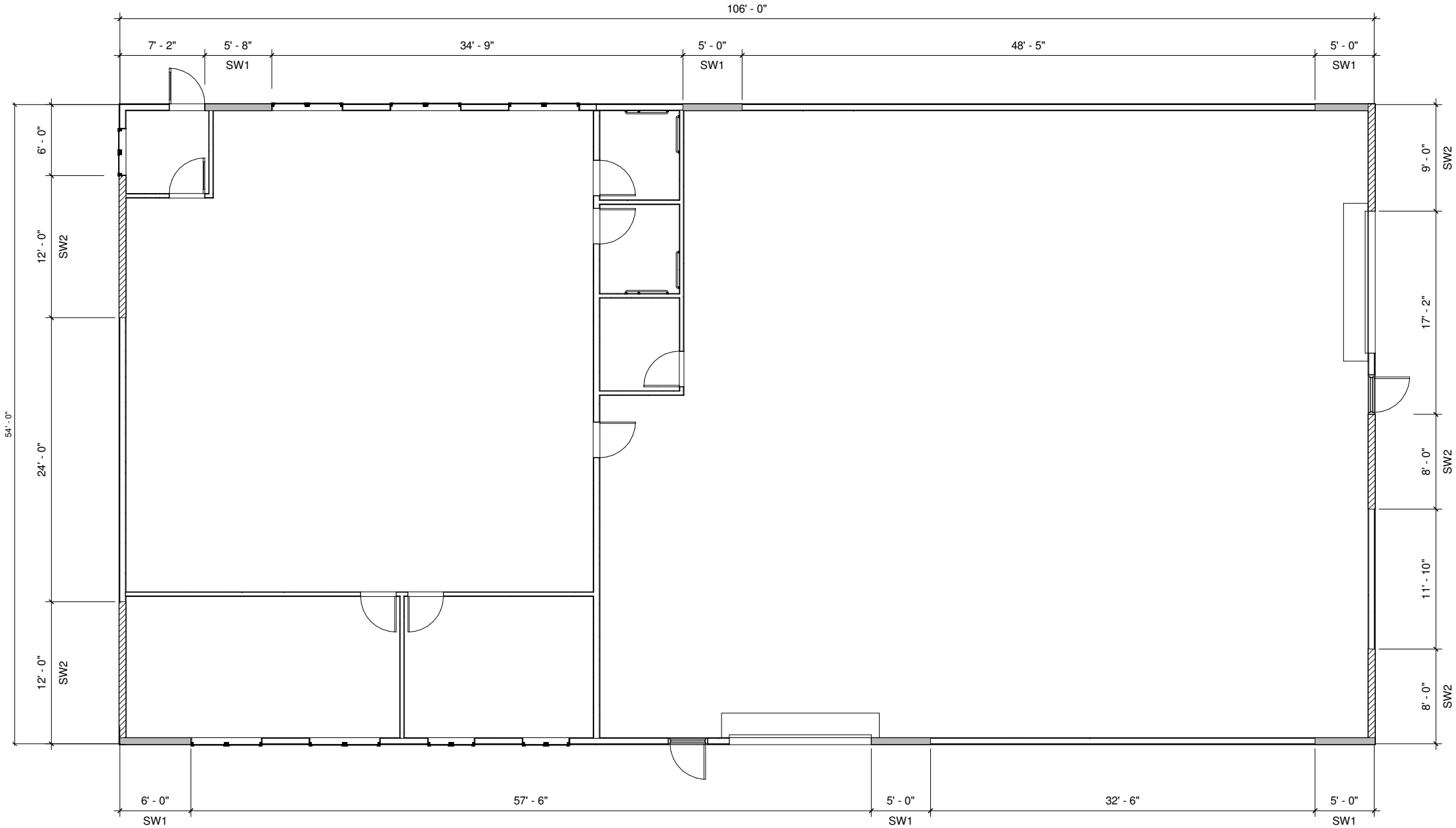


1 ROOF FRAMING PLAN
1/4" = 1'-0"



ALL STUDS TO BE 2-PLY 2X6 SPF #2 @ 24" O.C.
EXCEPT 10' STUDS NOT IN DRIFT LOADED AREA

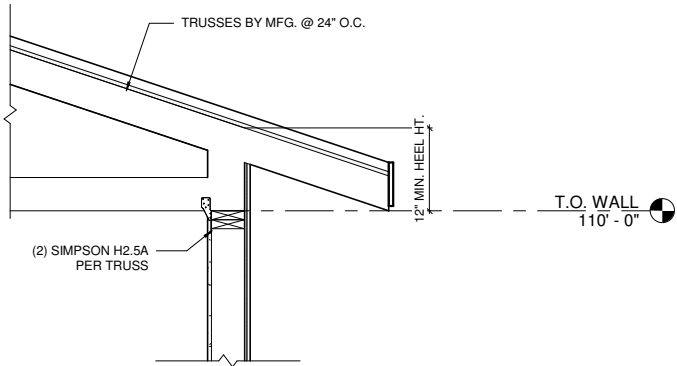
HEADER SCHEDULE				
MARK	SIZE	MATERIAL	SHOULDER STUD	KING STUD
H1	2-PLY 2X10	DF#2	(1) 2X6 SPF#2	(1) 2X6 SPF#2
H2	2-PLY 2X10	DF#2	(2) 2X6 SPF#2	(1) 2X6 SPF#2
H3	2-PLY 9-1/4"	LVL	(2) 2X6 SPF#2	(1) 2X6 SPF#2
H4	2-PLY 14"	LVL	(4) 2X6 SPF#2	(6) 2X6 SPF#2



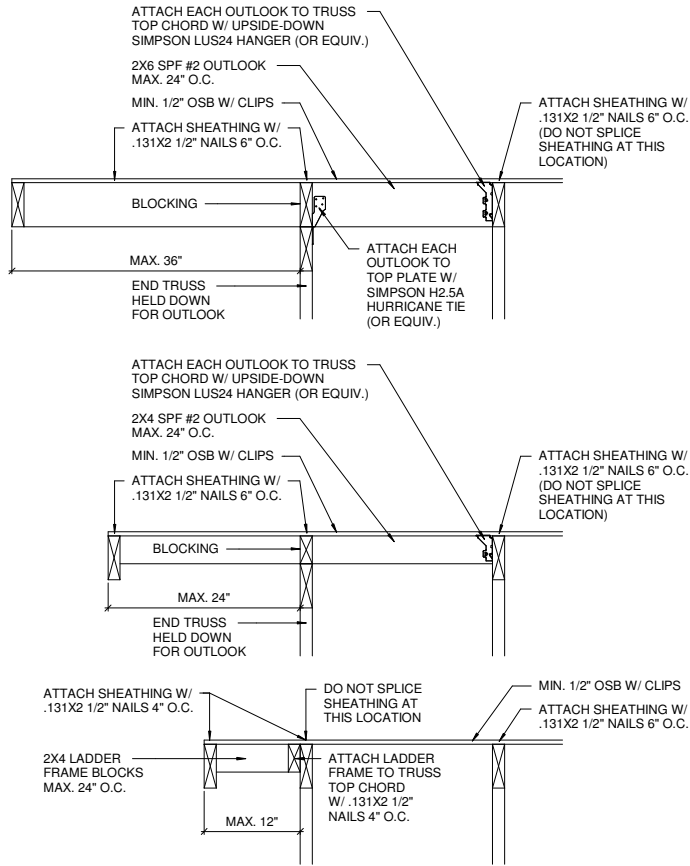
SW1: USE MIN OF 7/16" OSB NAILED w/ 0.113X2 3/8" NAILS @ 6" O.C. ON PANEL EDGES AND 12" O.C. ON INTERIOR STUDS. BLOCK UNSUPPORTED EDGES. USE SIMPSON HTT5KT HOLDOWNS w/ 5/8"X8" SIMPSON TITEN HD ANCHORS AND 2-PLY STUDS IN PANEL CORNERS. SECURE SILL PLATE TO FOUNDATION w/ 1/2" Ø ANCHORS @ NO MORE THAN 6' O.C.

SW2: USE MIN OF 7/16" OSB NAILED w/ 0.113X2 3/8" NAILS @ 6" O.C. ON PANEL EDGES AND 12" O.C. ON INTERIOR STUDS. BLOCK UNSUPPORTED EDGES. USE SIMPSON HTT5KT HOLDOWNS w/ 5/8"X8" SIMPSON TITEN HD ANCHORS AND 2-PLY STUDS IN PANEL CORNERS. SECURE SILL PLATE TO FOUNDATION w/ 1/2" Ø ANCHORS @ NO MORE THAN 3' O.C.

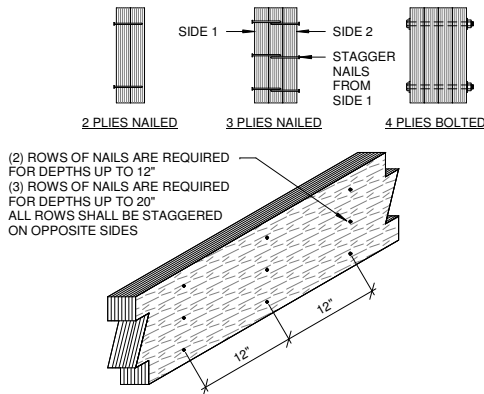
① FIRST FLOOR BRACED WALL PLAN
SCALE: 3/32" = 1'-0" on 11" x 17"
3/16" = 1'-0" on 22" x 34"



1 TRUSS CONNECTION, TYP.
3/4" = 1'-0"

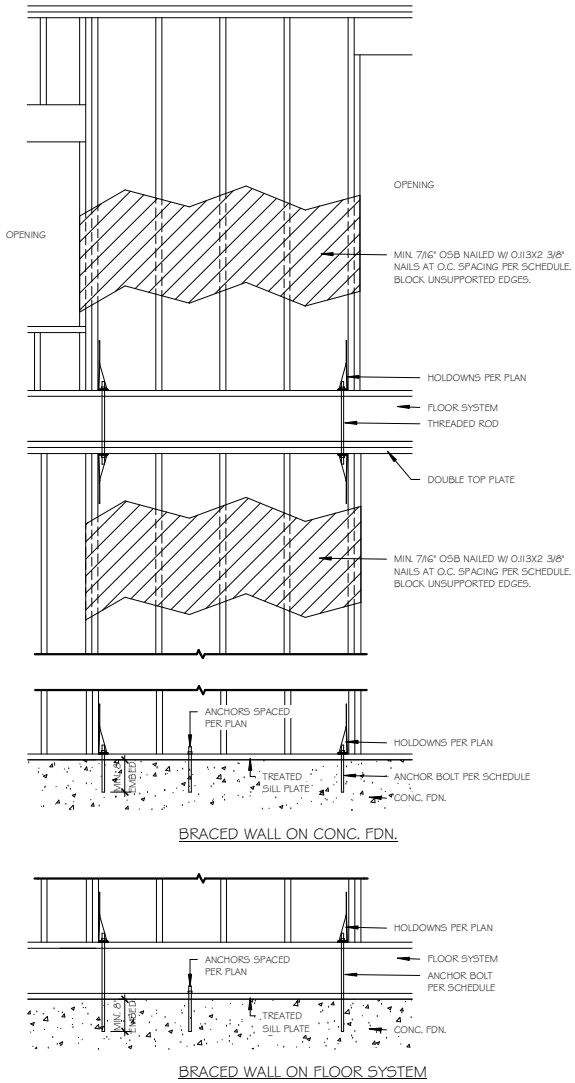


2 GABLE OVERHANG DETAILS
1" = 1'-0"

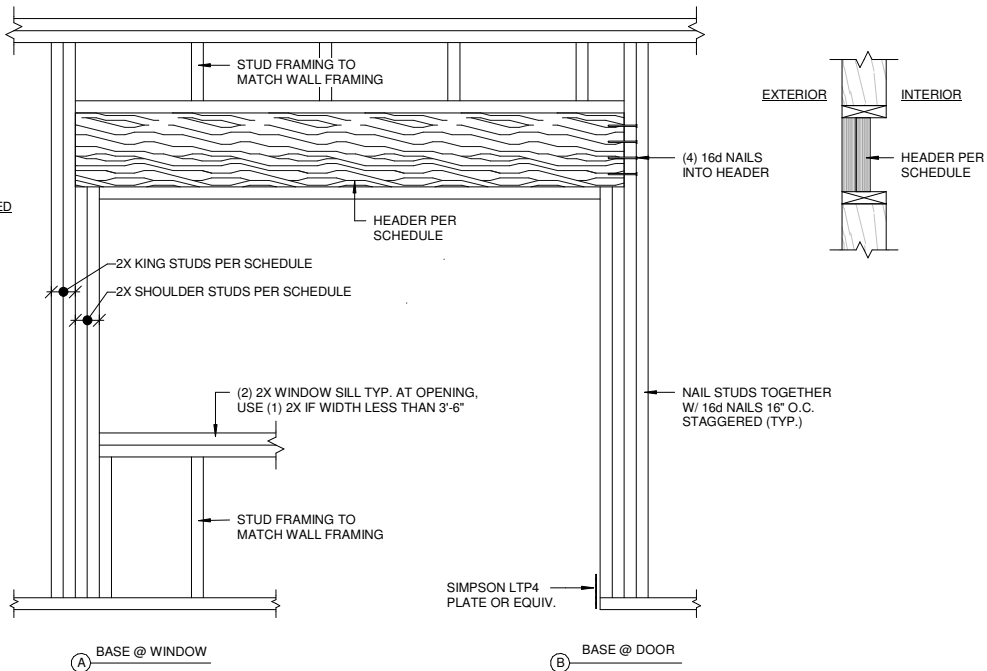


NOTES:
STANDARD NAIL SIZES INCLUDE
16d (3 1/2") NAILS FOR 1-3/4" LVL AND
10d (3") NAILS FOR 2x DIMENSIONAL LUMBER

BOLTED CONNECTIONS SHALL BE
ASTM GRADE A307 (OR BETTER)
2-STAGGERED ROWS OF 1/2" BOLTS 24" O.C.
WITH WASHERS ON BOTH FACES U.N.O.



4 TYPICAL BRACED WALL DETAILS
1/2" = 1'-0"



Staff Report

DATE: October 10, 2023

APPLICANT: D2 Property Construction LLC (Freeman Decorah)

LOCATION: Corner of S. Dewey Ave & Plum St; Parcel #s 276-1313-20000 & 276-1313-30000

ZONING: R-3 Multi-family Residential

DESCRIPTION OF PROPERTY/IMPROVEMENTS: Consider Planned Development Group for nine new townhouse and one duplex

General Findings

SURROUNDING LAND USES:

- North – Commercial
- West – Residential
- South – Residential
- East – Residential

ZONING:

- North – B-2 Business
- West – R-3 Residential
- South – R-2 Residential
- East – R-2 Residential

TOPOGRAPHY: Slopes up to north

STREET R.O.W./TRAFFIC/ACCESS: Corner of S. Dewey Ave & Plum St; 66' ROW

ENVIRONMENTAL HAZARDS/CONDITIONS: None known

COMP PLAN DESIGNATION: High Density Residential

COMMENTS

ADMINISTRATOR:

AMBULANCE:

FIRE:

POLICE:

PUBLIC WORKS:

SCHOOL:

UTILITIES:

OTHER:

Site Plan Review Findings of Fact for Section 690-33

Topography and vegetation. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property, the minimization of tree and soil removal and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.

1. The Board finds that the existing parcels are vacant.
2. The Board finds that a 9-unit townhome is proposed on one lot and a duplex on the other.
3. The Board finds that the use is permitted under §690 Schedule 1.
4. The Board finds that the parcels are zoned R-3 Residential.
5. The Board finds that the parcel is on the corner of Plum St and S Dewey Ave.
6. The Board finds that the parcels are 0.85 and 0.25 acres.
7. The Board finds that 18 surface parking spaces and 9 attached garages are proposed.
8. The Board finds that the proposed lot line setbacks require Council approval – front for the townhomes and rear for the duplex.

Stormwater. Special attention shall be given to proper site drainage so that removal of stormwaters will not adversely affect neighboring properties.

1. The Board finds that stormwater would flow to S Dewey and Plum St.
2. The Board finds that there is an existing swale in the SW Corner.

Emergency Services. All buildings shall be so arranged as to permit emergency vehicle access by some practical means.

1. The Board finds that a 9-unit townhome is proposed on one lot and a duplex on the other.
2. The Board finds that the rear parking area would have a 46'-wide aisle.
3. The Board finds that the townhomes would have a circular drive on S Dewey Ave.
4. The Board finds that the duplex would have a driveway on each S Dewey and Plum St

Exterior lighting shall be arranged as follows:

1. It is deflected away from adjacent properties.
 2. It does not impede the vision of traffic along adjacent streets.
 3. It does not unnecessarily illuminate night skies.
1. The Board finds that exterior lights are required at all exit doors of the dwelling units.

Traffic generation, circulation and parking areas. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area.

5. The Board finds that a 9-unit townhome is proposed on one lot and a duplex on the other.
6. The Board finds that the townhomes would have a circular drive on S Dewey Ave.
7. The Board finds that the duplex would have a driveway on each S Dewey and Plum St.

Architectural plans; existing and proposed structures. The proposed conditional land use shall be designed, constructed, operated, and maintained so to complement the surrounding area. Physical buffers shall be added as needed for neighboring conformance.

1. The Board finds that plans are attached.

Consistency with other plans and statutes. Site plans shall conform to all applicable requirements of City, state and federal statutes and the City of Reedsburg Comprehensive Plan, and approval may be conditioned on the applicant receiving necessary City, state and federal permits.

1. The Board finds that the future use map indicates High-density Residential.

Multi-Family Standards – Section 17.42

- (3) **Standards – General.** In addition to standards applicable to regular subdivisions, no MFRD shall be approved unless the following items have been submitted and approved by the City:
 - (A) A development plan of the project including location and sizes of structures, parking layout, access areas and exterior elevations;
 - (B) A preliminary landscaping plan of the project, indicating types and sizes of landscaping materials and permanent irrigation facilities, prepared by a person licensed by the state to prepare such plans;
 - (C) A preliminary lighting plan of the project, indicating location and nature of exterior lighting and lighting fixtures in common areas;
 - (D) The proposed condominium documents, including those portions of the covenants, conditions and restrictions that apply to the conveyance of units, the assignment of parking and the management of common areas within the project;
 - (E) Preliminary construction plans of any proposed new buildings. For existing buildings proposed to be converted, original construction plans or a set of plans accurately showing existing construction shall be submitted; and
 - (F) Such other information, which the City Engineer determines, is necessary to evaluate the proposed project.
- (4) **Environmental Preservation.** The location and orientation of all buildings shall, whenever feasible, preserve natural features by minimizing the disturbance to the physical environment. Natural features such as trees, waterways, historic landmarks or slopes shall be delineated in the development plan and considered when planning the location and orientation of buildings, open spaces, underground services, walks, paved areas, play areas, parking areas and finished grade elevations.
- (5) **Landscaping.** The following standards shall be met:
 - (A) All setback areas fronting on or visible from an adjacent public street, and all recreation, leisure and open space areas shall be landscaped in accordance with the project plan. Parking lots are allowed in the setback area if approved by the Plan Commission;
 - (B) Decorative design elements, such as fountains, pools, benches, sculpture, planters, exterior recreational facilities and similar elements may be permitted, providing such elements are incorporated as a part of the landscaping plan; and,
- (6) **Lighting.** All on-site lighting systems shall be required on all vehicular access ways and along major walkways. Such lighting shall be directed onto the driveways and walkways within the development and away from the adjacent properties. Lighting shall also be installed within all covered and enclosed parking areas.
- (7) **Lot Coverage.** Lot coverage shall conform to zoning ordinance requirements for the zoning district in which the MFRD project is proposed.
- (8) **Open Space – Common.** The following requirements shall apply:
 - (A) Minimum grass or vegetated open space for MFRD's shall be thirty (30.0%) percent of the parcel being developed.

- (B) Common open space areas shall be designed and located within the project to afford use by all residents of the project. These common areas may include, but are not limited to: game courts or rooms, swimming pools, garden roofs, sauna baths, putting greens, or play lots.
 - (C) Active recreation and leisure areas, except those located completely within a structure, used to meet the open space requirement, shall not be located within fifteen (15) feet of any door or window of a dwelling unit.
 - (D) Private waterways, including pools, streams and fountains, may be used to satisfy not more than fifty (50.0%) percent of the required open space.
- (9) Open Space – Private. Notwithstanding the common open space requirement, each unit may directly access private open space.
- (10) Trash Collection Areas. Trash collection areas shall be provided within two hundred and fifty (250') feet of the units they are designed to serve. Such areas shall be enclosed within a building or screened with masonry or wood walls having a minimum height of five feet. Access gates or doors to any trash area, not enclosed within a building, are to be of opaque material.

690-23

Planned Development Groups.

- (A) Planned development groups shall be permitted in appropriate zones only after specific approval by the Plan Commission and the governing body.
- (B) The application shall show the proposed use or uses, dimensions and locations of proposed structures and of areas to be reserved for vehicular and pedestrian traffic, parking, public uses such as schools, and playgrounds, landscaping, other open spaces, architectural drawings and sketches showing design structures and their relationship, and such other information as may be requested by such bodies for a determination that it is desirable to deviate from certain other provisions of this Ordinance.
- (C) The following regulations shall apply:
 1. Spacing and Orientation of Building Center. Exterior walls of opposite building shall be located no closer than a distance equal to the height of the taller building.
A building group shall not be so arranged that any permanently or temporarily occupied building is inaccessible to emergency vehicles.
 2. Circulation. There shall be an adequate, safe and convenient arrangement of pedestrian circulation facilities, roadways, driveways, off-street parking and loading space. There shall be an adequate amount, in a suitable location, of pedestrian walks, malls and landscape spaces to prevent pedestrian use of vehicular ways and parking spaces and to separate pedestrian walks, malls and public transportation loading places from general vehicular circulation facilities. Buildings and vehicular circulation open spaces shall be arranged so that pedestrians moving between buildings are not unnecessarily exposed to vehicular traffic.
 3. Paving and Drainage. There shall be adequate design of grades, paving, gutters, drainage and treatment of turf to handle storm waters and prevent erosion and formation of dust.
 4. Signs and Lighting. Signs and lighting devices shall be properly arranged with respect to traffic control devices and adjacent residential districts.

STAFF COMMENTS:

- Waivers are needed for the rear setback of the duplex and front setback of the townhomes. And possibly for the amount of green space. Therefore council approval is required thru PDG.
- There is no stormwater indicated on the plan.
- Having the parking in the rear improves the aesthetics.
- Landscaping should be added along the west lot line.
- If the townhomes are divided in the future (zero lot line), then the residential trash & recycling bins can be used.

Exhibit List

- A. City of Reedsburg Comprehensive Plan
- B. Zoning Ordinance, City of Reedsburg, Wisconsin
- C. October 10, 2023, Plan Commission Agenda
- D. Land Use Change Application
- E. Staff Report
- F. Notice of Public Meeting

[BACK TO WORKSPACE](#)

All information saved 11:48 a.m.

[DELETE FORM](#)

Application form Site Plan

All required fields are marked with *

SITE PLAN APPROVAL

[Close ^](#)

Existing Use

Proposed use

Existing Use

Proposed use

SITE PLAN REQUIREMENTS, AS APPLICABLE

[Close ^](#)

Please Select from the following

- ☐ North arrow
- ☐ Location of property lines, dimensions, and setbacks.
- ☐ Location of existing and proposed public roads, rights-of-way and private easements of record.
- ☐ Location of existing water bodies, surface drainage ways, stormwater controls, floodplains, and wetlands
- ☐ Location of existing and proposed buildings.
- ☐ Location of parking areas and all exterior lighting.
- ☐ Location of all loading / unloading areas.

- ☐ Location of all sidewalks, walkways, bicycle paths and areas for public use.
- ☐ Location of all utilities on the site.
- ☐ Location and specifications for all fences, walls, and other screening features.
- ☐ Location and specifications for all existing and proposed perimeter and internal landscaping
- ☐ Location and specifications for screening of all trash receptacles and other solid waste disposal facilities.
- ☐ Location and specifications for proposed signs.
- ☐ Elevation drawings for proposed commercial structures
- ☐ Floor plans, when needed to determine the number of parking spaces required.

**PLEASE DESCRIBE HOW YOUR REQUEST MEETS EACH
OF THE FOLLOWING SITE PLAN STANDARDS, AS
APPLICABLE.**

Close ^

A. Topography and vegetation. The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property, the minimization of tree and soil removal and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.

Please provide more informatoin *

project conforms to all city requirements

B. Stormwater. Special attention shall be given to proper site drainage so that removal of stormwaters will not adversely affect neighboring properties.

Please provide more information *

The project conforms to all requirements

C. Emergency Services. All buildings shall be so arranged as to permit emergency vehicle access by some practical means.

Please provide more information *

The property and utilities are accessible to emergency personnel.

D. Exterior lighting shall be arranged as follows:

- (1) It is deflected away from adjacent properties.
- (2) It does not impede the vision of traffic along adjacent streets.
- (3) It does not unnecessarily illuminate night skies.

Please provide more information *

The lighting meets all requirements.

E. Traffic generation, circulation and parking areas. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area.

Please provide more information *

Parking and traffic does not impede on existing patterns.

F. Architectural plans; existing and proposed structures. The proposed conditional land use shall be designed, constructed, operated, and maintained so to complement the surrounding area. Physical buffers shall be added as needed for neighboring conformance.

Please provide more information *

The architectural design meets all requirements.

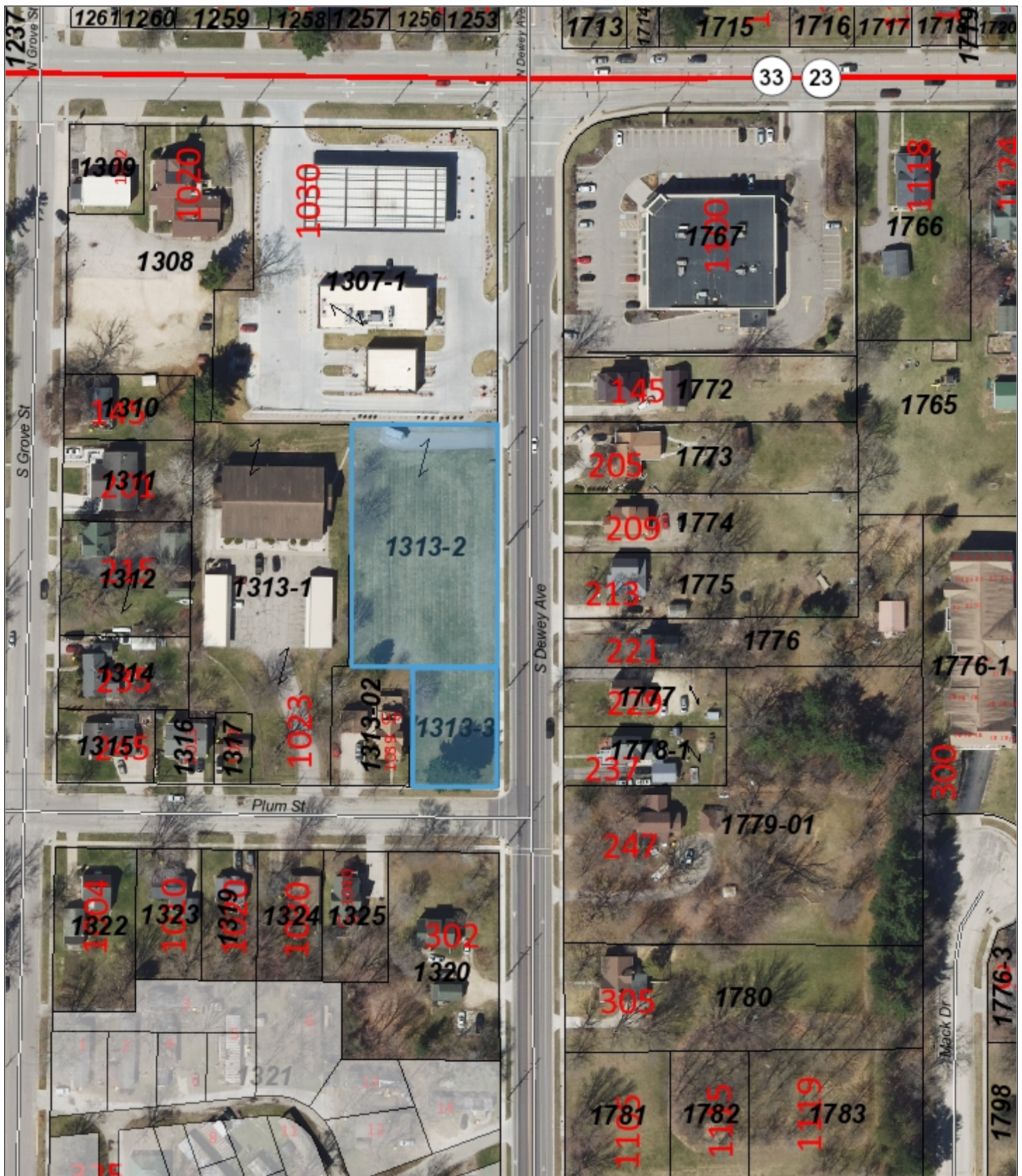
G. Consistency with other plans and statutes. Site plans shall conform to all applicable requirements of City, state and federal statutes and the City of Reedsburg Comprehensive Plan, and approval may be conditioned on the applicant receiving necessary City, state and federal permits.

Please provide more information *

The project improves the land value and provides affordable housing options for t

Back to top 

release/231004 (90334cd608c5ee381c58e802a1583f890835465d) 2023-10-05T11:32:33.167Z (9)



City of Reedsburg GIS

DISCLAIMER: The City of Reedsburg does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

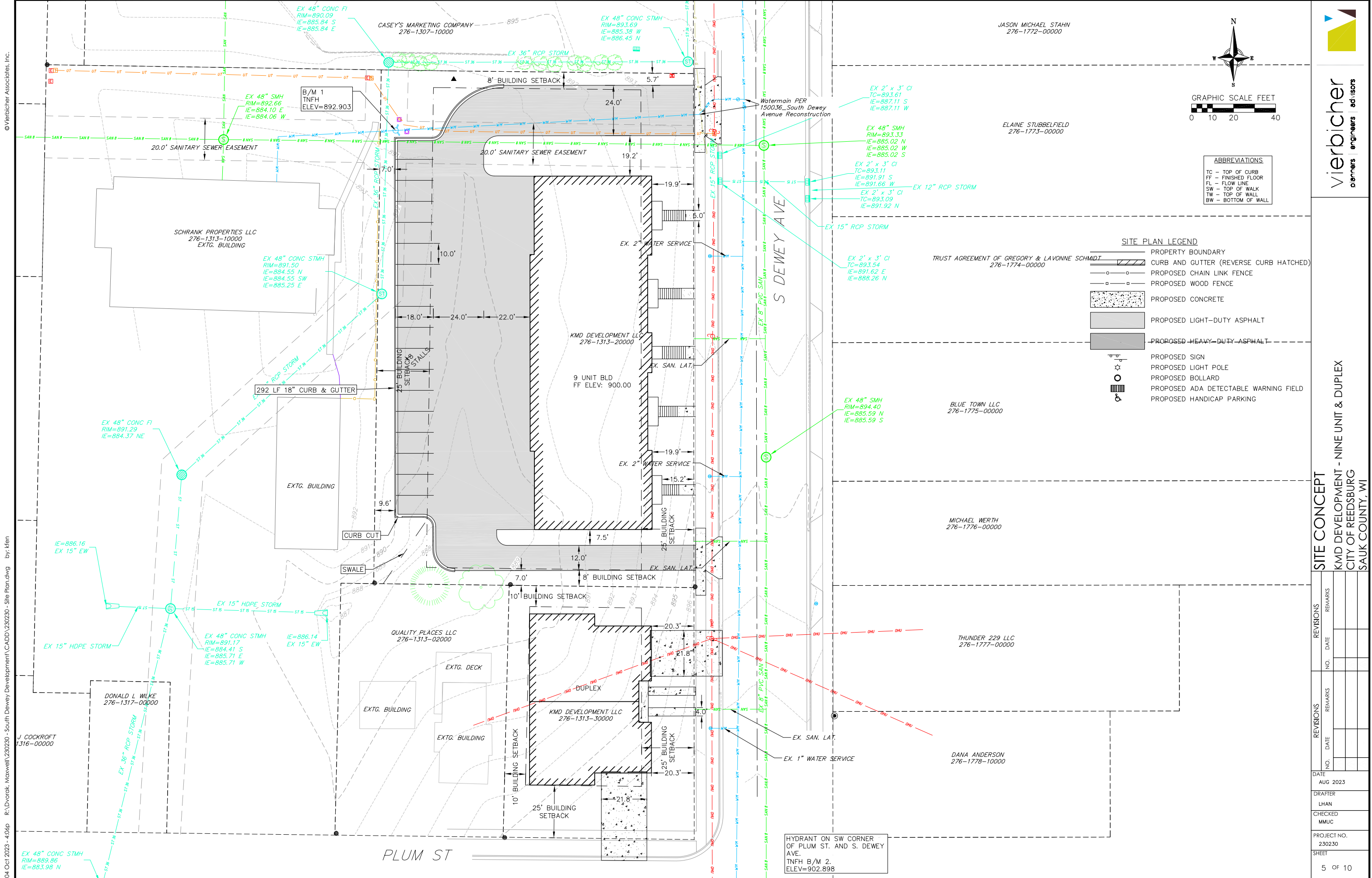


SCALE: 1" = 139'

CITY OF REEDSBURG

134 S. Locust Street
PO Box 490
Reedsburg, WI 53959
608-524-6404

Print Date: 10/5/2023



04 Oct 2023 - 4:06p R:\Dwork\Maxwell\230230 - South Dewey Development\CADD\230230 - Site Plan.dwg by: klen



vierbicher
planners engineers advisors

SITE CONCEPT
KMD DEVELOPMENT - NINE UNIT & DUPLEX
CITY OF REEDSBURG
SAUK COUNTY, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

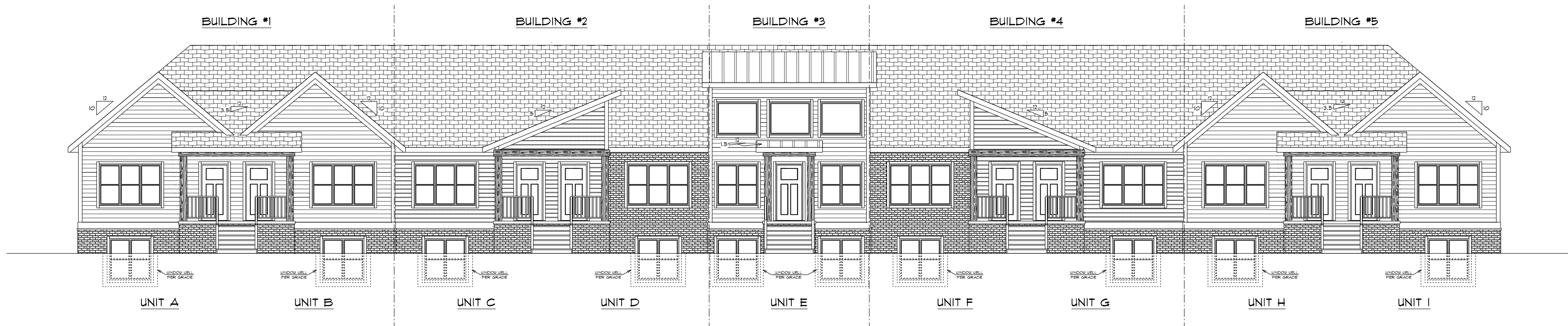
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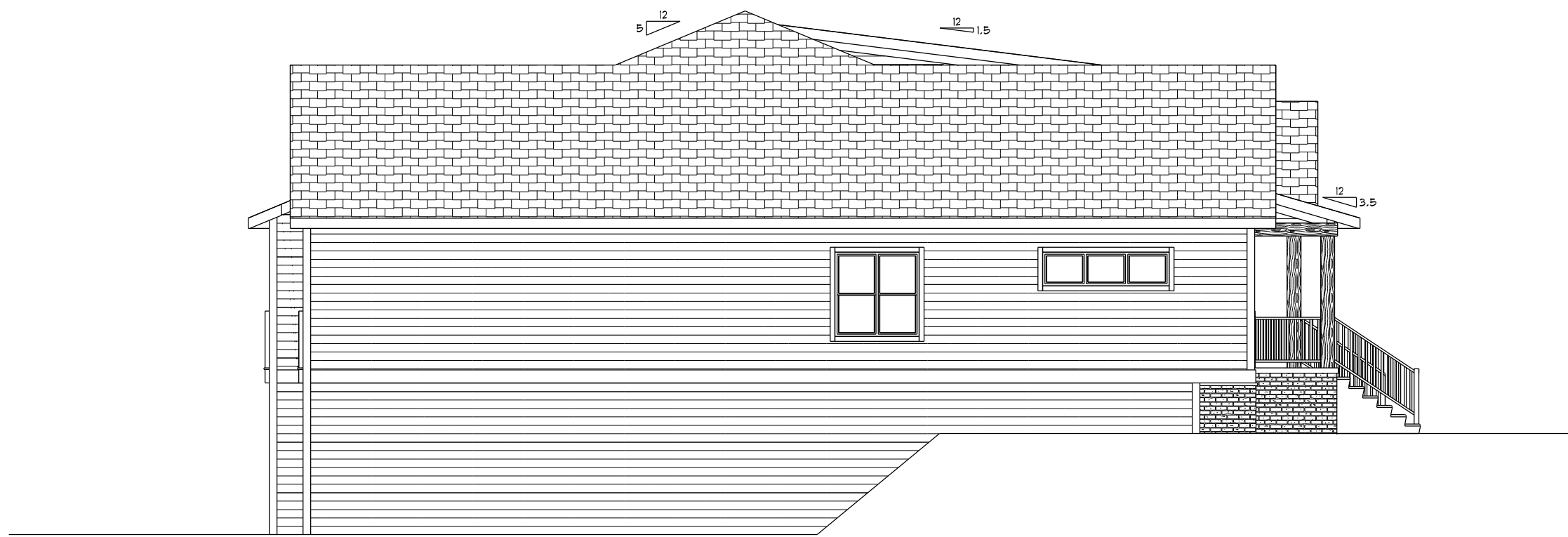
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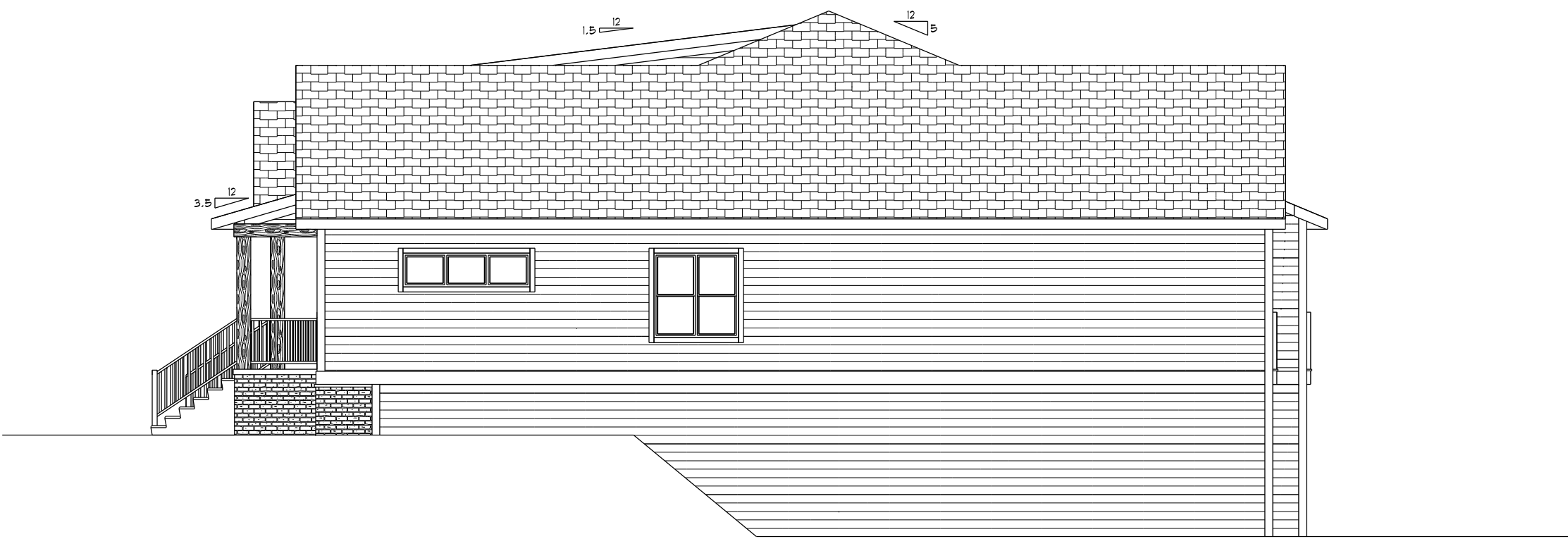
SHEET
5 OF 10



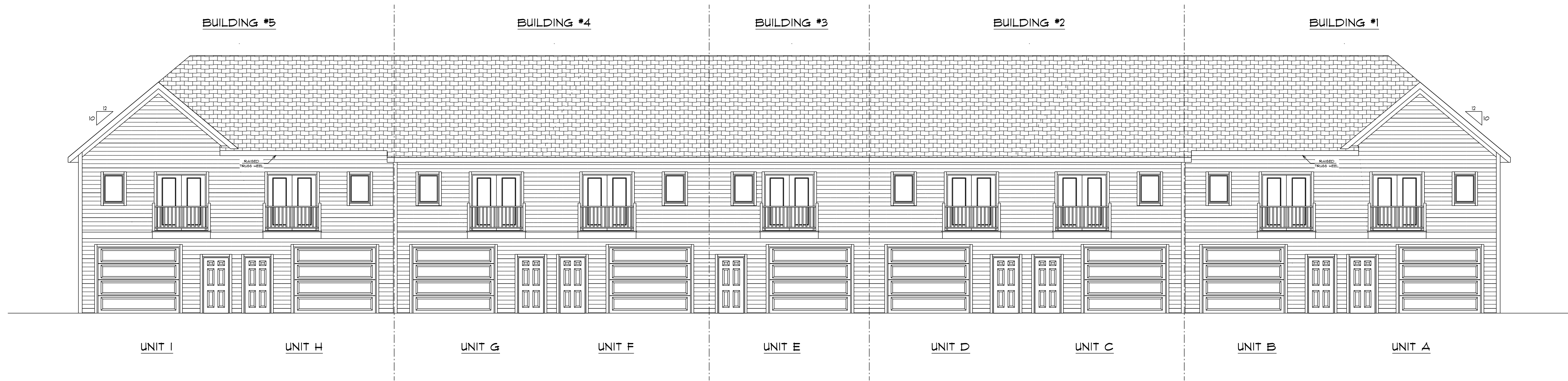
FRONT ELEVATION
SCALE : 1/8" = 1'-0"



LEFT ELEVATION
SCALE : 1/8" = 1'-0"

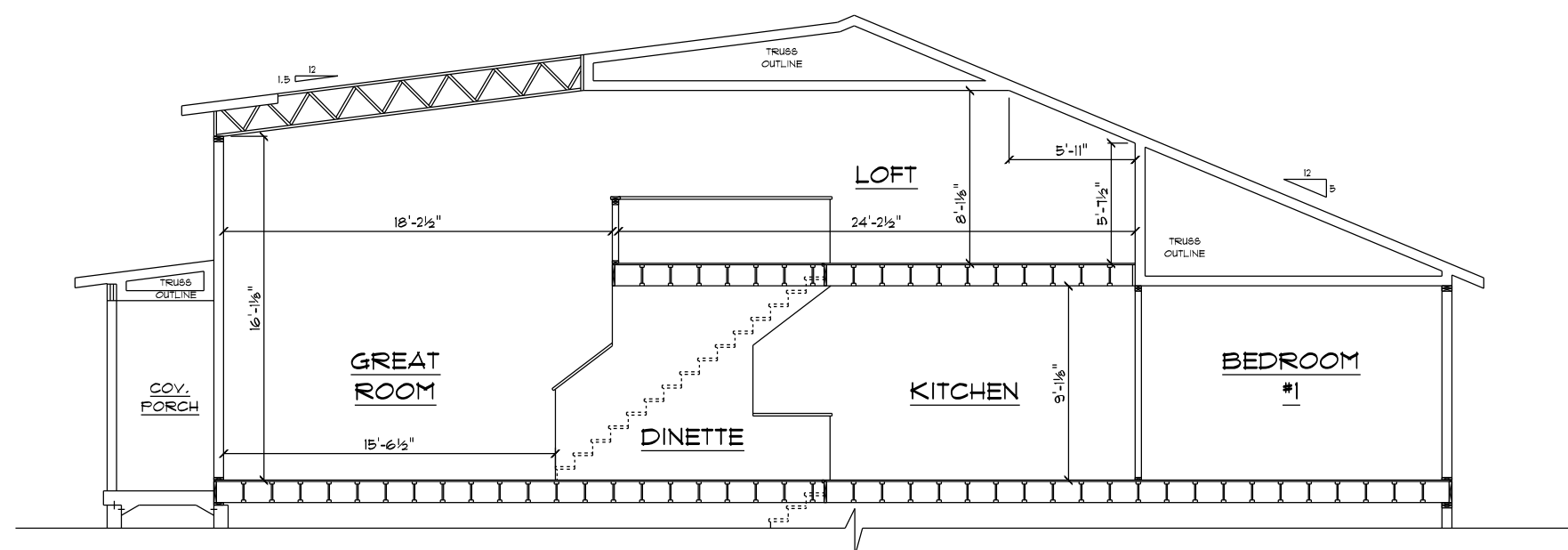


RIGHT ELEVATION
SCALE : 1/8" = 1'-0"

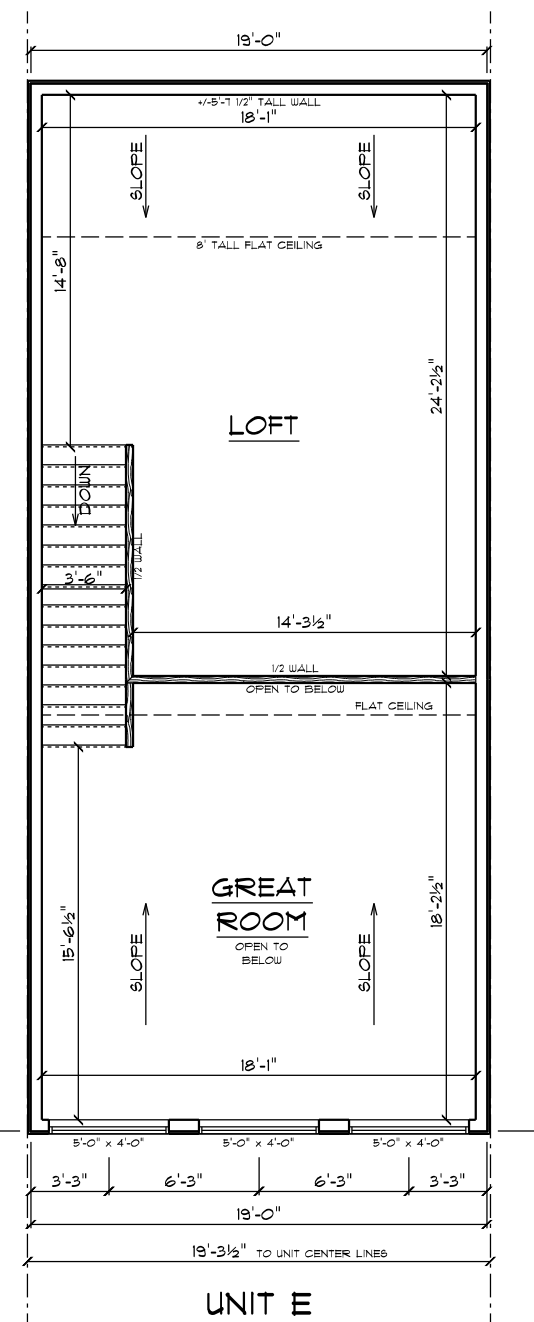


REAR ELEVATION
SCALE : 1/8" = 1'-0"

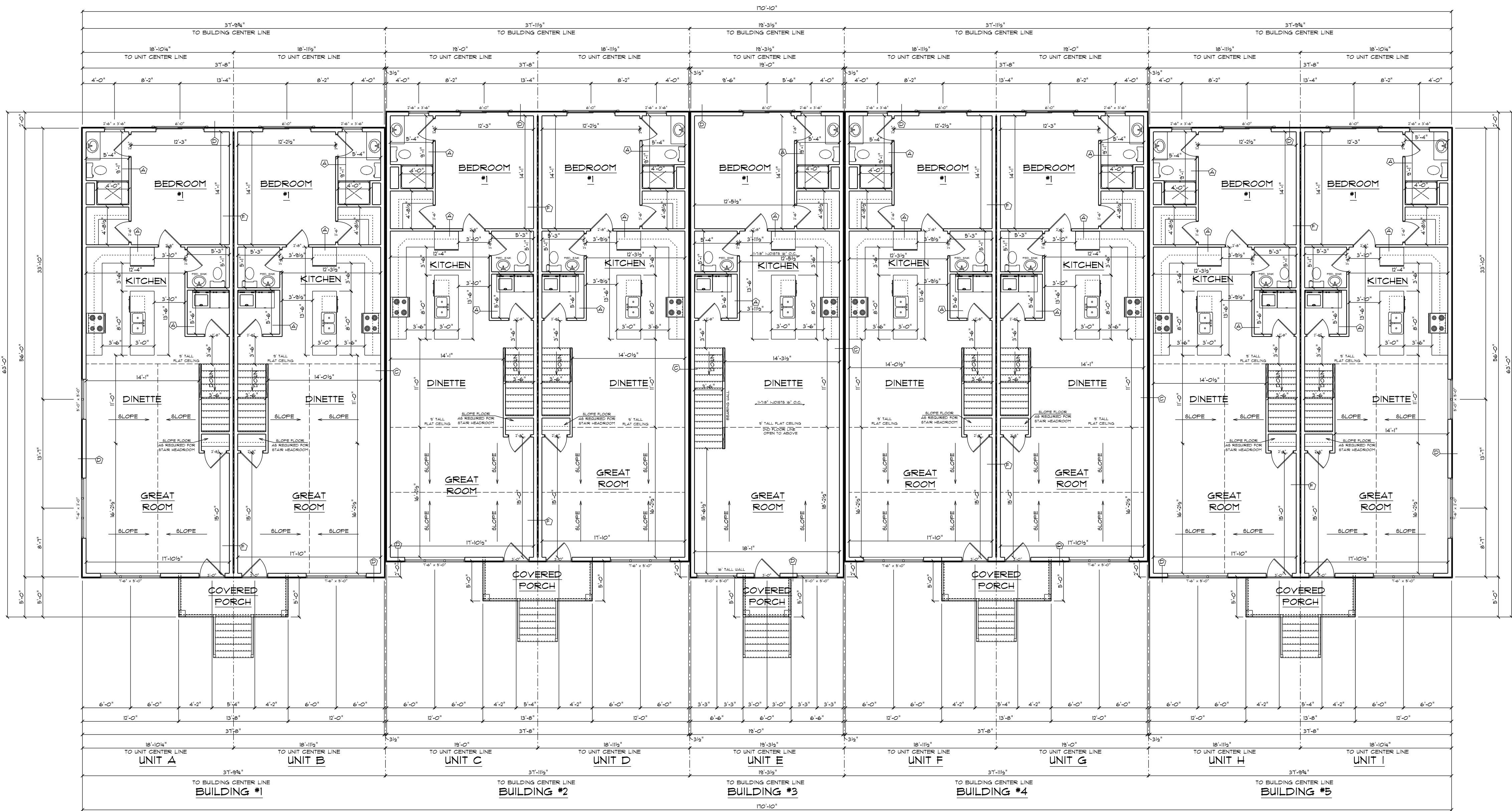
THIS PLAN WAS CREATED AS A DRAFTING SERVICE ONLY. IN ADDITION TO AND WITHOUT LIMITING ANY AGREED CONTRACT TERMS, THE DESIGNER IN NO WAY EXPRESSES OR ASSUMES ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLIANCE OF THESE PLANS IN ANY FORM.
ALL TALL WALLS GREATER THAN 10'-0" TO BE ENGINEERED BY MATERIAL SUPPLIER.



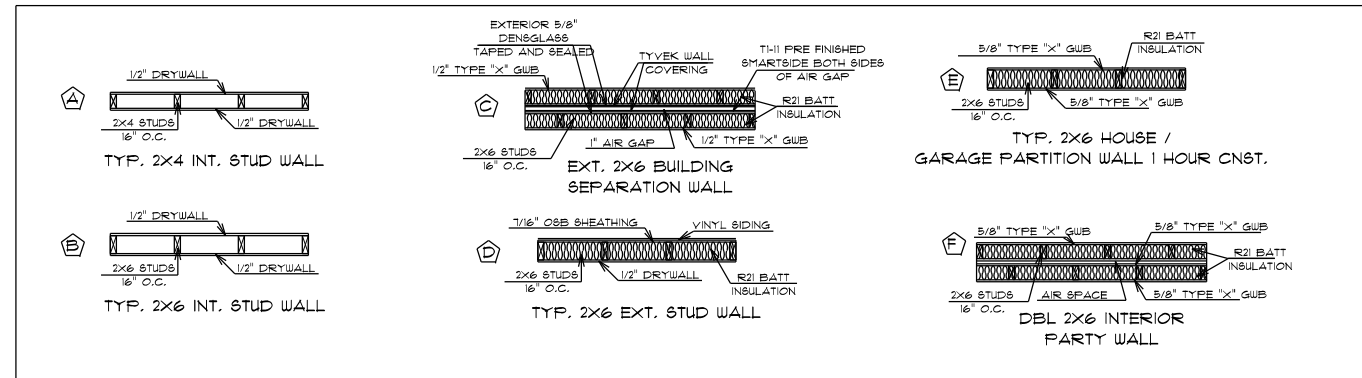
UNIT E CROSS SECTION
NOT TO SCALE



LOFT FLOOR PLAN
SCALE: 1/8" = 1'-0"
UNIT E: 428 SQFT FINISHED AREA



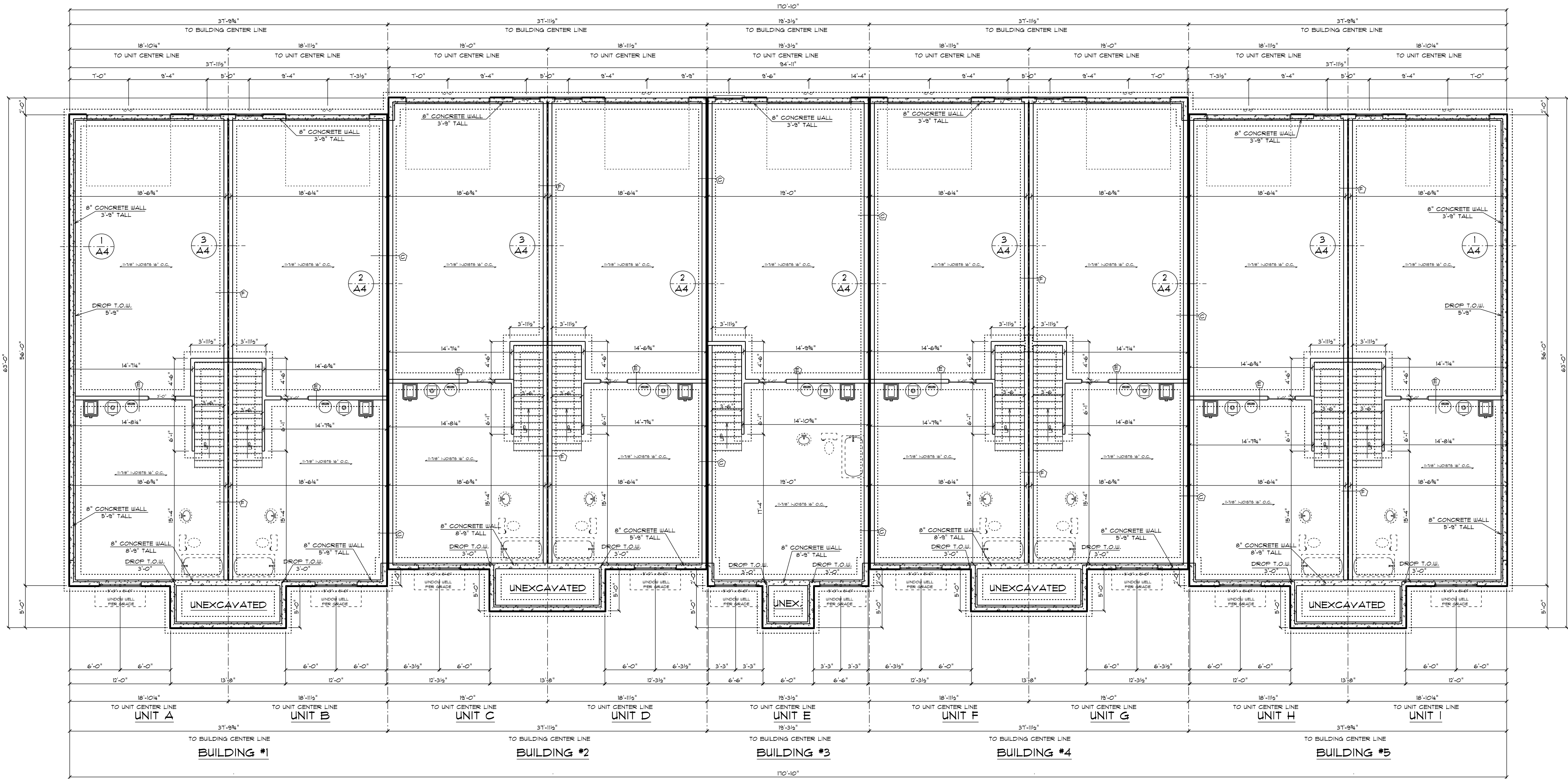
FIRST FLOOR FLOOR PLAN
SCALE: 1/8" = 1'-0"
1052 SQFT FINISHED AREA UNITS A-D, F-I
1102 SQFT FINISHED AREA UNIT E



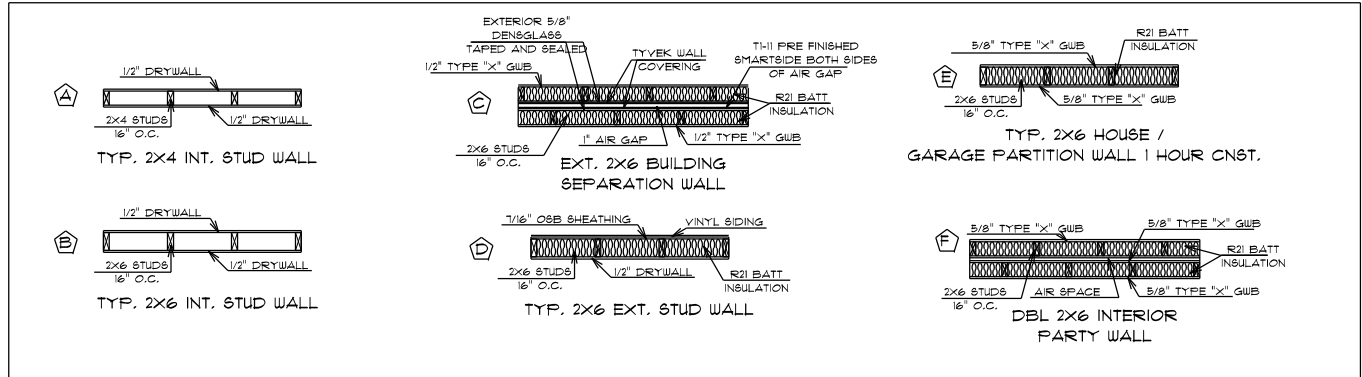
WALL TYPES

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FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



WALL TYPES

A3

AMERICAN DESIGN CONCEPTS

1334 APPLEGATE, MADISON WI 53713 (608) 273-0710 AMERICANDESIGNCONCEPTS.COM

KMD DEVELOPEMENT

DEWEY AVE 9-UNIT

FOUNDATION PLAN

SCALE: 1/8" = 1'

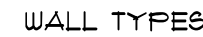
PLAN START DATE 06/7/23

REVISED 08/17/23

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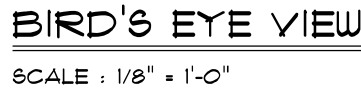
KMD DEVELOPMENT
DEWEY AVE 9-UNIT

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A4

ALL TALL WALLS GREATER THAN 10'-0" TO
BE ENGINEERED BY MATERIAL SUPPLIER.



A5

AMERICAN DESIGN CONCEPTS

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KMD DEVELOPMENT

DEWEY AVE 9-UNIT

BIRD'S EYE VIEW

SCALE: 1/8" = 1'

PLAN START DATE 06/27/23

REVISÉD 08/17/23

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ORDINANCE NO. 19XX-23
(Zoning Change – 420 Plum Street; parcel #276-1640-20000)

The City of Reedsburg, Sauk County, Wisconsin, does hereby ordain as follows:

SECTION I: PURPOSE.

Consider rezoning property from R-3 Residential to B-3 Business.

SECTION II: PROVISION AMENDED.

The zoning map for the City of Reedsburg as set forth in the official map provided for in the Ordinances for the City of Reedsburg is hereby permanently amended so as to zone the territory listed below in the manner set forth below.

SECTION III: PROPERTY ZONING

Lot 1 of Parcel 276-1640-20000, Reedsburg, Wisconsin, is hereby zoned B-3 Business.

A property map may be obtained or accessed from the City Clerk at Reedsburg City Hall, 134 S. Locust St, Reedsburg, WI; (608) 524-6404; www.reedsburgwi.gov .

SECTION IV: VALIDITY.

Should any section, clause or provision of the ordinance be declared by the courts to be invalid, the same shall not affect the validity of the ordinance as a whole or any part thereof, other than the part so declared to be invalid.

SECTION V: CONFLICTING PROVISIONS REPEALED.

All ordinances in conflict with any provisions of this ordinance are hereby repealed.

SECTION VI: EFFECTIVE DATE.

This ordinance shall be in force from and after its introduction and publication as provided by statute.

SECTION VII: PART OF CODE:

This Ordinance becomes part of the City of Reedsburg Code, Chapter 690.

Dated this 27th day of November 2023.

David G. Estes, Mayor

Jacob Crosetto, Clerk/Treasurer

1st Reading at Council:
Public Hearing Noticed:
2nd Reading at Council/Public Hearing:
Published, Enactment Date:

October 23, 2023
November 2 & November 9, 2023
November 27, 2023
December 7, 2023

City of Reedsburg Land Use Application

134 S. Locust St.
PO Box 490
Reedsburg, WI 53959

Ph: 608-524-6404
Fax: 608-524-8458
bduvalle@ci.reedsburg.wi.us

APPLICANT: South School Estates Dan Nebacts

ADDRESS: 420 Plum St CITY: Reedsburg STATE: WI

ZIP: 53959 PHONE: 608 963-4082 PARCEL #: 1640-2

E-MAIL: Dan @ DCI Reedsburg . com

PROPERTY OWNER: (if different from Applicant) _____

LOCATION: (if different from address above) 420 Plum St

LAND USE REQUEST

(Please describe one or more as applicable – attach extra pages/maps if necessary)

☐ **Certified Survey Map (CSM):** _____

☐ **Conditional Use Permit:** _____

For **CONDITIONAL USE PERMIT** requests, also answer "A, B & C" on back page.

☐ **Preliminary Plat:** _____ **Final Plat:** _____ **Name of Plat:** _____

☒ **Rezoning - From:** R-3 **To:** B-3 **TID #** _____

☐ **Site Plan Review:** (See "B & C" on back page) _____

☐ **Zoning Appeal / Interpretation:** _____

☐ **Zoning Variance:** _____

For **VARIANCE** requests, also answer "D" on back page.

☐ **Other or Annexation:** _____

AFFIDAVIT

I certify that the information and plans submitted are true and accurate to the best of my knowledge. I also give permission to City zoning officials to enter my property for inspection purposes and for a temporary Zoning sign to be placed in my yard prior to the meeting.

Dan [Signature] 12/15/23
Applicant Signature / Date

Dan [Signature] 12/15/23
Owner Signature / Date

Account #10-461500-00

**The applicant or representative
MUST ATTEND the meeting(s).**

Cond Use Permit	\$200	_____
Cond Use-Agriculture	\$400	_____
Variance	\$125	_____
Rezoning	\$200	_____
C.S.M.	\$175	_____
Subdivision Plat	\$610	_____
- w/ Stormwater Plan	\$100	_____
Site Plan Review	\$175	_____
Annexation	\$200	_____
Plan Amend	\$200	_____
Date Paid		_____
Receipt #		_____

Staff Report

DATE: 10/10/23

APPLICANT: City of Reedsburg

LOCATION: 420 Plum St; Parcel #276-1640-20000

ZONING: R-3 Multi-family Residential

DESCRIPTION OF PROPERTY/IMPROVEMENTS: Rezone parcel to B-3 Business. The applicant wishes to add future commercial tenants to the building. The R-3 zone as done back when the original re-development was to be solely multi-family residential.

General Findings

SURROUNDING LAND USES:

- North – Residential
- West – Residential
- South – Residential
- East – Residential

ZONING:

- North – R-1 Residential
- West – R-1 Residential
- South – R-1 Residential
- East – R-1 Residential; Government

TOPOGRAPHY: Flat slopes

STREET R.O.W./TRAFFIC/ACCESS: Plum/S Park/S Locust St; 66' ROW

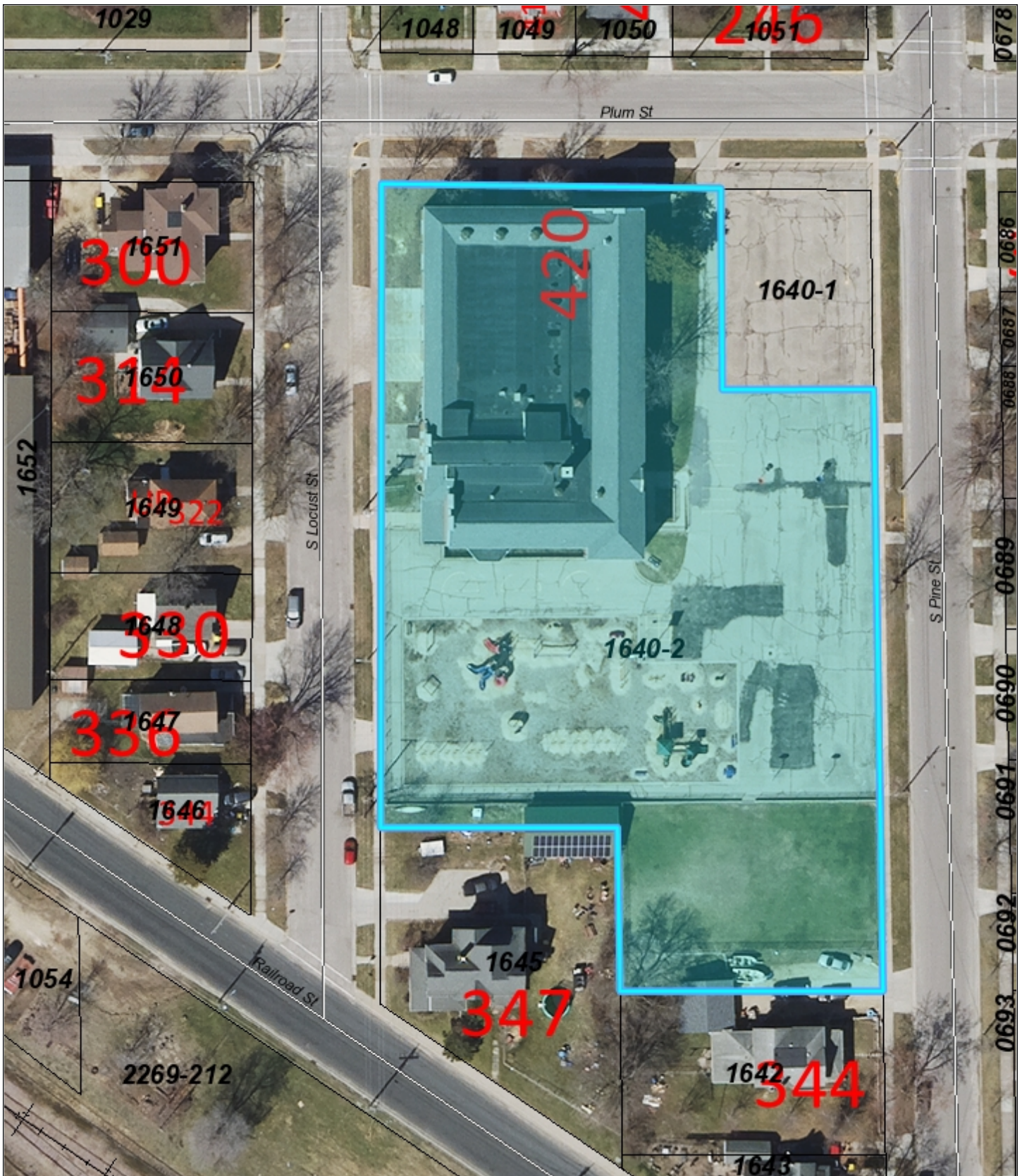
ENVIRONMENTAL HAZARDS/CONDITIONS: None known

COMPREHENSIVE PLAN DESIGNATION: Government & Institutional

STAFF COMMENTS: There is an existing office being used in the building, and a proposal to add a commercial kitchen as well. Therefore to add commercial tenants to the building, the property needs to be rezoned first. If approved, any commercial use would then require a CUP and most likely DSPS review.

Exhibit List

- A. City of Reedsburg Comprehensive Plan
- B. Zoning Ordinance, City of Reedsburg, Wisconsin
- C. October 10, 2023, Plan Commission Agenda
- D. Land Use Change Application
- E. Staff Report
- F. Notice of Public Meeting



City of Reedsburg GIS

DISCLAIMER: The City of Reedsburg does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 69'

CITY OF REEDSBURG

134 S. Locust Street
PO Box 490
Reedsburg, WI 53959
608-524-6404

Print Date: 10/2/2023