

Industrial & Commercial Development Commission (RICDC) Agenda
November 2, 2022
Reedsburg City Hall Council Chambers
12:00 PM

DUE TO THE RESTRICTIONS CAUSED BY THE COVID-19 PANDEMIC, SOME VOTING MEMBERS MAY BE PRESENT VIA TELECONFERENCE OR VIDEO CONFERENCE, AS PROVIDED BY THE RECOMMENDATIONS OF THE WISCONSIN DEPARTMENT OF JUSTICE. [HTTPS://WWW.DOJ.STATE.WI.US/NEWS-RELEASES/OFFICE-OPEN-GOVERNMENT-ADVISORY-CORONAVIRUS-DISEASE-2019-COVID-19-AND-OPEN-MEETINGS](https://www.doj.state.wi.us/news-releases/office-open-government-advisory-coronavirus-disease-2019-covid-19-and-open-meetings)

NOTICE IS HEREBY GIVEN THAT A MAJORITY OF THE MEMBERS OF THE COMMON COUNCIL MAY ATTEND THIS MEETING TO GATHER INFORMATION ABOUT A SUBJECT OVER WHICH THE COMMON COUNCIL HAS DECISION-MAKING AUTHORITY. IF A QUORUM OF THE COMMON COUNCIL ATTENDS THIS MEETING, NO ACTION WILL BE TAKEN BY THE COMMON COUNCIL AT THIS MEETING.

CALL TO ORDER

APPROVAL OF MINUTES

I. APPROVE MINUTES FOR THE MEETING HELD ON JANUARY 19, 2022:

THE COMMITTEE WILL RECEIVE INFORMATION ON NON-AGENDA TOPICS BROUGHT BEFORE THE COMMITTEE BY MEMBERS OF THE PUBLIC. THE COMMITTEE WILL NOT DISCUSS THESE TOPICS, AND WILL NOT TAKE ACTION ON ANY OF THEM AT THIS MEETING

I. GENERAL BUSINESS:

- A. Consider site plan for new 16,561 square foot storage addition to Cellox – 1200 Industrial Dr; Parcel #2091
- B. Discuss the Business Breakfast scheduled for Nov 11th.
- C. Discuss the Business Retention & Expansion Survey results.
- D. Discuss the School-to Work initiative.
- E. Update on the Viking Drive extension & Airport Master Plan amendment.
- F. Update on workforce housing activities
- G. Update on projects.

II. ADJOURN:



The City of Reedsburg does not discriminate on the basis of disability in the admissions or access to, or treatment of or employment in, its programs or activities. Disability-related aids or services, including printed information in alternate formats, to enable persons with disabilities to participate in public meetings and programs are available by calling (608) 524-6404. To be able to meet the needs of a request for a different format contact the City Clerk-Treasurer at 134 S. Locust Street, Reedsburg, WI at least 48 hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

Reedsburg Industrial & Commercial Development Commission

Meeting Minutes

January 19, 2022

Meeting called to order by Chair Kurt Muchow at 12:00 PM in Reedsburg City Hall.

Present: Alder Dave Knudsen, Ryan Bohen, Blaine Albert, Jay Brunken

Absent: Alder Mike Gargano, Dan DeBaets

Staff: Tim Becker, Brian Duvalle

Motion by Knudsen, seconded by Albert to approve the 12/15/2021 minutes.

Motion Approved

Review and consider approval of Holiday Inn Express Hotel Memorandum of Understanding.

Bjorn Kaashagen from the development group stated that there is a need for a new hotel as business is leaving to nearby communities. The proposed hotel is a Holiday Inn Express with four stories and 83 rooms. It would cost \$10M with a tax base of \$6M. It would help with RCC for events and the slower winter months and also help with the proposed indoor sports center. Most financing has been raised including local investors.

Muchow discussed extending the water/sewer/street, using TID 9 funds, and incorporating a 10% pay-go which would total \$600,000. Discussion on this being an important start to development across Golf Course Rd to the east.

Motion by Knudsen, seconded by Albert to recommend approval of the MOU to Council.

Motion Approved

Update on the Business Retention & Expansion Survey.

Muchow stated there are so far 72 responses. They are looking to UWEX for help with analysis.

Update on commercial and industrial development projects.

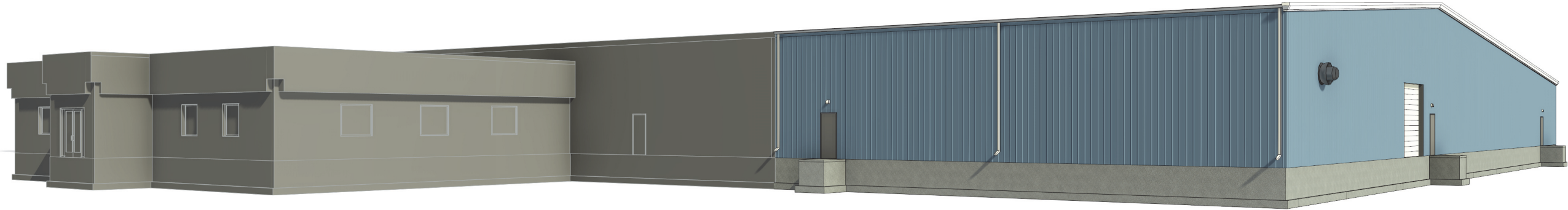
Discussion held on recent neighbor comments on Riffey Transload. Most comments heard have been positive.

Motion by Brunken, seconded by Bohen to adjourn at 12:28 PM.

Motion Approved

Respectfully submitted,

Brian Duvalle
Planning/Building

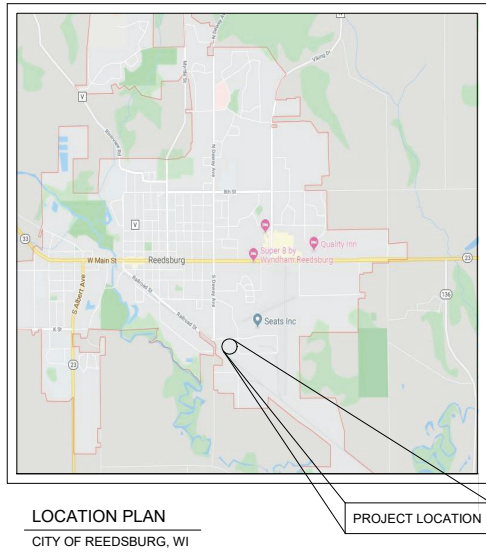
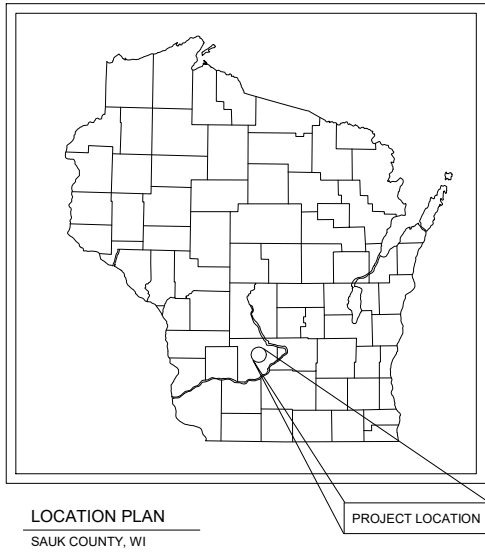


2022 CELLOX FACILITY ADDITION

1200 INDUSTRIAL STREET
CITY OF REEDSBURG
SAUK COUNTY, WI

SUBMITTAL TYPE	NEW CONSTRUCTION/ ADDITION
PRIMARY OCCUPANCY TYPE	F1
SECONDARY OCCUPANCY TYPE	N/A
OCCUPANCY SEPARATIONS	N/A

PROJECT AREA	16,561 SQ. FT.
FLOOR LEVELS	1
CONSTRUCTION CLASS	IIB
SPRINKLER PROTECTION	COMPLETE NFPA 13



OWNER
CELLOX LLC C/O TIM GOTZION 1200 INDUSTRIAL STREET REEDSBURG, WI P. (608) 846-1531

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
GENERAL -	
G1.0	TITLE SHEET
CIVIL -	
C1.0	EXISTING CONDITIONS
C2.0	PROPOSED SITE PLAN
C2.1	PROPOSED NEW ADDITION
C3.0	MISC. SITE DETAILS
ARCHITECTURAL -	
A1.0	FIRST FLOOR PLAN
A1.1	ADDITION FLOOR PLAN
A2.0	EXTERIOR ELEVATION
A2.1	EXTERIOR ELEVATION

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
A3.0	BUILDING SECTIONS
A3.1	BUILDING SECTIONS
A4.0	SCHEDULES
A5.0	ADA DETAILS
A6.0	PERSPECTIVE VIEWS
STRUCTURAL -	
S0.0	STRUCTURAL NOTES
S1.0	FOUNDATION PLAN
S1.1	BASE PLATE LAYOUT
S1.2	FOUNDATION DETAILS
S1.3	FOUNDATION DETAILS
S1.4	FOUNDATION DETAILS
S2.0	ROOF FRAMING PLAN
S3.0	MISC. FRAMING DETAILS

BUILDING DESIGN CRITERIA

- CODE COMPLIANCE PER 2018 WISCONSIN COMMERCIAL BUILDING CODE (WCBC) (2015 IBC - CODES) ENERGY COMPLIANCE PER IECC 2015
- BUILDING ENVELOPE REQUIREMENTS: CODE COMPLIANCE PER 2018 WISCONSIN COMMERCIAL BUILDING CODE (WCBC) (2015 IBC - CODES) CONDITIONED SPACE PER ASHRAE 90.1 (2013). MTL BUILDING ROOF (U=0.049) SPS 363.0402 MTL BLDG WALL (U=0.069) SPS 363.0402 DOORS, SWINGING (U=0.50) SPS 363.0403 DOORS, NON SWINGING (U=0.31)
- PROVIDED THERMAL ENVELOPE: MTL BUILDING ROOF R25+R11 LS. SSR (U=0.031) MTL BUILDING WALL R30 (0.052) W/ THERMAL SPACER BLOCKS
- OCCUPANCY TYPE F1 - FACTORY = 16,561 SF (ADDITION)
- CONSTRUCTION CLASSIFICATION - IIB METAL FRAME BUILDING
- BUILDING ALLOWABLE AREA
 - IBC 507.4 UNLIMITED AREA BUILDINGS
 - IBC F1 OCCUPANCY
 - COMPLETE NFPA 13 SPRINKLER SYSTEM
 - 60 FOOT PUBLIC WAYS OR YARDS
 - ONE STORY
- OCCUPANT LOAD FACTORY ADDITION = 15 EMPLOYEES
- TOTAL = 70 OCCUPANTS (INCLUDING EXISTING BLDG.)
- BUILDING IS PROTECTED WITH A COMPLETE NFPA 13 FIRE SPRINKLER SYSTEM

ABBREVIATIONS

EOP = EDGE OF PAVEMENT	MFG. = MANUFACTURER
BOC = BACK OF CURB	DIM. = DIMENSION
EOSW = EDGE OF SIDEWALK	SPF = SPRUCE PINE FUR
TOF = TOP OF FOOTING	DF = DOUGLAS FIR
FFE = FIRST FLOOR ELEVATION	SP = SOUTHERN PINE
TOW = TOP OF WALL	CONC. = CONCRETE
SFE = SECOND FLOOR ELEVATION	WWF = WIRE WELDED FABRIC
ELEV. = ELEVATION	OC = ON CENTER
RO = ROUGH OPENING	EW = EACH WAY
BM = BENCHMARK	EF = EACH FACE
SQ. FT. = SQUARE FEET	WH = WATER HEATER
DIA. = DIAMETER	DW = DISHWASHER
TYP. = TYPICAL	REF. = REFRIGERATOR
HM = HOLLOW METAL	FRZ. = FREEZER
SS = STAINLESS STEEL	FTG. = FOOTING
ALUM. = ALUMINUM	PC = PRECAST
IBC = INTERNATIONAL BUILDING CODE	OHD = OVERHEAD DOOR
WD = WOOD	T/O = TOP OF
MTL. = METAL	GALV. = GALVANIZED
HSS = HOLLOW STEEL STRUCTURE	BRG. = BEARING
STL. = STEEL	OH = OVERHANG
OFOI - OWNER FURNISHED OWNER INSTALLED	

SEAL

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

ARCHITECTURAL LEGEND

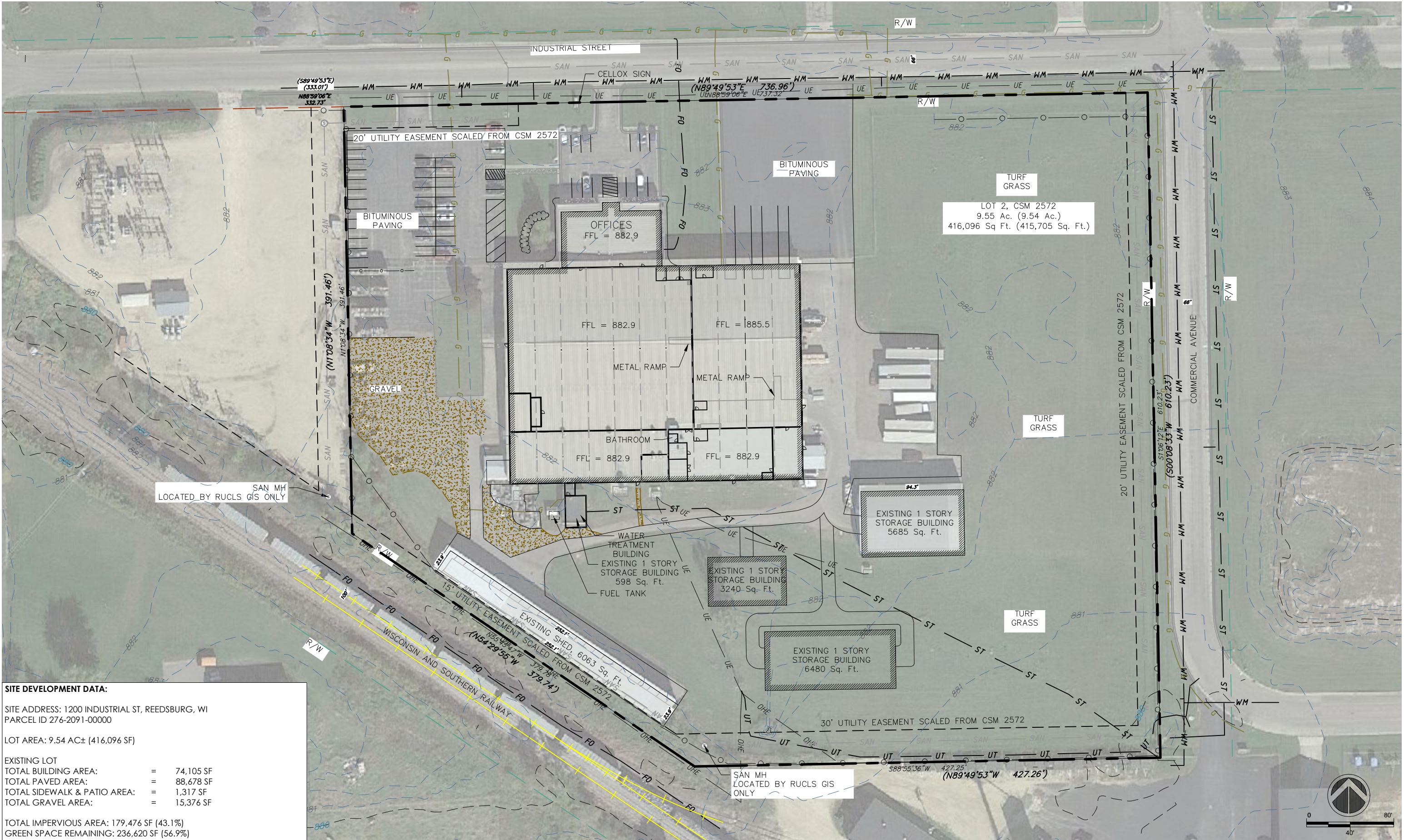
	SECTION NO. SHEET NO.	BUILDING SECTION
	SECTION NO. SHEET NO.	WALL SECTION
	DETAIL NO. SHEET NO.	ENLARGED DETAIL
	DETAIL NO. SHEET NO.	ELEVATION DETAIL
	LABEL NO.	WINDOW LABEL
	LABEL NO.	WALL LABEL
	LABEL NO.	DOOR LABEL
	DETAIL NO. SCALE: AS SHOWN	SHEET TITLE
	ROOM LABEL ROOM NO.	ROOM LABEL
	ROOM DIM	
	9'-0"± DROP CLG	VERTICAL ELEV.
		COMBO EXIT SIGN & EMERGENCY LIGHT
		EMERGENCY LIGHT
		EXIT DIRECTION
	*FE	FIRE EXTINGUISHER

CIVIL LEGEND

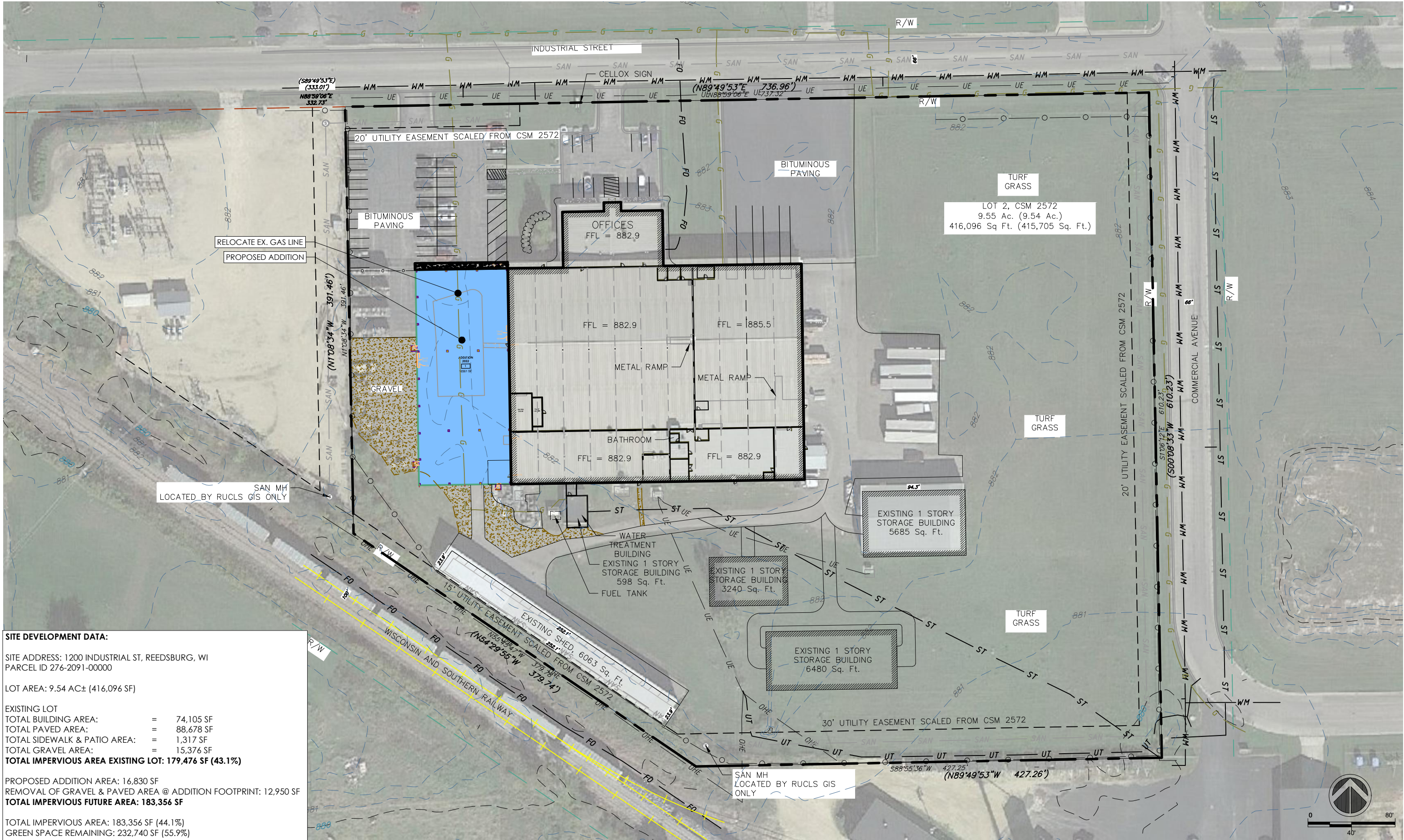
	EXISTING MANHOLE
	PROPOSED MANHOLE
	EXISTING HYDRANT
	PROPOSED HYDRANT
	VALVE
	CURB STOP
	WELL
	PROPERTY CORNER
	LIGHT POLE
	POWER/TELEPHONE POLE GUY WIRE
	UTILITY PEDESTAL
	SIGN
	SOIL BORING
	MONITORING WELL
	MAILBOX
	POTENTIAL HAZARD
	BENCH MARK
	DECIDUOUS TREE
	CONIFEROUS TREE
	ACCESSIBILITY SYMBOL

	DIGGERS HOTLINE NOTE
	To Obtain Location of Participants Underground Facilities Before You Dig in Wisconsin CALL DIGGERS HOTLINE 1-800-242-8511 Wis Statute 182.0175 (1974) Require Min. 3 Work Days Notice Before You Excavate

PROJECT:	ADDRESS:	SHEET NAME:	REVISION:	PROJECT NO:	RES ROUSSEV ENGINEERING SOLUTIONS, LLC	SHEET #
2022 CELLOX ADDITION CELLOX LLC	1200 INDUSTRIAL STREET, REEDSBURG, WI	TITLE SHEET	REVISIONS NO. BY DATE	0522-19	406 Windy Peak Rd • Verona, WI 53593 608-620-3036 (Office) • svt@rousseveengineering.com	G1.0



SITE DEVELOPMENT DATA:		
SITE ADDRESS: 1200 INDUSTRIAL ST, REEDSBURG, WI		
PARCEL ID 276-2091-00000		
LOT AREA: 9.54 AC± (416,096 SF)		
EXISTING LOT		
TOTAL BUILDING AREA:	=	74,105 SF
TOTAL PAVED AREA:	=	88,678 SF
TOTAL SIDEWALK & PATIO AREA:	=	1,317 SF
TOTAL GRAVEL AREA:	=	15,376 SF
TOTAL IMPERVIOUS AREA: 179,476 SF (43.1%)		
GREEN SPACE REMAINING: 236,620 SF (56.9%)		



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TOTAL GRAVEL AREA:	= 15,376 SF
TOTAL IMPERVIOUS AREA EXISTING LOT: 179,476 SF (43.1%)	
PROPOSED ADDITION AREA: 16,830 SF	
REMOVAL OF GRAVEL & PAVED AREA @ ADDITION FOOTPRINT: 12,950 SF	
TOTAL IMPERVIOUS FUTURE AREA: 183,356 SF	
TOTAL IMPERVIOUS AREA: 183,356 SF (44.1%)	
GREEN SPACE REMAINING: 232,740 SF (55.9%)	

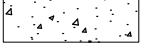
EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF LAND DISTURBING CONSTRUCTION ACTIVITIES UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CITY EROSION CONTROL AND STORMWATER ORDINANCE AND THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
3. CLEANING RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY WITHOUT HYDRAULIC FLUSHING.
4. RESTORATION RESTORATION SHALL BE COMPLETED AS NOTED IN THE CONSTRUCTION SCHEDULE UNLESS OTHERWISE AUTHORIZED BY THE CITY.
5. INSPECTION THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND A DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
6. STONE TRACKING PAD. BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD AT EACH POINT WHERE VEHICLES ENTERS/EXITS THE CONSTRUCTION SITE. STONE TRACKING PADS SHOULD BE AT LEAST 24 FEET WIDE AND 50 FEET LONG, AND CONSTRUCTED OF 3-6 INCH WASHED STONE WITH A DEPTH OF AT LEAST 12 INCHES. ON SITES WITH CLAY SOILS, TONE TRACKING PADS MUST BE UNDERLAIN WITH A GEOTEXTILE LINER TO PREVENT THE STONE FROM SINKING INTO THE SOIL.
7. INLET PROTECTION. ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH TYPE D INLET PROTECTION OR APPROVED EQUAL. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT.
8. EROSION MAT. AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 4H:1V SHALL BE STABILIZED WITH WISCONSIN DOT CLASS 1, URBAN, TYPE B, EROSION MAT.
9. TEMPORARY EROSION CONTROL. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
10. STABILIZATION. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
11. TOPSOIL. A MINIMUM OF 4 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.
12. SEEDING. SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 LBS PER 1,000 SF OF AREA OR AS NOTED ON THE LANDSCAPE PLAN.
13. STOCKPILES. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.

EROSION CONTROL KEY

-  TRACKING PAD
-  SILT FENCE, TYP.

PAVEMENT KEY

-  ASPHALT PAVEMENT
-  CONCRETE SIDEWALK
-  SAWCUT LINE

GRADING NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL CONTOUR AND SPOT ELEVATIONS SHOWN REPRESENT FINISH GRADE ELEVATIONS.
2. ALL MATCHING SIDEWALK ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
3. CONTOUR AND SPOT ELEVATIONS SHOWN REPRESENT FINISH GRADE ELEVATIONS.
4. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPACTED DUE TO CONSTRUCTION SHALL BE LOOSENEED PRIOR TO ADDITION OF TOPSOIL.
5. SIDEWALKS AND RAMPS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% (1:50).
6. SIDEWALK LANDINGS SHALL HAVE A 2.0% (1:50) MAXIMUM CROSS SLOPE OR SLOPE IN ALL DIRECTIONS, INCLUDING DIAGONAL.
8. ALL SIDEWALK SHALL HAVE A MAXIMUM RUNNING SLOPE OF 8%.

GRADING LEGEND

-  EXISTING CONTOURS
-  PROPOSED MAJOR CONTOURS (5' INTERVAL)
-  PROPOSED MINOR CONTOURS (1' INTERVAL)
-  SAWCUT LINE
- 882.90' P PAVEMENT ELEVATION
- 882.90' TOC TOP OF CURB ELEVATION
- 882.90' C CONCRETE PAVEMENT ELEVATION
-  DRAINAGE ARROWS

DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

PROJECT:

2022 CELLOX ADDITION
CELLOX LLC

ADDRESS:

CITY OF REEDSBURG

SHEET NAME:

PROPOSED NEW ADDITION

REVISION:

REVISIONS NO. BY DATE

PROJECT NO:

0522-19

RES

ROUSSEV ENGINEERING
SOLUTIONS, LLC

406 Windy Peak Rd - Verona, WI 53593
608-620-3036 (Office) - svt@rousseveengineering.com

SHEET

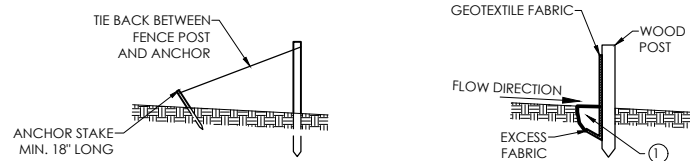
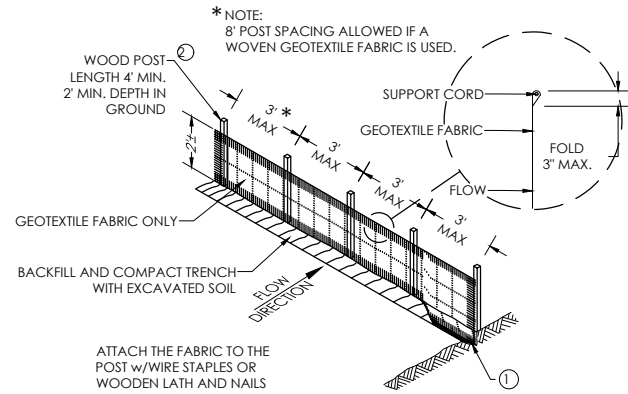
C2.1

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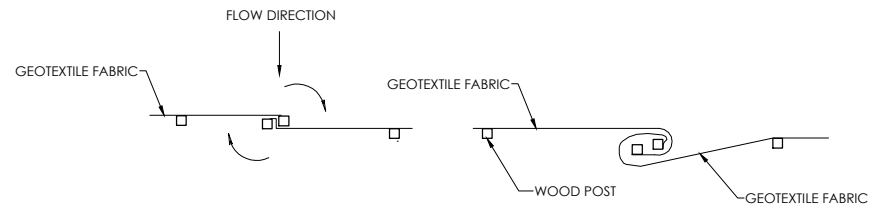
PLOT DATE: 10/15/22
Page 6 of 15

FILE NAME: R:\2022\0522-19 Cellox Reedsburg\C2.1.dwg

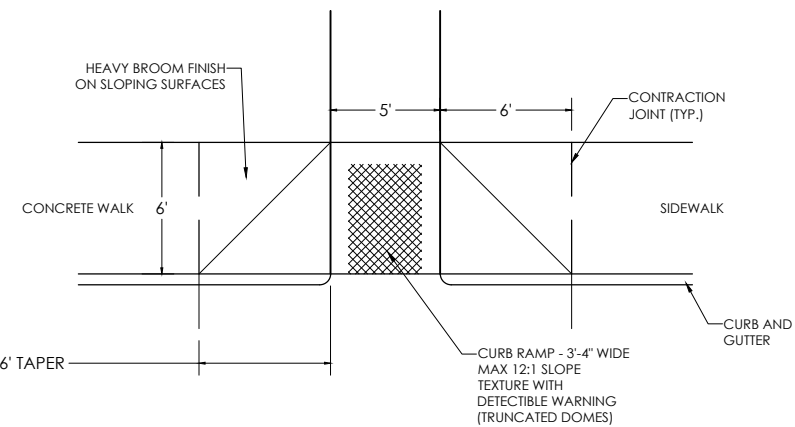
- ① TRENCH SHALL BE A MINIMUM OF 4" WIDE BY 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC, FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- ② HORIZONTAL BRACE WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POST AS DIRECTED BY THE ENGINEER.
- ③ WOOD POST SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY.



TRENCH DETAIL

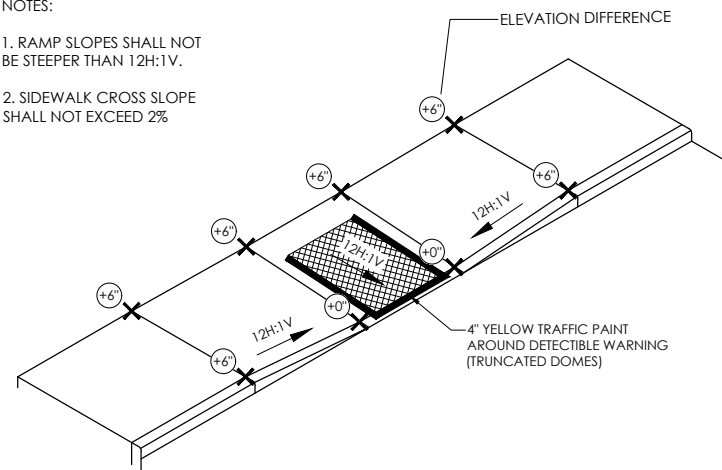


SILT FENCE

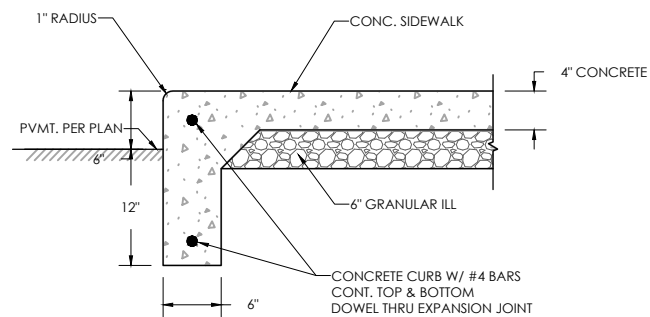


NOTES:

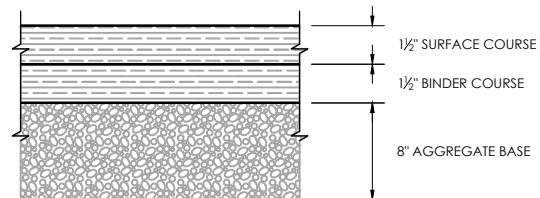
1. RAMP SLOPES SHALL NOT BE STEEPER THAN 12H:1V.
2. SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2%



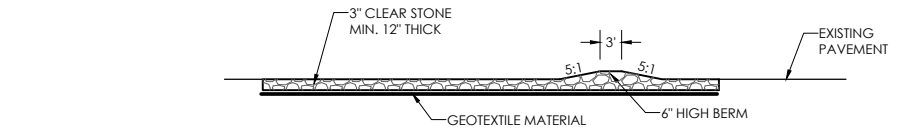
HANDICAP ACCESSIBLE CURB RAMP TYPE C



INTEGRAL CURB/SIDEWALK

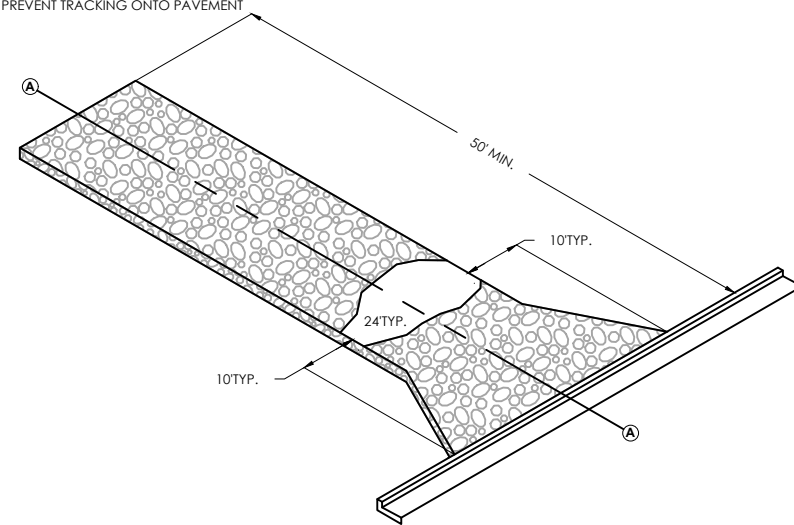


TYPICAL PAVEMENT SECTION



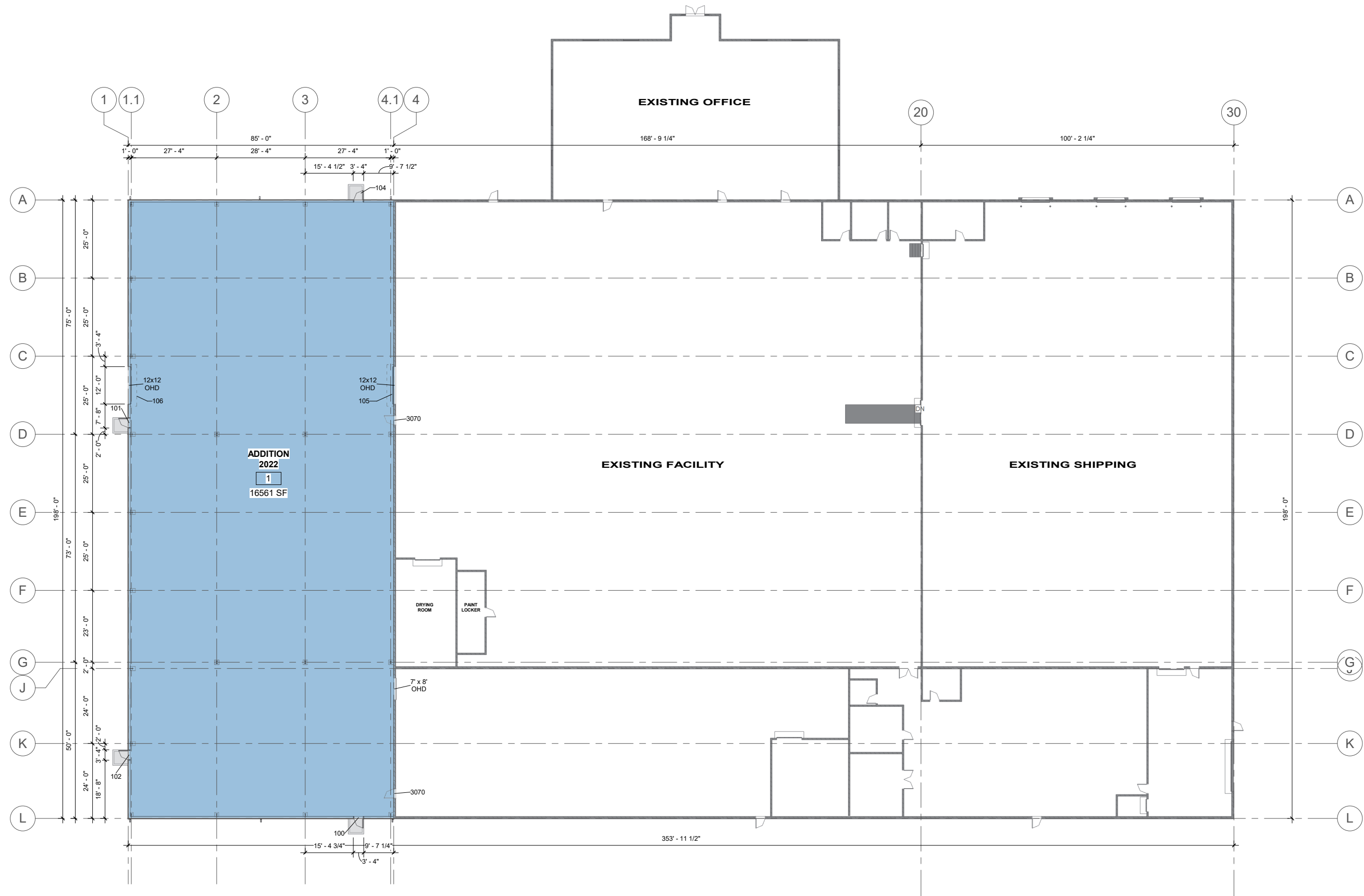
1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'.
3. WIDTH - 24" MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES 'WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT-TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

NOTE:
MAINTAIN THE ROCK ENTRANCE TO
PREVENT TRACKING ONTO PAVEMENT

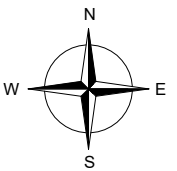


TRACKING PAD

FILE NAME: \\usr2res\Projects\2022\0522-19 Cellox Reedsburg\Cellox 2022 - 1.rvt

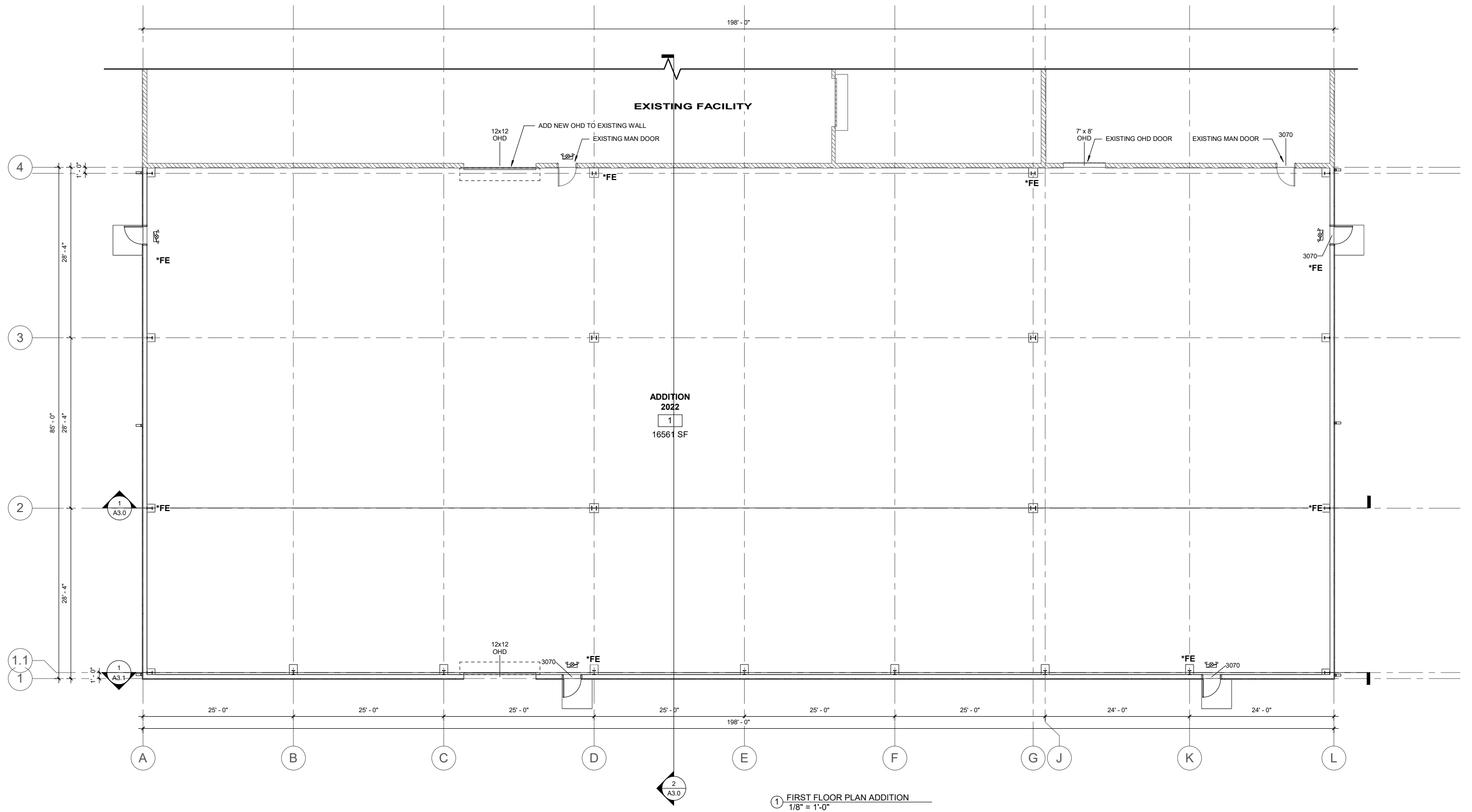


② PROPOSED ADDITION 2022
1/16" = 1'-0"



PROJECT:	ADDRESS:	SHEET NAME:	REVISION:	PROJECT NO:	RES ROUSSEV ENGINEERING SOLUTIONS, LLC	SHEET #
2022 CELLOX ADDITION CELLOX LLC	1200 INDUSTRIAL STREET, REEDSBURG, WI	FIRST FLOOR PLAN	REVISIONS NO. BY DATE	0522-19	406 Windy Peak Rd • Verona, WI 53593 608-620-3036 (Office) • svet@rousseveengineering.com	A1.0

BID DOCUMENTS



1 FIRST FLOOR PLAN ADDITION
1/8" = 1'-0"

GENERAL NOTES:

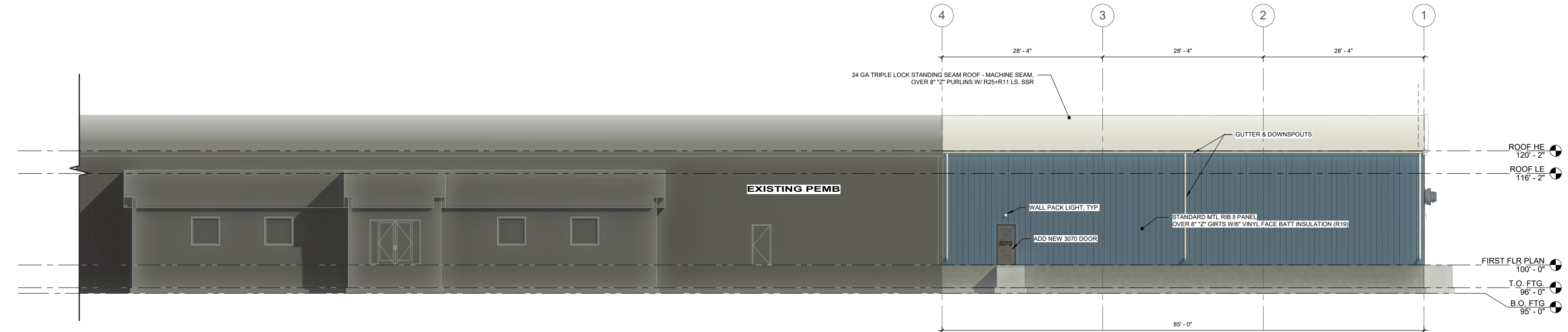
- CONTRACTOR TO PROVIDE (2) FIRE EXTINGUISHERS PER IBC 906 AND OWNER TO MAINTAIN THEM IN ACCORDANCE WITH THIS SECTION & NFPA 10. THEY SHALL BE LOCATED IN CONSPICUOUS LOCATIONS ALONG NORMAL PATHS OF TRAVEL.(CONTRACTOR TO COORDINATE WITH LOCAL FIRE INSPECTOR)
- PROVIDE EXIT SIGNS PER IBC 1013. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL & SHALL BE CONTINUOUSLY LUMINATED FOR NOT LESS THAN 90 MINUTES IN CASE OF POWER LOSS.
- PROVIDE EMERGENCY LIGHTS PER IBC 1008. LIGHTS AT EXTERIOR EXIT DOORS SHALL BE PROVIDED & SHALL ILLUMINATE AT ALL TIMES WHILE THE BUILDING IS OCCUPIED IN THE EVENT OF POWER SUPPLY FAILURE.
- PROVIDE A SIGN STATING THE OCCUPANT LOAD PER IBC 1004.3. THE SIGN SHALL BE POSTED IN A CONSPICUOUS PLACE. NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE, THE SIGN SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN.

- PUBLIC RESTROOMS SHALL BE COVERED WITH SMOOTH, HARD, NONABSORBENT MATERIALS EXTENDING A MINIMUM OF 6" ABOVE FLOOR LEVEL. WALLS WITHIN 2 FT. OF URINALS OR WATER CLOSETS SHALL BE COVERED A MINIMUM OF 4 FT. ABOVE FLOOR LEVEL.
- ROOM(S) WITH A MOP BASIN OR UTILITY SINK SHALL HAVE AN EXHAUST FAN WHICH RUNS CONTINUOUSLY WHILE THE BUILDING IS OCCUPIED.
- PROVIDE ACCESS TO ATTIC COMPARTMENTS BY MEANS OF A 20" x 30" OPENING.
- ROOF TRUSS DESIGN BY OTHERS
- ALL DIMENSIONS ARE FROM OUTSIDE OF EXTERIOR WALL FRAMING TO CENTER OF INTERIOR WALLS.
- ALL STAIR SHAFTS SHALL BE RATED WITH 1 HR. FIRE RATED DOOR ASSEMBLIES. ALL RATED DOORS SHALL HAVE A CLOSER.

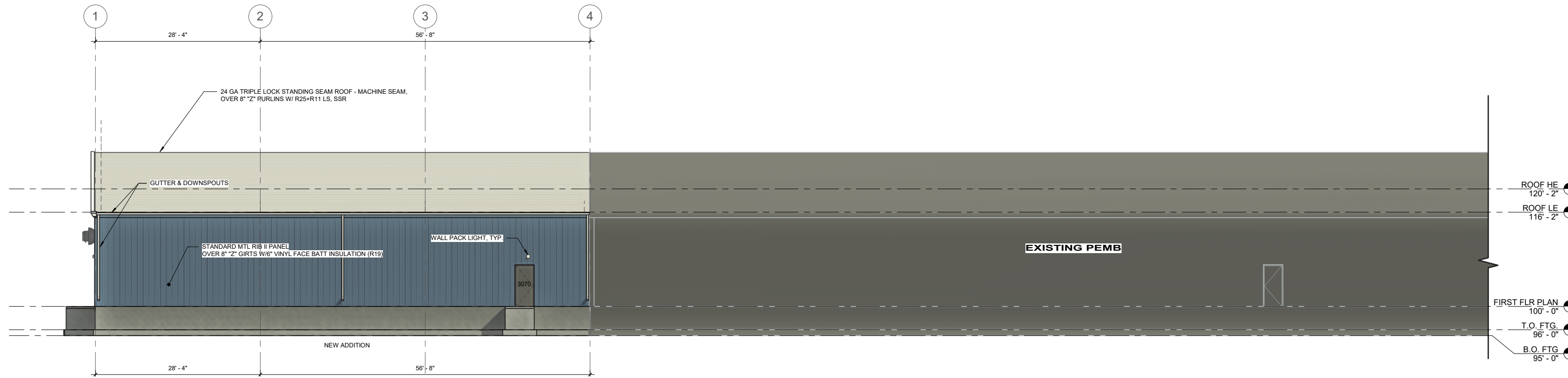
- ALL STAIRS SHALL HAVE HANDRAILS ON EACH SIDE INSTALLED IN ACCORDANCE WITH IBC 1014.
- ALL EXTERIOR DOOR THRESHOLDS SHALL BE NO MORE THAN 1/2" IN HEIGHT.
- EACH EXIT DOOR SHALL BE EQUIPPED WITH PANIC HARDWARE PER IBC 1010.1.10.

- EMERGENCY LIGHT FIXTURE
- EMERGENCY EXIT/LIGHT FIXTURE
- *FE FIRE EXTINGUISHER LOCATION

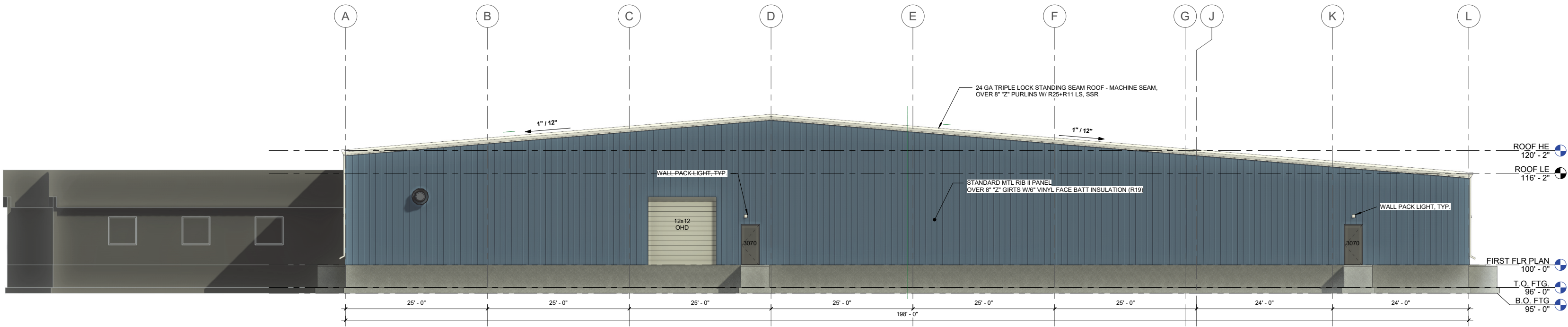
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2022 CELLOX ADDITION CELLOX LLC	1200 INDUSTRIAL STREET, REEDSBURG, WI	ADDITION FLOOR PLAN	REVISIONS NO. BY DATE	0522-19	406 Windy Peak Rd • Verona, WI 53593 608-620-3036 (Office) • svet@rousseveengineering.com		A1.1



② NORTH ELEVATION
1/8" = 1'-0"



① SOUTH ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"

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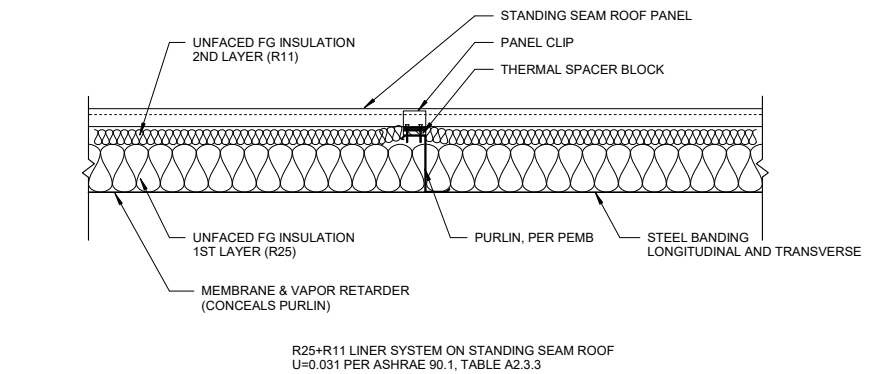
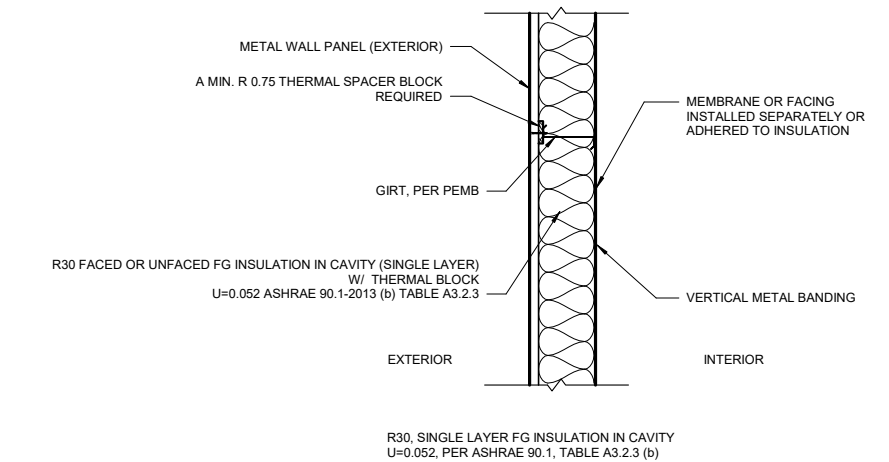
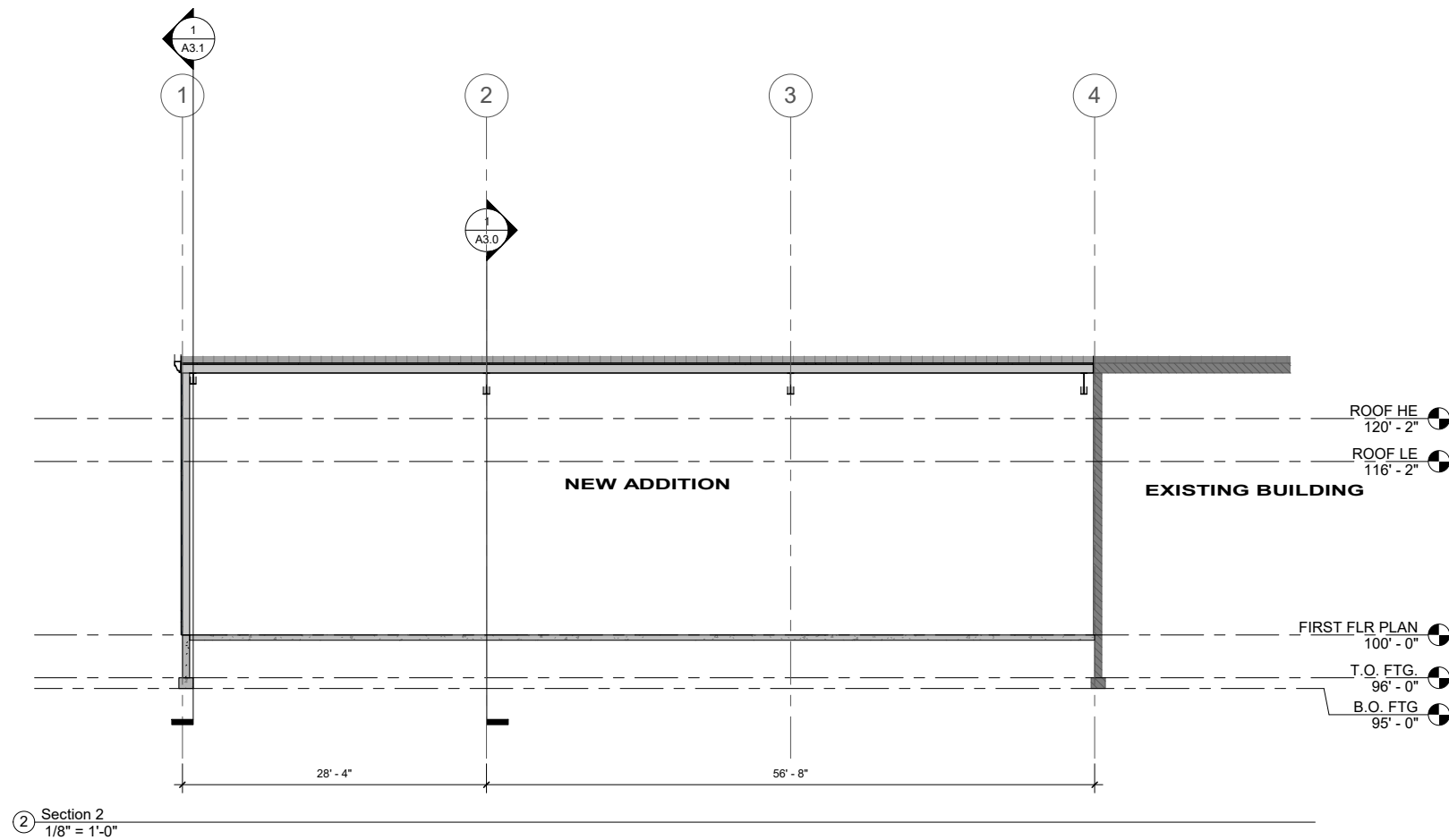
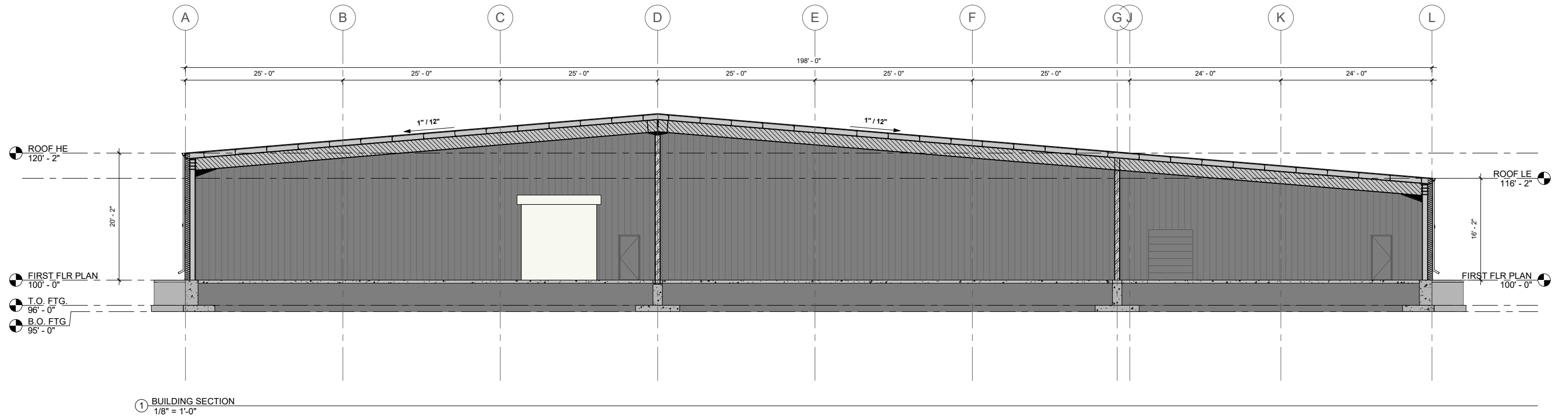
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2022 CELLOX ADDITION CELLOX LLC	1200 INDUSTRIAL STREET, REEDSBURG, WI	EXTERIOR ELEVATION	REVISIONS NO. BY DATE	0522-19	406 Windy Peak Rd • Verona, WI 53593 608-620-3036 (Office) • svet@rousseveengineering.com		A2.1

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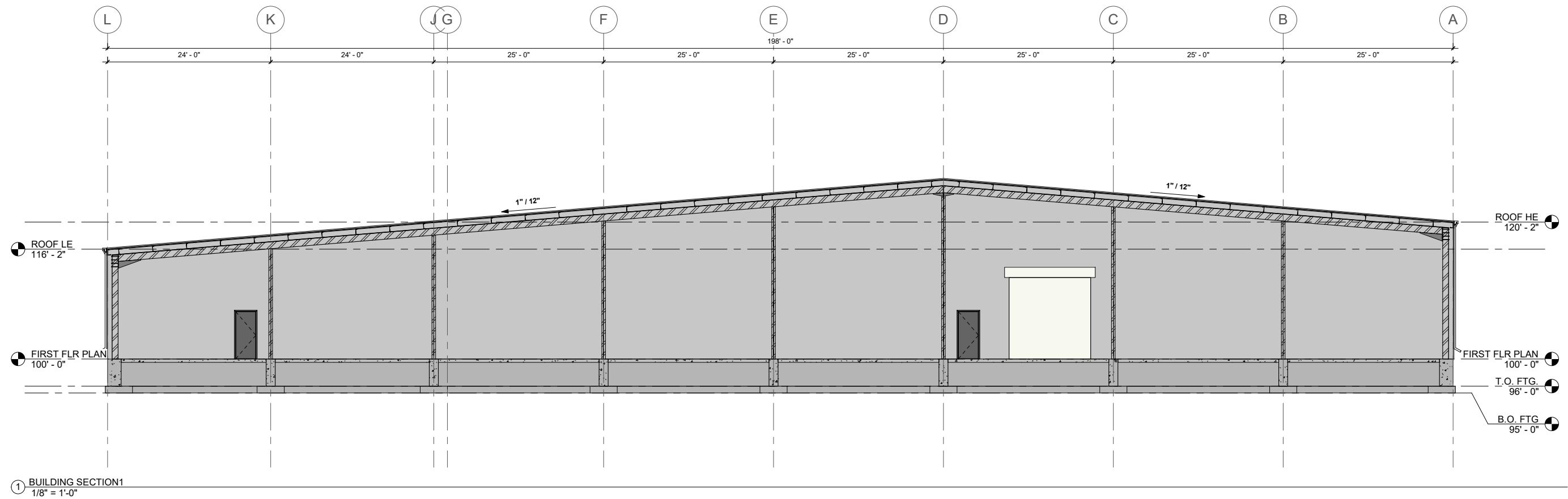
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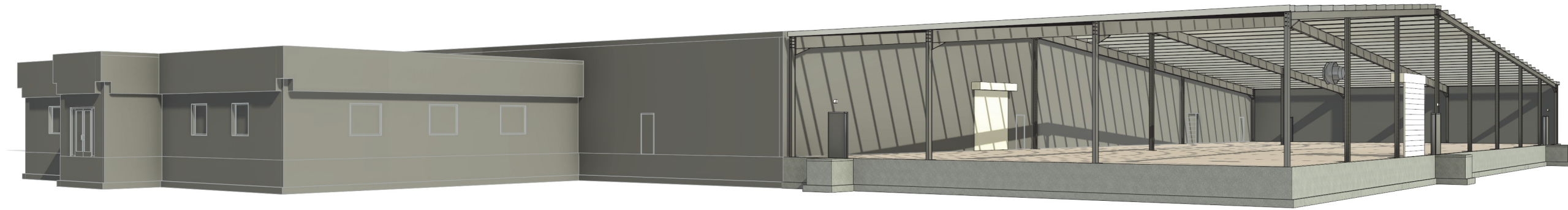


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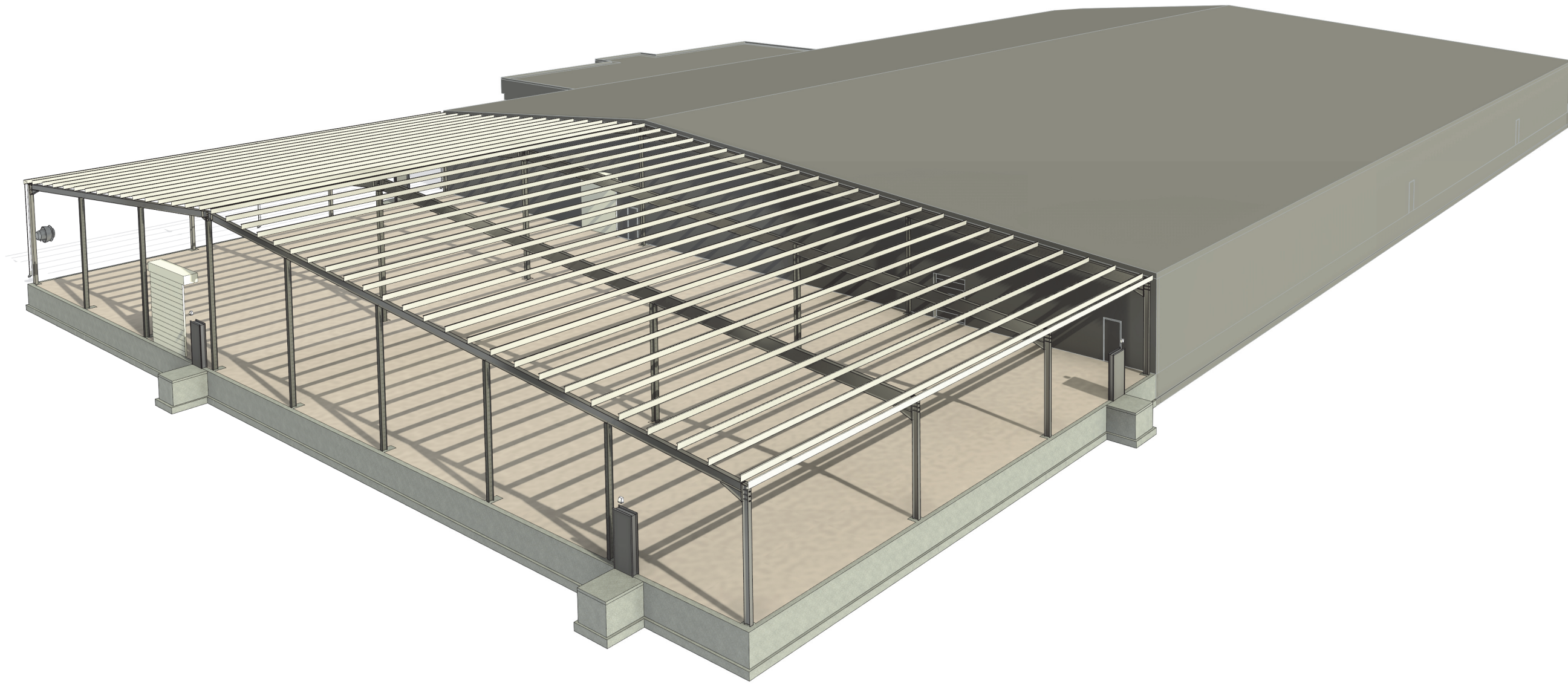


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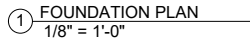


③ PERSPECTIVE VIEW



④ PERSPECTIVE VIEW2

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