



City of Reedsburg
134 South Locust Street, P.O. Box 490
Reedsburg, WI 53959
Ph. 608-524-6404 Fax. 608-524-8458
www.reedsburgwi.gov

City Plan Commission Agenda
January 11, 2022
Reedsburg City Hall Council Chambers
6:00 PM

DUE TO THE RESTRICTIONS CAUSED BY THE COVID-19 PANDEMIC, SOME VOTING MEMBERS MAY BE PRESENT VIA TELECONFERENCE OR VIDEO CONFERENCE, AS PROVIDED BY THE RECOMMENDATIONS OF THE WISCONSIN DEPARTMENT OF JUSTICE. [HTTPS://WWW.DOJ.STATE.WI.US/NEWS-RELEASES/OFFICE-OPEN-GOVERNMENT-ADVISORY-CORONAVIRUS-DISEASE-2019-COVID-19-AND-OPEN-MEETINGS](https://www.doj.state.wi.us/news-releases/office-open-government-advisory-coronavirus-disease-2019-covid-19-and-open-meetings)

NOTICE IS HEREBY GIVEN THAT A MAJORITY OF THE MEMBERS OF THE COMMON COUNCIL MAY ATTEND THIS MEETING TO GATHER INFORMATION ABOUT A SUBJECT OVER WHICH THE COMMON COUNCIL HAS DECISION-MAKING AUTHORITY. IF A QUORUM OF THE COMMON COUNCIL ATTENDS THIS MEETING, NO ACTION WILL BE TAKEN BY THE COMMON COUNCIL AT THIS MEETING.

CALL TO ORDER

APPROVAL OF MINUTES

I. APPROVE MINUTES FOR THE MEETING HELD ON DECEMBER 14, 2021:

THE COMMITTEE WILL RECEIVE INFORMATION ON NON-AGENDA TOPICS BROUGHT BEFORE THE COMMITTEE BY MEMBERS OF THE PUBLIC. THE COMMITTEE WILL NOT DISCUSS THESE TOPICS, AND WILL NOT TAKE ACTION ON ANY OF THEM AT THIS MEETING

I. GENERAL BUSINESS:

- A. Consider proposed site plan for new 11,966 square foot warehouse addition at United Co-op.
– 1360 Laukant St; Parcel #2092-00000 – Tony Pullara
- B. Review Comprehensive Plan
 - 1. Plan Draft
 - 2. January 2022 Open House/Charrette
 - 3. Public Engagement Activity

II. ADJOURN:



The City of Reedsburg does not discriminate on the basis of disability in the admissions or access to, or treatment of or employment in, its programs or activities. Disability-related aids or services, including printed information in alternate formats, to enable persons with disabilities to participate in public meetings and programs are available by calling (608) 524-6404. To be able to meet the needs of a request for a different format contact the City Clerk-Treasurer at 134 S. Locust Street, Reedsburg, WI at least 48 hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

Reedsburg Plan Commission

December 14, 2021



Alder Dave Knudsen called the meeting of the Reedsburg Plan Commission to order at 6:00 PM in Reedsburg City Hall.

Present: Alder Mike Gargano, Steve Zibell, Sonny Hyde, Jay Brunken, Dan DeBaets

Absent: Mayor Dave Estes

Staff: Brian Duvalle

Approval of Minutes: Motion by Brunken, seconded by DeBaets to approve both of the 11/9/21 meeting minutes.

Motion approved

Consider proposed ground sign to allow 50% larger size per § 690-110. Proposed sign would be 75 square feet. – 1643 E Main St; Parcel #2051-10000 – Chelsey Steele

The sign standards were reviewed. Pam Coy stated that the shopping center is needed to help the usual confusion from new customers as to which is the grocery store and which is the center. The current sign is outdated and can't get parts for it. Discussion held on avoiding the many underground utilities in the area.

Motion by Gargano, seconded by Brunken to approve the sign as presented and pending ZBA approval for off-premise signage.

Motion approved

Consider Site Plan Review to construct new office, silos and hoop barn for rail loading business operation. – 410 South Ave; parcel # 276-0480-00000, 0481-00000, 0482-00000 – Riffey Transload LLC

The site plan was reviewed per zoning standards. A dryland access route drive will be added to the site and each building per floodplain standards. Discussion held on underground utilities such as relocating the current water line. Discussion held on Phase 2, which the applicant states could be mid-2022, and silo shadows.

Motion by Gargano, seconded by Hyde to approve the site plan as presented.

Motion approved

Review Comprehensive Plan

a. Plan Draft

b. January 2022 Open House/Charrette

c. Public Engagement Activity

Jeff Muenkel and Orrin Sumwalt from Foth presented a draft of the Natural and Cultural Resource chapter. Discussion held on January open house that will be at RAHS on 1/20/22 from 6-8PM. There will be three stations for the public to review. Statistics on the number of survey and website users were given.

Motion by DeBaets, seconded by Gargano to adjourn at 6:45 PM.

Motion approved

Respectfully submitted,

Brian Duvalle
Planner/Building Inspector

Staff Report

DATE: January 11, 2022

APPLICANT: Tony Pullara

LOCATION: 1360 Laukant St; parcel #2092

ZONING: I-1 Light Industrial

PROPOSED LAND USE REQUEST: Site Plan Review (SPR)

DESCRIPTION: SPR to construct a storage building addition.

General Findings

SURROUNDING LAND USES:

- North – Industrial
- West – Industrial
- South – Industrial, Railroad
- East – Industrial

ZONING:

- North – I-3 Industrial
- West – I-2 Industrial
- South – I-2 Industrial
- East – I-3 Industrial

TOPOGRAPHY: Flat slopes

STREET R.O.W./TRAFFIC/ACCESS: Laukant St, 66' ROW

ENVIRONMENTAL HAZARDS/CONDITIONS: None known

COMPREHENSIVE PLAN DESIGNATION: Industrial

Site Plan Review Findings of Fact for Section 690-33(A-F)

The site plan shall be designed so that there is a limited amount of change in the overall natural contours of the site and shall minimize reshaping in favor of designing the project to respect existing features of the site in relation to topography, the size and type of the lot, the character of adjoining property, the minimization of tree and soil removal and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.

1. The Board finds that the property is zoned I-3 Industrial Park.
2. The Board finds that the property contains an existing industrial land use.
3. The Board finds that there are currently four existing buildings.
4. The Board finds that a new 11,966 SF addition is proposed to front building.
5. The Board finds that the lot is about 7 acres.
6. The Board finds that the property is located on Laukant St.

Special attention shall be given to proper site drainage so that removal of storm waters will not adversely affect neighboring properties.

1. The Board finds that stormwater runs north to street or south to floodplain area.

All buildings or groups of buildings should be so arranged as to permit emergency vehicle access by some practical means.

1. The Board finds that the existing driveway on Laukant St would remain.
2. The Board finds that a new 11,966 SF addition is proposed to front building.

Exterior lighting shall be arranged as follows:

- It is deflected away from adjacent properties.
 - It does not impede the vision of traffic along adjacent streets.
 - It does not unnecessarily illuminate night skies.
1. The Board finds that lighting would be located at exterior doors.

The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area. Streets and drives which are part of an existing or planned street pattern which serves adjacent development shall be of a width appropriate to the traffic volume they will carry.

1. NA

Site plans shall conform to all applicable requirements of City, State and Federal statutes and the City of Reedsburg Comprehensive Plan, and approval may be conditioned on the applicant receiving necessary City, State and Federal permits.

1. The Board finds that future use is Industrial.

COMMENTS

ADMINISTRATOR:

AMBULANCE:

FIRE:

POLICE:

PUBLIC WORKS:

SCHOOL:

UTILITIES:

OTHER:

STAFF COMMENTS: The RICDC reviewed and recommends approval with the condition of adding a second color wainscoting.

690-68(D). The front of all buildings and the sides of those buildings facing side streets on corner lots shall be faced with decorative masonry, stone, or finished in a similar architecturally attractive manner approved by the Industrial Commission. The sides and rear of all buildings may be any material compatible with the construction of the remainder of the building and the building's intended use. Where concrete-block masonry is used, it shall be tinted, stained or painted with two coats of paint. All faces of all buildings must be kept in good repair and appearance at all times.

Exhibit List

- A. City of Reedsburg Comprehensive Plan
- B. Zoning Ordinance, City of Reedsburg, Wisconsin
- C. Tuesday, January 11, 2022, Plan Commission Agenda
- D. Land Use Change Application
- E. Staff Report
- F. Request for Review and Comment
- G. Notice of Public Meeting

City of Reedsburg Land Use Application

134 S. Locust St.
PO Box 490
Reedsburg, WI 53959

Ph: 608-524-6404
Fax: 608-524-8458
bduvalle@ci.reedsburg.wi.us

APPLICANT: Tony Pullara

ADDRESS: P0 Box 620 **CITY:** Kaukauna **STATE:** WI

ZIP: 54130 **PHONE:** 920-427-4406 **FAX:** 920-766-5004

E-MAIL: tpullara@kellerbuilds.com

PROPERTY OWNER: (if different from Applicant) United Coop

LOCATION: 1360 Laukant Street **PARCEL #:** _____

LAND USE REQUEST

(Please describe one or more as applicable – attach extra pages/maps if necessary)

☐ **Certified Survey Map (CSM):** _____

☐ **Conditional Use Permit:** _____

For *CONDITIONAL USE PERMIT* requests, also answer “A & B” on back page.

☐ **Preliminary Plat:** _____ **Final Plat:** _____ **Name of Plat:** _____

☐ **Rezoning - From:** _____ **To:** _____ **TID #** _____

☒ **Site Plan Review:** (See “B” on back page) _____

☐ **Zoning Appeal / Interpretation:** _____

☐ **Zoning Variance:** _____

For *VARIANCE* requests, also answer “C” on back page.

☐ **Other or Annexation:** _____

AFFIDAVIT

I certify that the information and plans submitted are true and accurate to the best of my knowledge. I also give permission to City zoning officials to enter my property for inspection purposes and for a temporary Zoning sign to be placed in my yard prior to the meeting.

 , 12/14/2021
Applicant Signature / Date

 , 12/14/2021
Owner Signature / Date

Extraterritorial Committee Date: _____
Plan Commission Date: _____
Board of Zoning Appeals Date: _____
City Council Action & Date: _____

Account #10-461500-00

***The applicant or representative MUST
ATTEND the meeting.***

G:\wpnet\Zoning - Planning\Land Use Appl.doc

Cond Use Permit	\$200	_____
Cond Use-Agriculture	\$400	_____
Variance	\$125	_____
Rezoning	\$200	_____
C.S.M.	\$175	_____
Subdivision Plat	\$610	_____
- w/ Stormwater Plan	\$100	_____
Site Plan Review	\$175	_____
Annexation	\$200	_____
Plan Amend	\$200	_____
Date Paid		_____
Receipt #		_____

A. Please describe how your request meets each of the following Conditional Use standards as applicable. Attach additional pages if needed.

- (A) *Proposed operation* - No Conditional Use shall be approved by the Plan Commission unless it finds that the use for which such permit is sought will not be injurious to the neighborhood or otherwise detrimental to the public welfare and will be in harmony with the general purpose of this ordinance and will not place demands on fire, police, or other public resources in excess of current capacity.
-
- (B) *Architectural plans; existing and proposed structures* - The proposed conditional land use shall be designed, constructed, operated, and maintained so as not to diminish the opportunity for surrounding properties to be used and developed as zoned.
-
- (C) *Character and use of adjoining buildings and those in the vicinity* - The proposed conditional land use shall not involve uses, activities, processes, materials, or equipment that would create a substantially negative impact on other conforming properties in the area by reason of traffic, noise, smoke, fumes, glare, and odors.
-
- (D) *Traffic generation, circulation and parking areas* - The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area.
-
- (E) *Traffic generation and circulation, highway access and driveway locations* - The proposed conditional land use shall be adequately served by public or private streets.
-
- (F) *Sewerage and water systems* - The proposed conditional land use will be adequately served by water and sewer facilities, and refuse collection and disposal services.
-

B. Site Plan Requirements.

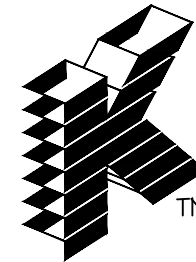
- (A) North arrow
- (B) Location of property lines, dimensions, and setbacks.
- (C) Location of existing and proposed public roads, rights-of-way and private easements of record.
- (D) Location of existing water bodies, surface drainage ways, stormwater controls, floodplains, and wetlands.
- (E) Location of existing and proposed buildings.
- (F) Location of parking areas and all exterior lighting.
- (G) Location of all loading / unloading areas.
- (H) Location of all sidewalks, walkways, bicycle paths and areas for public use.
- (I) Location of all utilities on the site.
- (J) Location and specifications for all fences, walls, and other screening features.
- (K) Location and specifications for all existing and proposed perimeter and internal landscaping.
- (L) Location and specifications for screening of all trash receptacles and other solid waste disposal facilities.
- (M) Location and specifications for proposed signs.
- (N) Elevation drawings for proposed commercial structures.
- (P) Floor plans, when needed to determine the number of parking spaces required.

C. Please describe how your request meets each of the following Variance standards. Attach additional pages if needed.

To grant a variance, the Board of Appeals must find four things:

- 1) The variance will not be contrary to the public interest. _____
 - 2) Substantial justice will be done by granting the variance. _____
 - 3) The variance is needed so that the spirit of the ordinance is observed. _____
 - 4) Due to special conditions, a literal enforcement of the provisions of the zoning ordinance will result in unnecessary hardship. _____
-

- (C) Variance Hardship. A property owner bears the burden of proving "unnecessary hardship" by demonstrating either of the following:
- 1) For an area variance, that strict compliance with a zoning ordinance would unreasonably prevent the property owner from using the property for a permitted purpose or would render conformity with the zoning ordinance unnecessarily burdensome.
 - 2) For a use variance, that strict compliance with a zoning ordinance would leave the property owner with no reasonable use of the property in the absence of a variance. In both situations, the property owner bears the burden of proving that the unnecessary hardship is based on conditions unique to the property, rather than personal considerations, and that the unnecessary hardship was not created by the property owner.



Keller

PLANNERS | ARCHITECTS | BUILDERS

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711 Lois Drive
Sun Prairie, WI 53590
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FAX (608) 318-2337

MILWAUKEE
W284 W1158 Goldenshield Road
Germantown, WI 53022
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FAX (262) 250-9740

WAUSAU
5605 Lilac Ave
Wausau, WI 54401
PHONE (715) 849-3141
FAX (715) 849-3181

www.kellerbuilds.com

UNITED COOP - REEDSBURG WAREHOUSE

**1360 LAUKANT ST.
REEDSBURG
WI, 53959**

PROPOSED WAREHOUSE ADDITION FOR:

"COPYRIGHT NOTICE"

This design, drawing and detail is the copyrighted property of KELLER, INC. No part hereof shall be copied, duplicated, distributed, disclosed or made available to anyone without the expressed written consent of KELLER, INC.

REVISIONS

△ 12-13-21 ISSUED FOR CONSTRUCTION
△ 12-22-21 REVISED ELEVATION

"ISSUED FOR CONSTRUCTION"

PROJECT MANAGER:
C. VANDEWETTERING

DESIGNER
R. LINDSTROM

IED PROJECT MANAGER:
C. DUESCHER

EXPEDITOR:
C. HOYER

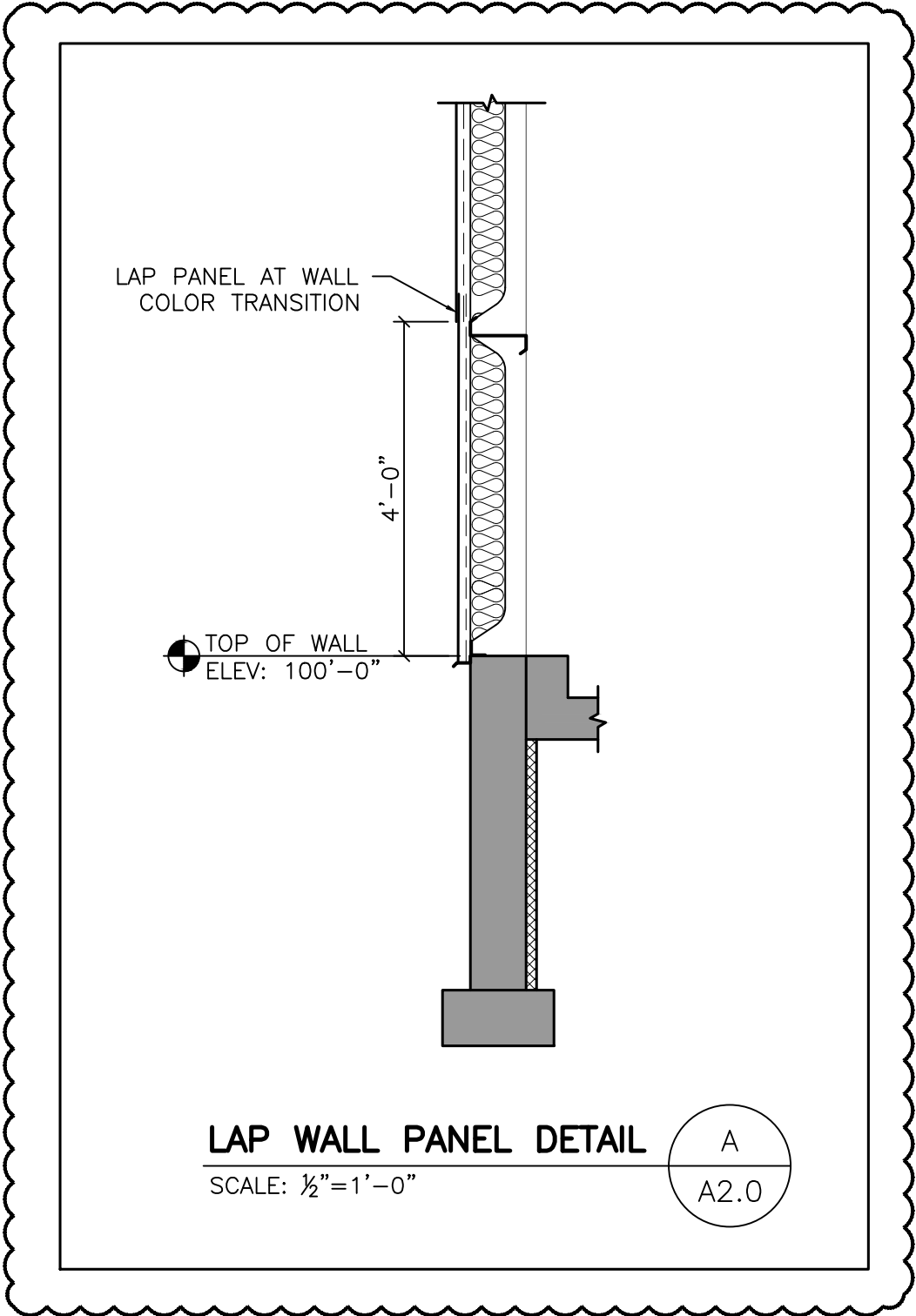
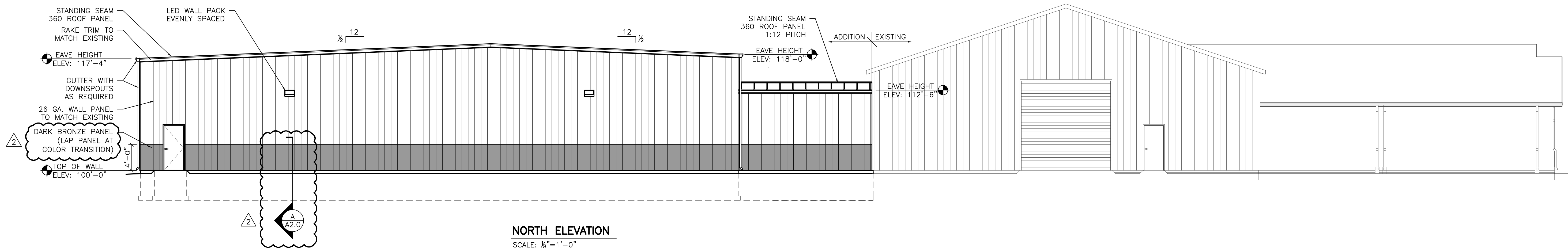
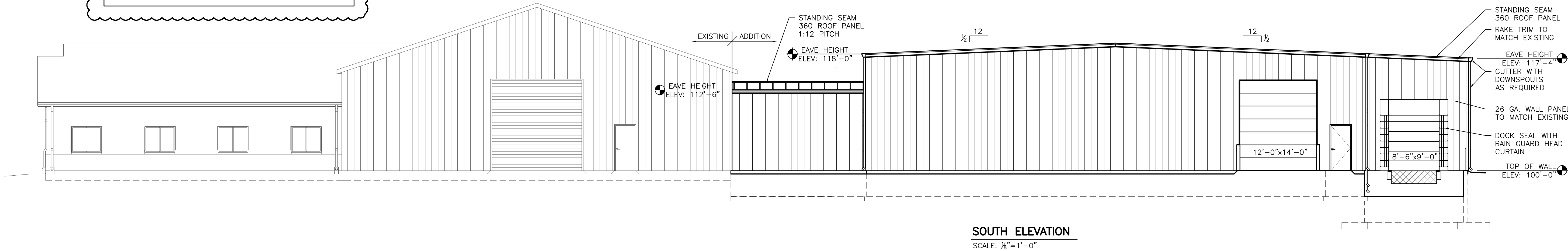
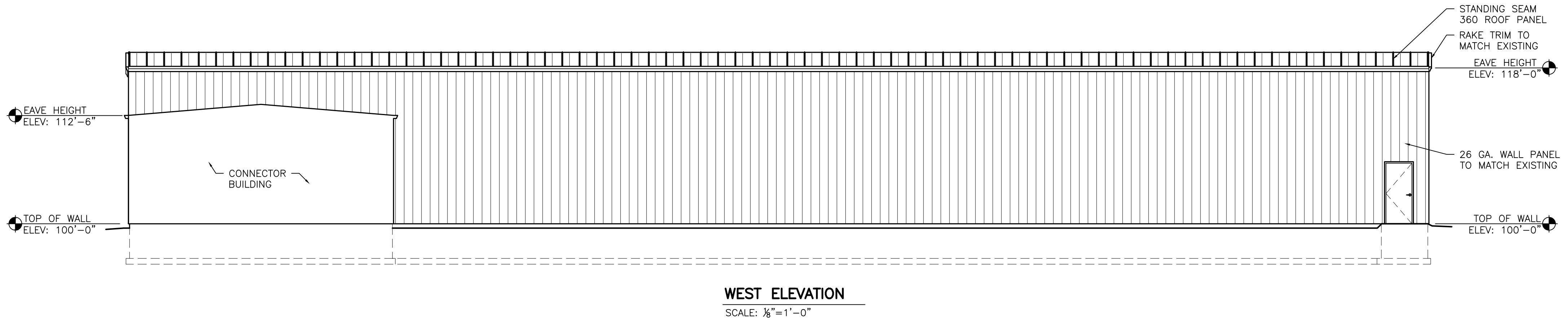
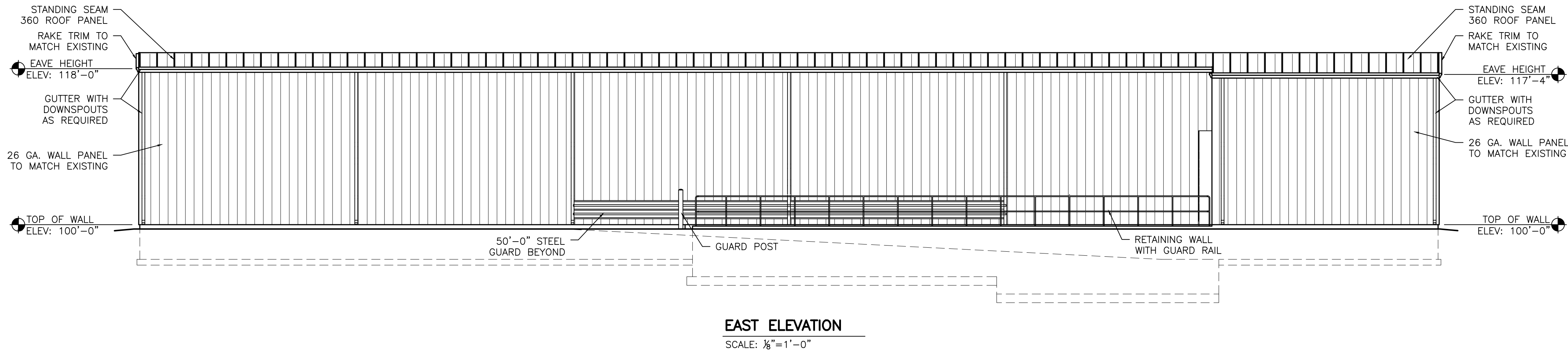
SUPERVISOR:
D. CRAKER

CONTRACT NO:
77137

IED NO:
21157

ISSUED DATE:
Nov. 5, 2021

SHEET:
A2.0



GENERAL BUILDING NOTES AND SPECIFICATIONS

DIVISION 01 - GENERAL CONDITIONS

GENERAL CONDITIONS

- Do not deviate from original bid documents without Keller, Inc., permission.
- Subcontractor is to follow main manufacturer recommendations, industry standards, and comply with all current building and ADA codes.
- Subcontractor is to attend all jobsite meetings as requested.
- Do not deviate from the Interior and Exterior Material Selection Form without prior approval. Subject to Keller, Inc.'s determination, material or systems with variant feature(s) may be allowed as a substitution. Substitution request must be submitted to Keller, Inc., for approval.
- Material delivered to the jobsite must be stored in a location per Keller, Inc., instructions.
- Subcontractor is responsible for proper material storage and protection of materials on the jobsite.
- All material deliveries and handling are the responsibility of the Subcontractor, including all hoisting and material unloading/loading.
- No subcontractor shall begin application or installation of their materials until substrates have been properly prepared. Notify Keller, Inc., of unsatisfactory conditions prior to proceeding.
- Do not install damaged products.
- All layout necessary for the proper completion of work is the responsibility of the respective trades. Control points will be provided for reference.
- Subcontractor shall verify all public and private utilities on site prior to commencement of work.
- Subcontractor is responsible for maintaining a clean worksite daily.
- All subcontractors are responsible for any trucking or equipment that leaves any debris or mud outside of the project limits by either their forces or delivery trucking.
- Subcontractor is responsible for final clean up and disposal of all materials related to their scope of work at project completion.

DIVISION 04 - MASONRY

04210 - MASONRY SPECIFICATIONS (1.4.21)

SUBMITTALS

- A. Mock ups will be required based on the complexity of the project and at the owner's discretion.
- B. Samples: Unit masonry samples of adequate size showing the full range of colors and textures available for each different exposed masonry unit as requested.

SCHEDULE

- CMU / BRICK / STONE / CULTURED STONE
- All exterior CMU to include Dry Block additive unless painted.
- All exterior CMU to be sealed unless painted.

MORTAR / GROUT

- All exterior mortar to include Dry Block additive.

REINFORCING / TIES

- All reinforcing bar to be Grade 60 ASTM A 615.
- Ties to be DW10 with vee tie.
- Joint reinforcing to be galvanized carbon steel per plan.

FLASHINGS

- Flashings as specified on plan or proposal.
- To include:
- 40 mil Perma - Barrier (or equal) base flashing adhered to foundation.
 - Weeps to be vertical call vent style - color to match mortar.
 - Mortar net
 - Block Flash

INSULATION

- When required, insulation to be foamed in place.

SILLS / LINTELS

- Per plan, Request for Quotation, and Interior & Exterior Material Selection Form.

MISCELLANEOUS STEEL

- Per plan and Request for Quotation

INSTALLATION

- A. Vertical lines not to vary more than 1/4" on 20' nor 1/2" maximum total.
- B. Horizontal lines not to vary more than 1/4" on 20' nor 1/2" maximum total.
- C. All masonry cuts to be clean and free from chips - concave cut edges where possible.
- D. Mix masonry units to achieve a uniform blend of color variations.
- E. Completely fill all spaces between masonry units and hollow metal frames with mortar.
- F. Fill masonry unit cores with grout as indicated on the plan.
- G. Tool all exposed mortar joints or as indicated on the plan.
- H. Control joint to be installed per NCMA standards.
- J. Mason to supply backer rod and caulk at all control joints.
- PROTECTION
- A. Cold weather protection is the responsibility of the mason.
- B. Any damaged product caused by weather is the responsibility of the mason.
- C. Projects where new work areas adjoin an existing building will require the masonry contractor to prevent fumes and dust from saw cutting from entering the existing building.
- D. Mason is responsible for damage caused to other trades due to mason's negligence.
- E. Mason to protect masonry units from mud splash until sealed or painted.

DIVISION 06 - WOOD & PLASTICS

06240 - CABINET SPECIFICATIONS (1.6.24)

SUBMITTALS

- A. Submit one set of elevation and layout shop drawings including backer requirements within (2) weeks of subcontract award.
- B. Submit (3) sets of final approved shop drawings.

SCHEDULE

- PLASTIC LAMINATE
- Wilsonart, Formica, or equal to be minimum .050 inches in thickness.
- Cabinet interiors to be melamine per Interior & Exterior Material Selection Form.

EDGE TYPE

- Laminate edge to match horizontal and / or vertical surfaces as specified.
- PVC edge will be considered through a substitution request.
- Backsplash profile to be similar throughout.
- Applied backsplash to be caulked to the horizontal surface.

SOLID SURFACE

- Corian or equal to be 1/2" solid material not including substrate.
- Cambria, Silestone, or equal natural surface to be 3/4" solid material and a total of 1 1/4" including substrate.

DRAWERS & DOORS

- Standard drawers to have a 75 pound load bearing capacity.
- Heavy duty roll outs to bear 100 pound minimum at full extension.
- Hinges to be fully concealed.
- Hinges to be Easy Release with 160 degree swing.

HARDWARE

- Hardware per Interior & Exterior Material Selection Form
- Wire pulls to be 3" minimum.
- Cut in, supply, and install plastic grommets as required.

SUPPORTS & BACKER

- Horizontal work surface supports to be steel L brackets or angled laminated brackets which allow for venting, alternate venting required.
- Bathroom vanity supports to have modesty panels that conceal plumbing.

WOOD CASEWORK

- Solid wood material for door and drawer fronts.

TOE KICKS

- Cabinet subcontractor to finish and install toe kicks to match vertical surface.

INSTALLATION

- A. Cabinet Subcontractor is responsible for all field verification.
- B. Cabinet installer responsible for cutting in all sink holes and grommets.
- C. Installation by properly trained and certified personnel only.
- D. Cabinet installer required to supply venting slots for air circulation as required.
- E. Damage caused to other finishes by the installer is subject to back charges.

PROTECTION

- A. Protect cabinet vertical and horizontal surfaces from damage during construction.
- B. Correct all deficiencies in Cabinet Work that do not comply with requirements.
- C. Protect adjacent construction from damage related to Cabinet work.

DIVISION 07 - THERMAL & MOISTURE PROTECTION

07210 - INSULATION SPECIFICATIONS (1.67.21)

SUBMITTALS

- A. With Original Price Proposal: List Product and Manufacturer, and depth of blown-in insulation required to achieve specified R-Value.

MANUFACTURERS

- A. CertainTeed Fiberglass insulation or Equal.

SCHEDULE

BATT INSULATION

- Batt insulation to be Fiberglass.
- R-Values per plan and Request for Quotation.
- Insulation at interior walls designated for sound to match stud widths.

BLOWN IN INSULATION

- Blown in material to be loose fiberglass.
- R-Value per plan and Request for Quotation.

MOISTURE BARRIER

- Vertical surfaces to be 6 mil polyethylene.
- Horizontal (bottom cord of trusses) to be 6 mil fire retardant polyethylene.
- All joints to be taped.
- Moisture Barrier to be stapled or adhered to framing.

MOISTURE BARRIER BANDING

- Banding to be 3/4" wide minimum woven nylon.
- Banding to be fastened to truss with screws or nails - no staples.

EAVE VENTS

- Size to match truss spacing.
- Eave vents to be placed between each truss at low side eave.
- Eaves to be insulated up to, and around eave vents at the energy heel.

INSTALLATION

- A. Close off all open cavities.
- B. Fill all voids not covered by blown-in or batt insulation.
- C. Installation by properly trained and certified personnel only.
- D. Seal joints adjacent to all other trades penetrations to create an air tight seal.
- E. Install attic rulers on trusses every 300 sf per NAIMA recommendations.

PROTECTION

- A. Protect all insulation material from weather damage prior to, and after installation.
- B. Protect adjacent construction from damage related to insulation work.

07240 - EXTERIOR INSULATED FINISH SYSTEM

SUBMITTALS

- A. Submit a texture sample as requested - minimum sample size to be 24" x 24"

MANUFACTURERS

- A. Dyrvit, Parex, Stowe, or equal

SCHEDULE

BASE

- Expanded polystyrene
- 1" thickness minimum unless otherwise specified
- 3/4" thickness minimum behind any grooves
- Foam to be mechanically fastened to substrate

REINFORCING

- Glass fiber mesh to be compatible with finished surface requirements
- High impact mesh required at the first 36" above finished grade

FINISH SYSTEM

- System to provide equalized pressure
- To be a complete system that prevents water intrusion and eliminates any moisture that does occur

TRIM ACCESSORIES

- Base Flashing to allow for proper drainage
- Window returns to be of similar material as the body
- One piece control joint with V shaped slot and removable strip

INSTALLATION

- A. Install tracks, back-wrap or edge-wrap mesh at all terminations
- B. Install substrate without gaps and in a running bond pattern
- C. Rase any board irregularities
- D. Apply base coat and fully embed mesh
- E. Apply primer coat only after base coat is completely dry
- F. Apply finish coat per specified finish and color
- G. Install all sealants per manufacturer's recommendations
- H. Expansion joints to be installed at any building or substrate expansion and where EIFS abuts dissimilar materials or per manufacturer's recommendations
- I. Expansion joints to be caulked by the EIFS subcontractor
- J. On continuous runs, expansion joints to be installed at 75' o.c. maximum

PROTECTION

- A. Weather protection is the responsibility of the Subcontractor.
- B. Any damaged product caused by weather is the responsibility of the subcontractor prior to installation
- C. Correct all deficiencies that do not comply with project requirements

07310 - SHINGLE / ALUMINUM SOFFIT SPECIFICATIONS (1.7.31)

MANUFACTURERS

- A. SHINGLE ROOF - CertainTeed or equal per material selection form
- B. ALUMINUM SOFFIT - Rollex or equal per material selection form

SCHEDULE

ASPHALT SHINGLE

- Fiberglass based, self sealing laminate architectural, class A asphalt shingle with 30 year minimum guarantee.
- Provide matching starter strip, hip, and ridge shingles.
- Shingles to be nailed with #11 hot dipped galvanized roofing nails.

SUBSTRATE

- 15# felt paper to be stapled and secured to prevent wind damage.
- Ice & water shield as required by code to be modified bitumen, cross linked surfact, self adhering

FLASHINGS

- Valley Flashing to be selected from standard manufacturer's colors
- Edge flashing to be pre-painted aluminum to match fascia color.
- Fascia flashing the be Rollex L pre-painted aluminum. Fascia greater than 10" to be .032 aluminum

SOFFIT

- Rollex CV 3-16 aluminum or equal.
- Overhang soffit to be .019 aluminum for lengths less than 48"
- Canopy soffits to be .032 Peterson aluminum or equal for lengths greater than 48"
- All soffit trim to match material and color

GUTTERS

- Gutters to be seamless 5" K style roll formed unless otherwise specified
- Gutters to be minimum .032 aluminum coil stock

DOWNSPOUTS

- Downspouts to be closed pre-manufactured aluminum to match gutter color unless otherwise specified
- Downspout size to be determined by subcontractor
- Final location to be field verified

MISCELLANEOUS

- Any penetrations to be caulked with asphalt fibrous roof cement
- Step flashing to be 26G galvanized sealed to roof / wall

ROOF VENTS

- Continuous ridge vent to be CertainTeed shingle vent or equal
- Where ridge vent length is insufficient for venting, alternate venting required. Subcontractor to provide venting options.

INSTALLATION

- A. Do not shingle through valleys
- B. Install all products per manufacturers recommendations
- C. Ice & Water shield to be installed per state and local requirements and at all roof penetrations
- D. Installation by properly trained and certified personnel only
- E. All penetrations to be sealed by the roofer to assure weather tightness
- F. Damages caused by the installer to other trades finishes are subject to backcharge
- G. Material to be installed parallel and true

PROTECTION

- A. Weather protection is the responsibility of the Subcontractor.
- B. Any damaged product caused by weather is the responsibility of the Roofing / Soffit contractor prior to installation.
- C. Projects where new work areas adjoin an existing building will require the Roofing contractor to protect the existing building.
- D. Leave one bundle of the selected shingles on the jobsite.
- E. Correct all deficiencies that do not comply with project requirements.
- F. Subcontractor is responsible for any damage caused by fasteners not disposed of properly.

07460 - VINYL / CEMENT BOARD SIDING SPECIFICATIONS (1.7.46)

MANUFACTURERS

- A. VINYL SIDING - Verform Ashton Heights or equal per material selection form
- B. CEMENT BOARD SIDING - CertainTeed Weatherboards or equal per material selection form
- C. COMPOSITE SIDING - LP SmartSide or equal per material selection form

SCHEDULE

VINYL SIDING

- Extruded Polyvinyl chloride .042" minimum with lifetime warranty
- Coefficient of linear thermal expansion per ASTM standards or better.
- Vinyl siding to be nailed with 1 1/2" hot dipped galvanized roofing nails.

COMPOSITE SIDING

- Exterior Grade phenolic resin saturated paper overlay laminated to EPA registered zinc borate preservative treated engineered wood.
- Exposed edges sealed for moisture.

CEMENT BOARD SIDING

- Cement, fly ash, and cellulose fiber complying with ASTM C 1186 Type A grade II minimum 5/16" thick.
- Siding to have a flame spread index of 0. Flexural Strength of 1450 psi.
- UV resistant, and Coefficient of Thermal Expansion of less than 1 x 10⁻⁵/in/inch/degree F

TRIM

- Corners, J channel, and window / door trim to match siding color unless otherwise specified in the material selection form.
- All trim pieces to be of the same material as the siding unless specified otherwise.
- Outside corners to overlap siding by 1" minimum.

FLASHING

- All flashing required to provide a weather tight seal to include siding to sills, windows, doors, etc.
- Aluminum flashing to be .032 - profile per plan.
- All edges to be blunt and free from burrs.
- Final color per material selection form.

INSTALLATION

- A. Touch up all cut edges on siding and trim.
- B. Install all products per manufacturers recommendations
- C. Use trim details as shown on plans.
- D. Installation by properly trained and certified personnel only
- E. All openings and penetrations to be sealed by the siding subcontractor to assure weather tightness.
- F. Damages caused by the installer to other finishes are subject to backcharge
- G. Material to be installed parallel and true

PROTECTION

- A. Weather protection is the responsibility of the Subcontractor.
- B. Any damaged product caused by weather is the responsibility of the Siding contractor prior to installation.
- C. Projects where new work areas adjoin an existing building will require the Siding contractor to protect the existing building.
- D. Correct all deficiencies that do not comply with project requirements.
- E. Subcontractor is responsible for any damage caused by fasteners not disposed of properly.

07530 - EPDM ROOF SPECIFICATIONS (1.7.53)

SUBMITTALS

- A. With Original Price Proposal: List proposed Product and Manufacturer of EPDM System.
- Any substitution requests must be submitted with original proposal.

MANUFACTURERS

- A. Acceptable Manufacturers: Carlisle Syn Tec, Firestone Building Products, Johns Manville.

SCHEDULE

EPDM MEMBRANE

- 60 mil fully adhered membrane per plan and proposal.
- or 60 mil or 45 mil ballasted per plan and proposal.
- Fasteners per manufacturer's recommendation.
- Comply with all local building codes.
- Assembly to have UL Class A Fire Hazard Classification

BONDING AGENT

- Neoprene based - compatible with all applicable substrates.
- Lap Splices: EPDM based compatible with EPDM membrane.

VAPOR RETARDER

- Emil vapor barrier required at carwash or freezer applications or as indicated per plan and specification.

ROOF INSULATION

- Polyisocyanurate closed cell foam with black glass reinforcing.
- Thickness / layer per plan.
- EPS foam to be isolated with dens deck to maintain UL Class A Fire Hazard Classification.

METAL ACCESSORIES

- Continuous metal edge termination to be aluminum, water tight, and with no exposed fasteners.
- Parapet cap flashings to be .032 minimum aluminum with reverse pitch toward the roof.

MATERIALS - GENERAL REQUIREMENTS

- A. Materials to be compliant with ASTM D 4637

INSTALLATION

- A. Install roofing, flashing, insulation, and accessories in accordance with the manufacturers recommendations
- B. Installation by properly trained and certified personnel only.
- C. All surface preparations per EPDM manufacturer's recommendations.

PROTECTION

- A. Protect membrane roofing system from damage and wear during remainder of construction.
- When remaining construction will not affect or endanger roofing, inspect roofing for deterioration and damages.
- B. Correct all deficiencies in membrane that do not comply with requirements.
- C. Protect adjacent property, vehicles, and persons from damage related to roofing work.

DIVISION 08 - DOORS & WINDOWS

08360 - OVERHEAD SECTIONAL DOORS 91.8.36)

MANUFACTURERS

- A. SECTIONAL DOOR - Overhead Door Corporation, EZ Therm, or equal
- B. OPERATORS - Liftmaster or equal

SCHEDULE

SECTIONAL DOOR

- 16 gauge galvanized steel grooved for added strength
- Doors to be full 1 5/8" thick with roll formed T & G joints for weathertightness
- End styles to be minimum 13 gauge galvanized steel riveted to outside face
- Center styles to be minimum 16 gauge galvanized steel riveted to outside face
- Insulated doors to have an R-value of 15 or better
- Final color and style per material selection form
- Reinforcement for hardware attachments and applicable wind loads

COMPONENTS

- Door track to be 3" galvanized for all doors 14' x 14' or larger
- Hardware to be galvanized steel, heavy duty hinges, and free floating hardened steel ball bearing rollers
- Counterbalance to be helically wound high tensile torsion springs with tapered drums and galvanized cables
- Weatherstrip to seal all sides of the door
- Bottom astragal to be compression fit and replaceable
- Lites in door sections to be insulated and sealed for weather tightness

OPERATOR

- 1/2 hp minimum with push button control station per manufacturers recommendations for door sizes
- Electronic eyes & safety accessories as required by code
- Remotes as requested

INSTALLATION

- A. All required backing to be supplied and installed by the Overhead Door subcontractor
- B. Install all products per manufacturers recommendations
- C. Field verify all dimensions
- D. Installation by properly trained and certified personnel only
- E. Operator limits to be set by the Overhead Door subcontractor
- F. Damages caused by the installer to other finishes are subject to backcharge
- G. Install all material plumb and true, free from any warp and twist
- H. Remove any adhered signage from doors immediately after installation

PROTECTION

- A. Weather protection is the responsibility of the Subcontractor.
- B. Any damaged product caused by weather is the responsibility of the subcontractor prior to installation
- C. Correct all deficiencies that do not comply with project requirements

08410 - ALUMINUM STOREFRONTS (1.8.41)

SUBMITTALS

- A. Submit (1) electronic copy of shop drawings within (2) weeks of subcontract award.

MANUFACTURERS

- A. ALUMINUM FRAMING - Kawneer, Tubelite, or equal per material selection form
- B. GLAZING - Oldcastle Building Envelope or equal

SCHEDULE

FRAMING

- Alloy and temper aluminum per manufacturer recommendation.
- Doors to be standard 1 3/4" thick.
- Rails and stiles to be minimum 3.2mm thick.
- Rail and Stile size per RFQ - Bottom rail to be ADA compliant
- Aluminum frame to be thermally broken meeting a minimum U-factor of .85 BTU/hr x sq ft Fahrenheit
- Painted frames to be 70% PVDF with a 10 year fade and chalk warranty

HARDWARE

- Closer to be LCN 1461 or equal
- Weatherstrip to be standard manufacturer pile
- Threshold to be aluminum aluminum ADA compliant
- Entry hardware per code requirements
- Hinges to be one pair of 4 1/2" ball bearing unless specified otherwise

GLAZING

- Gaskets to be extruded EPDM rubber standard compression type
- Glazing to have low E coating standard
- Glazing to be tempered as required
- Solar gain to be .68 maximum
- Glass tint as specified in the material selection form
- Annealed glass to consist of 2 layers minimum 1/8" each

FLASHING

- Extruded sill flashing with end dams to match frame color - set in sealant
- Frames to be sealed with Thermo-Dymonic caulk or equal
- Framing members to be strapped with breakmetal to match the storefront material as required.

INSTALLATION

- A. Fill all voids and shim spaces with insulation
- B. Install all products per manufacturers recommendations
- C. Field verify all dimensions
- D. Installation by properly trained and certified personnel only
- E. All openings and penetrations to be sealed by the aluminum storefront subcontractor to assure weather tightness.
- F. Damages caused by the installer to other finishes are subject to back charges
- G. Provide separation where aluminum frames will contact dissimilar materials
- H. Install all material plumb and true, free from any warp and twist
- I. Clean aluminum framing and remove excess sealant after installation
- J. Remove any adhered signage from glazing immediately after installation

PROTECTION

- A. Weather protection is the responsibility of the Subcontractor.
- B. Any damaged product caused by weather is the responsibility of the aluminum storefront subcontractor prior to installation
- C. Projects where new work areas adjoin an existing building will require the aluminum storefront subcontractor to protect the existing building.
- D. Correct all deficiencies that do not comply with project requirements

DIVISION 09 - FINISHES

09250 - DRYWALL / PLASTER (1.9.25)

MANUFACTURERS

- A. Georgia - Pacific, National Gypsum Co., United States Gypsum, or equal

SCHEDULE

GYPSPUM BOARD

- 5/8" thickness unless otherwise specified or as required for rated assemblies
- Board to be of maximum lengths to reduce end butt joints
- Board to be a minimum 48" wide
- Water-resistant board adjacent to showers and as indicated
- Edges to be tapered unless otherwise specified
- Board to be compatible with final finish

TRIM ACCESSORIES

- Corner beads to be zinc coated steel or formed plastic
- Window returns to have lead away bead corners
- One piece control joint with V shaped slot and removable strip
- Resilient channel to be galvanized, hat shaped, 25 gauge minimum, and of a depth per plan

JOINT TREATMENT

SITE UTILITIES

ALL UTILITIES SHALL BE INSTALLED PER INDUSTRY STANDARDS. WATER, SANITARY AND STORM SEWER SHALL BE INSTALLED PER "STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN". THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, APPLYING FOR, SCHEDULING AND COORDINATING THE INSTALLATION OF GAS, ELECTRIC, AND COMMUNICATION SERVICES.

LOCATIONS OF SITE UTILITIES ON THIS PLAN ARE PRELIMINARY AND MUST BE VERIFIED BY THE SITE UTILITY CONTRACTOR.

SITE WORK

THE SITE WORK CONTRACTOR IS REQUIRED TO CONTACT DIGGER'S HOTLINE. ALL UTILITIES SHALL BE LOCATED PRIOR TO STARTING EXCAVATION.

ALL EXCAVATION AND BACK FILL FOR MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE MECHANICAL CONTRACTOR. THESE TRENCHES ARE TO BE FILLED IN 8" LIFTS AND COMPACTED TO 95% OF THE MODIFIED PROCTOR VALUE. ENSURE TRENCH ROUTE IS CLEAR OF UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO DIGGING.

THE EXCAVATION CONTRACTOR SHALL ADVISE THE GENERAL CONTRACTOR OF ANY SOIL CONDITIONS WHICH APPEAR OUT OF THE ORDINARY. THE SOIL BEARING CAPACITY IS LISTED ON THE COVER SHEET.

ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS AND AT SITE FILL AREAS SHALL BE REMOVED. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION.

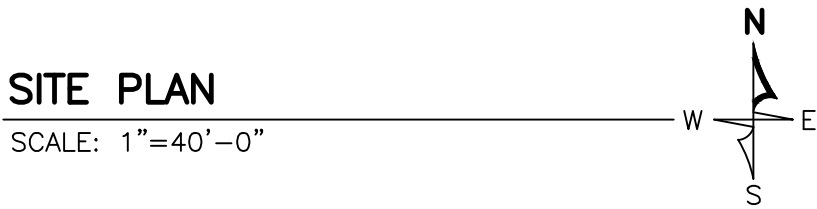
ALL SUB GRADE FILL UNDER PAVED AREAS AND BUILDING AREAS SHALL BE CLEAN GRANULAR FILL CONFORMING TO GRADE 1 OR 2 OF SECTION 209 MOOT STANDARD. PLACE IN 8" MAXIMUM LIFTS AND COMPACT TO 95% OF THE MODIFIED PROCTOR VALUE. GRAVEL BASE BENEATH FLOOR SLABS SHALL BE 6 INCHES OF 3/4" GRADED STONE OR SAND COMPACTED TO THE ABOVE STANDARD. GRAVEL BASE BENEATH DRIVES, PARKING AREAS, AND APRONS SHALL BE 12" OF COMPACTED CRUSHED STONE. TYPAR SHALL BE INSTALLED WHENEVER THIS 12" BASE RESTS ON CLAY OR LOOSE SOILS. FILL SHALL NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACKFILL.

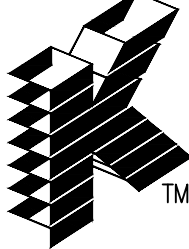
FOUNDATION TRENCHES MUST BE BACK FILLED UNIFORMLY ON EACH SIDE WITH SAND. PLACE FILL IN 8" LIFTS AND COMPACT TO 95% OF THE MODIFIED PROCTOR VALUE. THE EXTERIOR SIDE MAY BE FILLED WITH COMPACTED NON-STRUCTURAL FILL IF THERE WILL NEVER BE A PARKING LOT OR ADDITION ON THAT SIDE. WHEN IN DOUBT, BACK FILL WITH SAND.

THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AT A MINIMUM OF 2% SLOPE FOR 10'-10" AWAY FROM THE BUILDING, STARTING AT 5' BELOW THE FLOOR LINE OR AS INDICATED ON THE PLANS. PROVIDE 6" OF TOPSOIL AT ALL GRASS AND LANDSCAPED AREAS AND GRADE TO +/- 0.10 FEET.

SPLASH BLOCKS ARE TO BE PLACED AT ALL DOWN SPOUTS WHICH DISCHARGE AT GRADE AND AT SPRINKLER DRAIN VALVES.

IF A CURRENT GEOTECHNICAL REPORT OR PLANS BY A CIVIL CONSULTANT ARE AVAILABLE, ALL REQUIREMENTS OF THAT REPORT AND PLANS MUST BE FOLLOWED. WHEN THE STRUCTURAL/ARCHITECTURAL PLANS OR THE INFORMATION ABOVE CONFLICT WITH THE GEOTECHNICAL REPORT OR THE CIVIL PLANS, THE INFORMATION IN THE GEOTECHNICAL REPORT AND CIVIL PLANS SUPERCEDE.





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PROPOSED WAREHOUSE ADDITION FOR:

UNITED COOP - REEDSBURG WAREHOUSE

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REVISIONS	12-13-21	ISSUED FOR CONSTRUCTION

"ISSUED FOR CONSTRUCTION"

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IED PROJECT MANAGER:	C. DUESCHER
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CONTRACT NO:	77137
IED NO:	21157
ISSUED DATE:	Nov. 5, 2021

SHEET: **C1.0**

Page 11 of 26

CONCRETE

CONCRETE CONTRACTOR SHALL VERIFY SOIL CONDITIONS BEFORE PLACING FOUNDATIONS AND SLABS. NOTIFY THE GENERAL CONTRACTOR IF ANY SOIL CONDITIONS APPEAR OUT OF THE ORDINARY.

FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR STRUCTURAL FILL. DO NOT PLACE FOOTINGS ON FROZEN GROUND.

DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94.

1) FOOTINGS AND WALLS SHALL HAVE STRENGTH EQUAL TO 3,000 PSI AT 28 DAYS.

2) SLABS ON GRADE AND CONTAINMENT CURBS SHALL HAVE STRENGTH EQUAL TO 4,500 PSI AT 28 DAYS.

3) EXTERIOR CONCRETE SHALL HAVE STRENGTH EQUAL TO 4,000 PSI AT 28 DAYS.

4) COLUMNS, BEAMS AND STRUCTURAL SLABS SHALL HAVE STRENGTH EQUAL TO 4,000 PSI AT 28 DAYS.

5) PRE CAST TOPPING SHALL HAVE STRENGTH EQUAL TO 4000 PSI AT 28 DAYS.

6) SLUMP SHALL NOT EXCEED 4".

7) ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED WITH 4-7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT THE APPROVAL OF THE GENERAL CONTRACTOR. CALCIUM CHLORIDE SHALL NOT BE USED.

8) MAXIMUM AGGREGATE SIZE FOR FOOTING TO BE 1 1/2" AND MAXIMUM AGGREGATE SIZE FOR ALL OTHER WORK TO BE 3/4".

PLACE FLOOR SLABS WITH CONSTRUCTION JOINTS OR SAW JOINTS NOT EXCEEDING A MAXIMUM OF 156 SQUARE FEET OR AS INDICATED ON THE PLANS. SAW CUTTING TO BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED.

INTERIOR SLABS TO HAVE A TROWEL FINISH AND EXTERIOR SLABS TO HAVE A LIGHT BROOM FINISH. MAINTAIN FLOOR LEVEL AT WALLS AND PITCH SURFACES UNIFORM TO DRAIN.

CONCRETE TO BE SEALED OR WET CURED FOR 7 DAYS. FLOORS TO RECEIVE TILE OR EPOXY TO BE WET CURED ONLY. EXTERIOR SLABS SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 1/2" FIBER EXPANSION JOINT.

DESIGN AND CONSTRUCTION OF CAST-IN-PLACE CONCRETE SHALL CONFORM TO ACI 318 AND CRSI STANDARDS.

ANCHOR BOLTS AND THREADED RODS TO BE ASTM F1554, MINIMUM GRADE A36.

REINFORCING STEEL

REINFORCING STEEL TO CONFORM TO ASTM-A615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM-A185. LAP ALL HORIZONTAL REINFORCING AT SPICES AND AROUND CORNERS 30 BAR DIAMETERS. WELDED WIRE FABRIC IS TO BE LAPPED 6" AND PLACED IN THE CENTER OF THE SLAB UNLESS INDICATED OTHERWISE. REINFORCING SHALL BE PLACED IN CONFORMANCE WITH CRSI "RECOMMENDED PRACTICES FOR PLACING BARS" AND ACI 318. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE, DIRT OR DEEP RUST WHEN PLACED. PROVIDE CONCRETE PROTECTION FOR REBARS PER ACI 318 SECTION 7.7.

CONCRETE RAMP OR LANDING

4x3 3/4" ANGLE ANCHORED TO RAMP LANDING AND SLOPED AREAS WITH 1/2" EXPANSION BOLT AT 4'-0" O.C. WITH 3" EMBEDMENT

FLOOR SLAB PER FOUNDATION PLAN

RAMP AND LANDING EDGE DETAIL

SCALE: 1"=1'-0"

1
S1.0

CONCRETE CONSTRUCTION NOTES:

1. ALL INTERIOR CONCRETE TO BE 4,500 PSI.
 2. ALL SEALANTS TO BE POLYURETHANE APPROVED BY DATCP.
 3. ALL REINFORCING TO BE GRADE 60.
 4. WATERSTOP SHALL BE TPR.
 5. ALL SAWCUTS SHALL BE FILLED W/ SEALANT.
 6. FLOOR SHALL BE DATCP APPROVED FOR SECONDARY CONTAINMENT OF MINI-BULK CONTAINERS.
 7. FIELD VERIFY FINAL DOCK ELEVATIONS, BENCH MARKS, AND EXTERIOR CONCRETE.
- BENT REBAR TO HAVE MINIMUM BENDING RADIUS 6x BAR DIAMETER. (TYPICAL)

NOTES:

1. ALL INTERIOR CONCRETE TO BE 4,500 PSI.
2. ALL SEALANTS TO BE POLYURETHANE APPROVED BY DATCP.
3. ALL REINFORCING TO BE GRADE 60.
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FOUNDATION PLAN

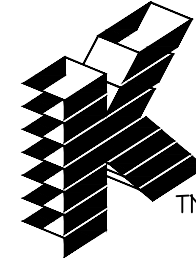
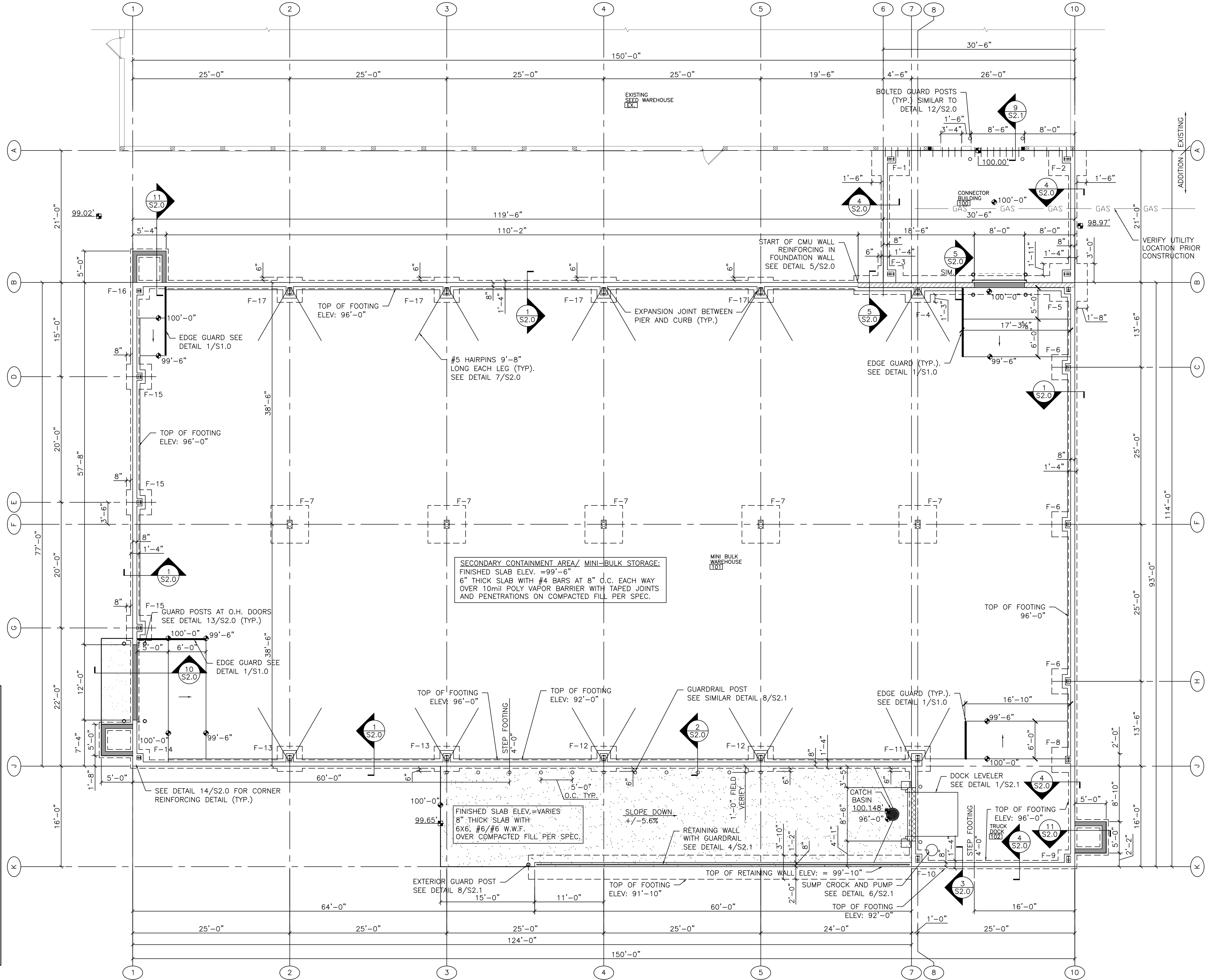
SCALE: 1/8"=1'-0"



TOP OF FOUNDATION WALL KEY

- TOP OF CONCRETE = (100'-0")
 - TOP OF CONCRETE = (99'-4")
 - TOP OF CONCRETE = (97'-8")
- VERIFY WITH LEVELER SUPPLIER

- xx'-x" = PROPOSED ELEVATION
- xx.xx' = EXISTING ELEVATION



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REVISIONS

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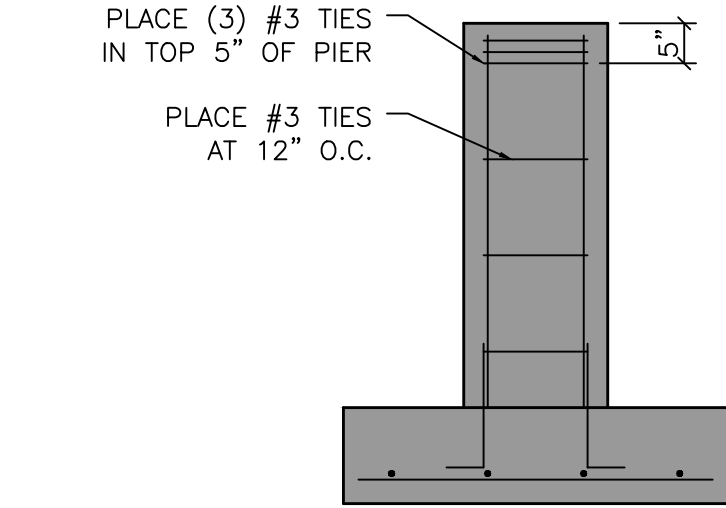
Nov. 5, 2021

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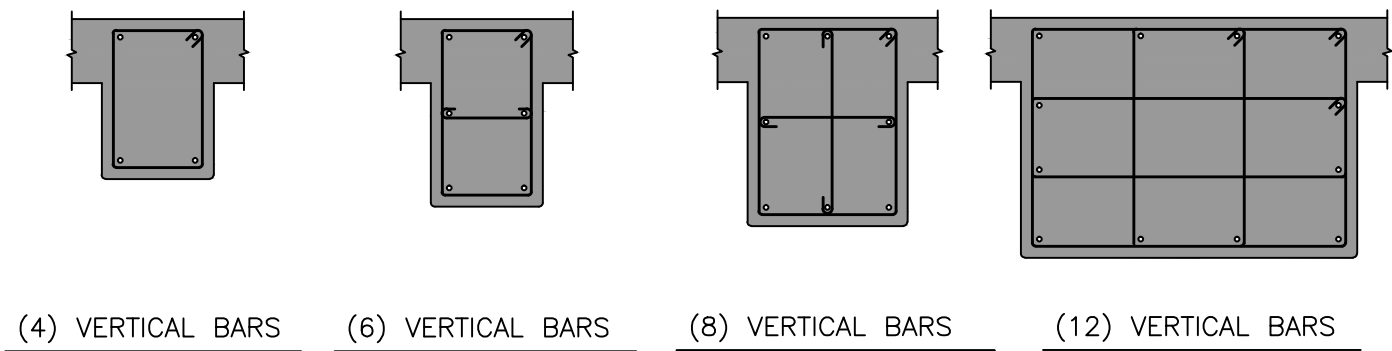
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FOOTING SCHEDULE											
MARK	FOOTING SIZE (LxWxTHICKNESS)	FOOTING REINFORCING	TOP OF FOOTING	DETAIL	PIER SIZE	PIER REINFORCING	TOP OF CONCRETE PIER	GROUT	ANCHOR BOLTS	BASEPLATE DETAIL	REMARKS
F-1	4'-0" x 6'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	10/S2.1	24"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP200-B	-
F-2	4'-0" x 6'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	10/S2.1	24"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP200-D	-
F-3	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	10/S2.1	24"x34"	(8) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP200-A	-
F-4	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	6/S2.0	14"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP04-A(2)	-
F-5	6'-0" x 6'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	6/S2.0 SIM.	SEE PIER DETAIL	(12) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(8) ¾"	BP200-C, BP05-A	-
F-6	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	15/S2.0	14"x18"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP01-D	-
F-7	6'-0" x 6'-0" x 18"	#4 BARS AT 12" O.C. EACH WAY (TOP) AND #6 BARS AT 12" O.C. EACH WAY (BOTTOM)	98'-10"	16/S2.0	-	-	-	-	(4) ¾"	BP03-A(1), BP03-A(2)	-
F-8	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	11/S2.1	14"x18"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP05-B	-
F-9	3'-0" x 3'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	11/S2.1	20"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP300-B	-
F-10	3'-0" x 3'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	92'-0"	11/S2.1	20"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP300-A	-
F-11	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	92'-0"	6/S2.0	20"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP04-B(2)	-
F-12	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	92'-0"	6/S2.0	14"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP04-B(1), BP02-B(2)	-
F-13	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	6/S2.0	14"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP02-B(1)	-
F-14	3'-0" x 3'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	11/S2.1 SIM.	20"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP01-A	-
F-15	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	6/S2.0	14"x20"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP01-B	-
F-16	3'-0" x 3'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	10/S2.0	20"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP01-C	-
F-17	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	6/S2.0	14"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP02-A, BP04-A(1)	-

NOTES: 1. FOOTING DIMENSIONS ON AN EXTERIOR WALL INCLUDE THE WIDTH OF THE STRIP FOOTING.
2. PIER DIMENSIONS INCLUDE THE WIDTH OF THE ADJACENT FOUNDATION WALL.

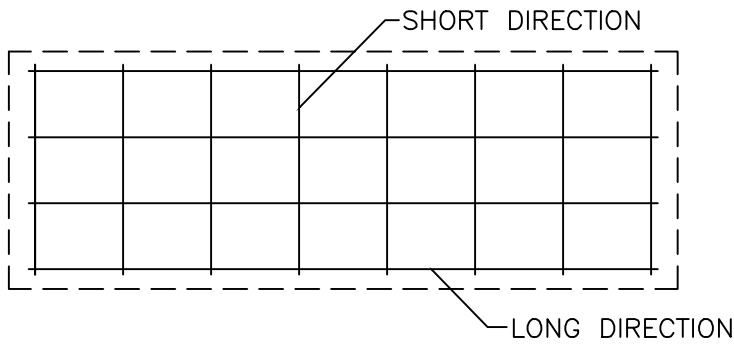


TYPICAL TIE PLACEMENT AT PIERS



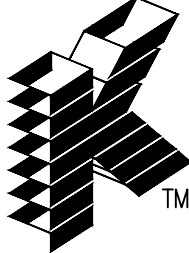
TYPICAL ARRANGEMENTS FOR PIER REINFORCING

ARRANGE VERTICAL BARS AND TIES AS SHOWN UNLESS ANOTHER ARRANGEMENT IS SPECIFICALLY DETAILED WITH THE PIER CROSS SECTION DETAIL.



FOOTING REINFORCEMENT LAYOUT

TYPICAL ANCHOR BOLT STANDARDS						
ANCHOR BOLTS (NO GROUT)						DIAGRAM
SIZE	EMBEDMENT	PROJECTION	THREAD	LENGTH	HOOK	
1/2" DIA.	9"	3"	4"	12"	2"	
5/8" DIA.	9"	3"	4"	12"	2"	
3/4" DIA.	12"	3"	4"	15"	3"	
1" DIA.	24"	3"	4"	27"	3"	
1 1/4" DIA.	21"	3"	4"	24"	4"	
1/2" EXPANSION BOLTS				5"		
3/4" EXPANSION BOLTS				5"		
NOTES: 1. ALL ANCHOR BOLTS MUST BE ASTM F1554 GRADE 36 MINIMUM. 2. PROVIDE NUT AND WASHER AS SHOWN						



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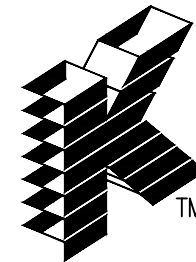
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REVISIONS
 12-13-21 ISSUED FOR CONSTRUCTION

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PROJECT MANAGER:	C. VANDEWETTERING
DESIGNER	R. LINDSTROM
IED PROJECT MANAGER:	C. DUESCHER
EXPEDITOR:	C. HOYER
SUPERVISOR:	D. CRAKER
CONTRACT NO:	77137
IED NO:	21157
ISSUED DATE:	Nov. 5, 2021
SHEET:	S1.1



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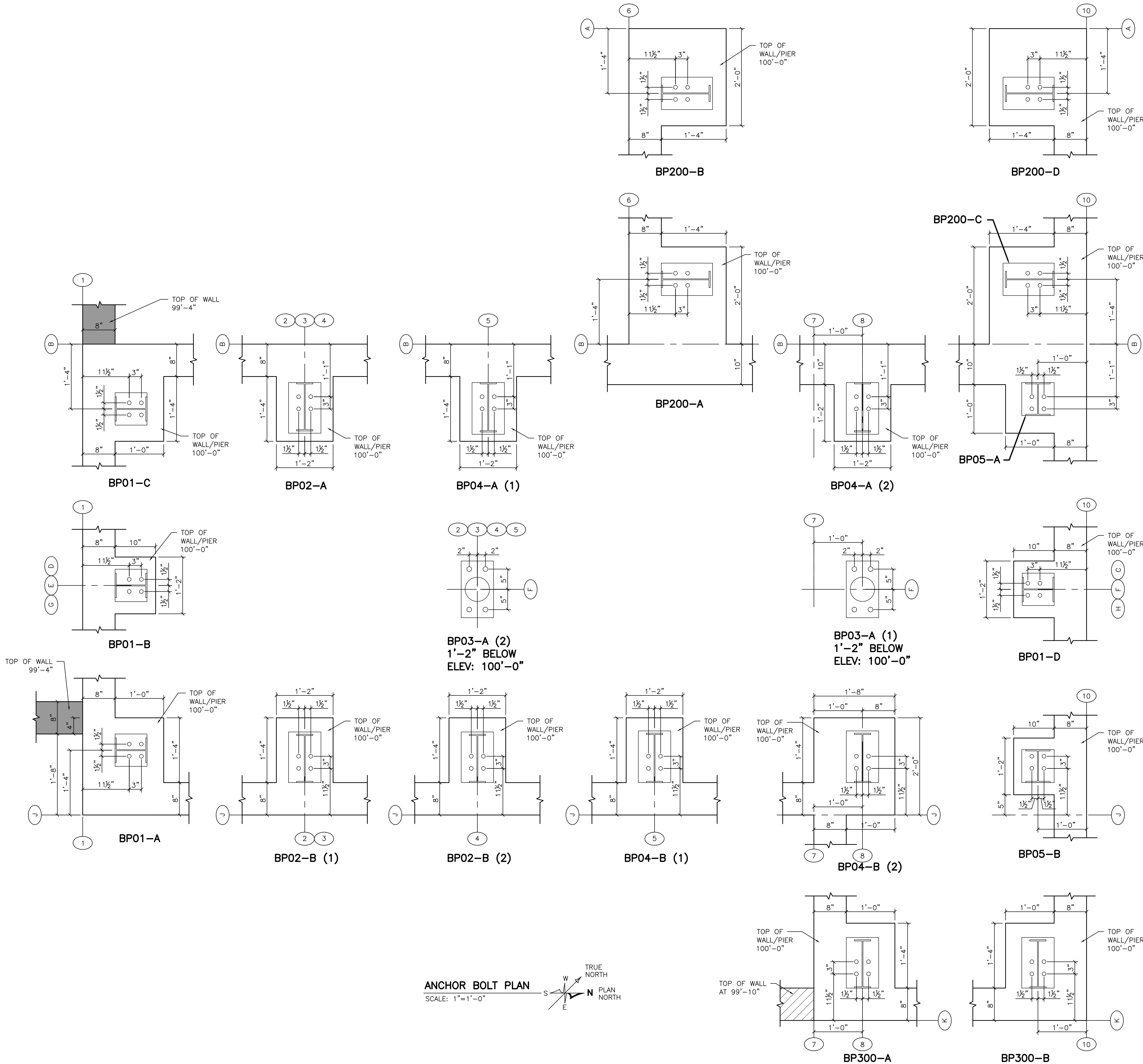
SUPERVISOR:
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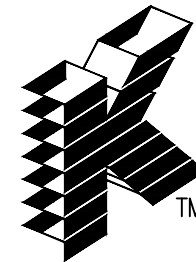
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ANCHOR BOLT PLAN
SCALE: 1"=1'-0"
TRUE NORTH
PLAN NORTH



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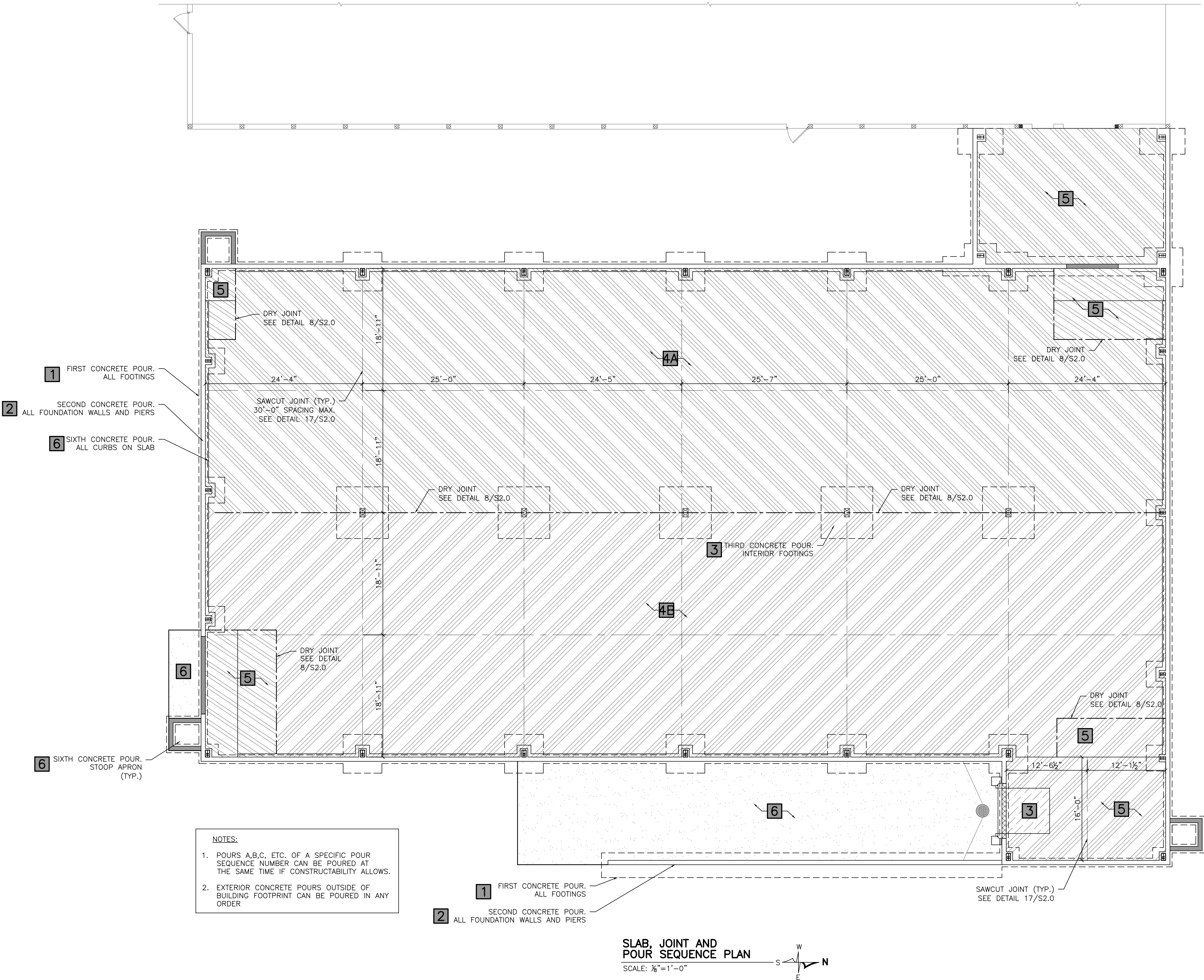
SUPERVISOR:
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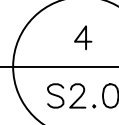
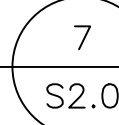
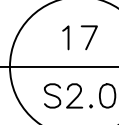
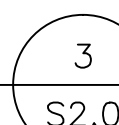
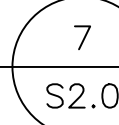
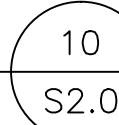
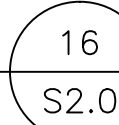
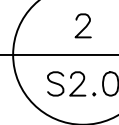
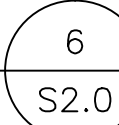
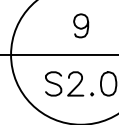
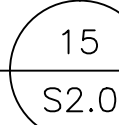
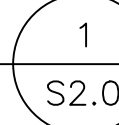
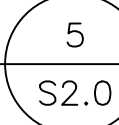
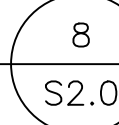
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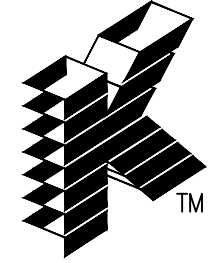
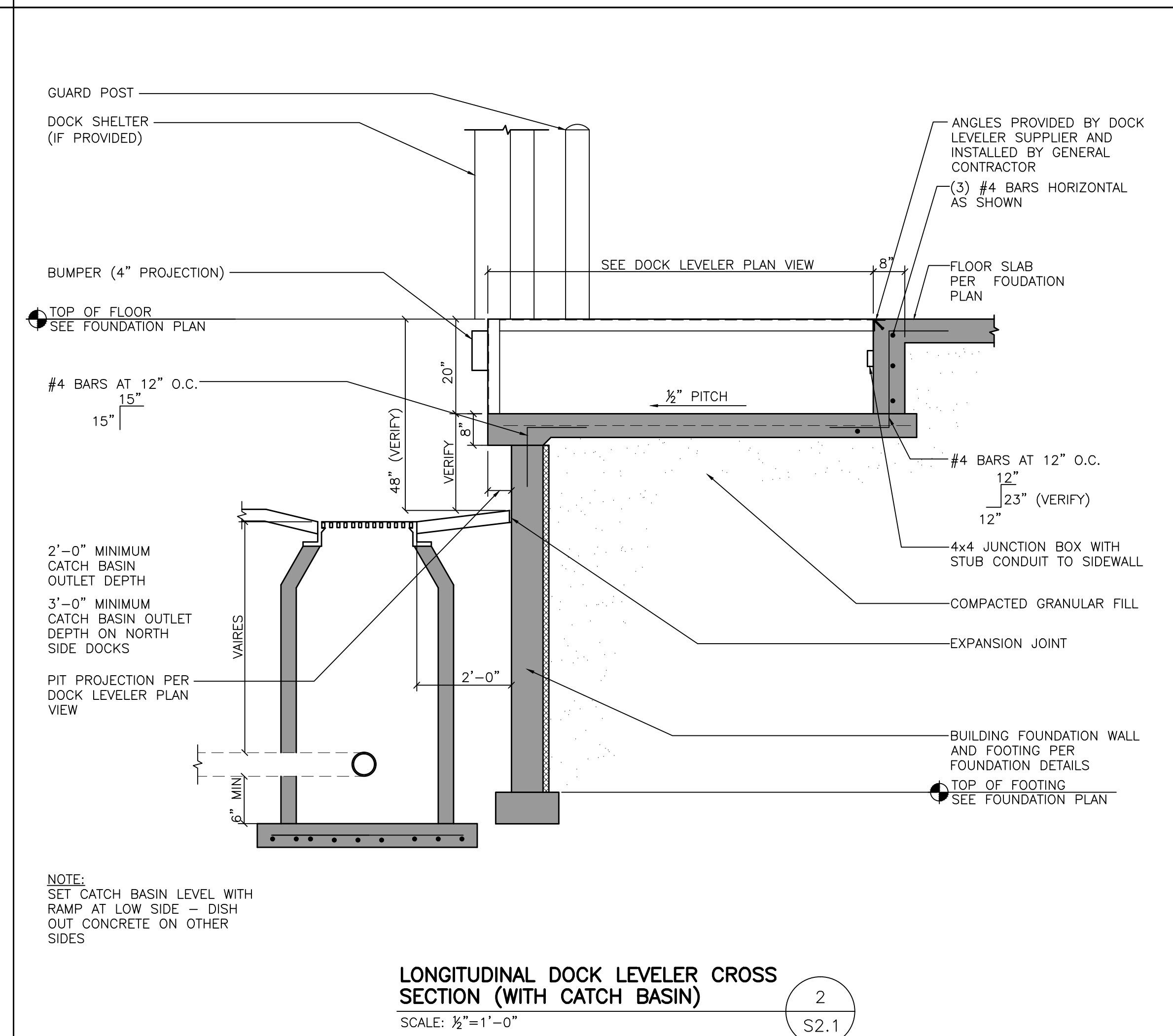
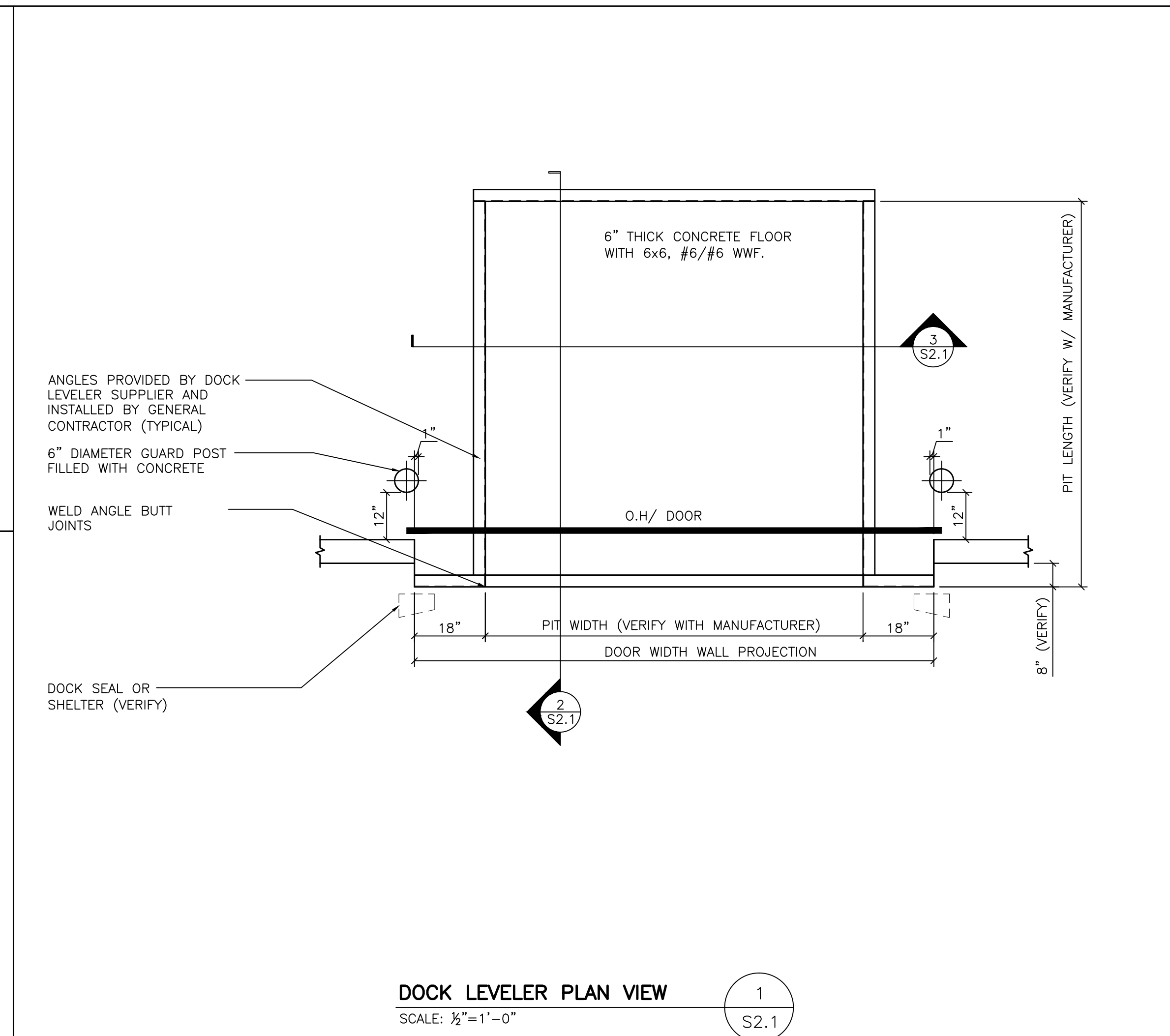
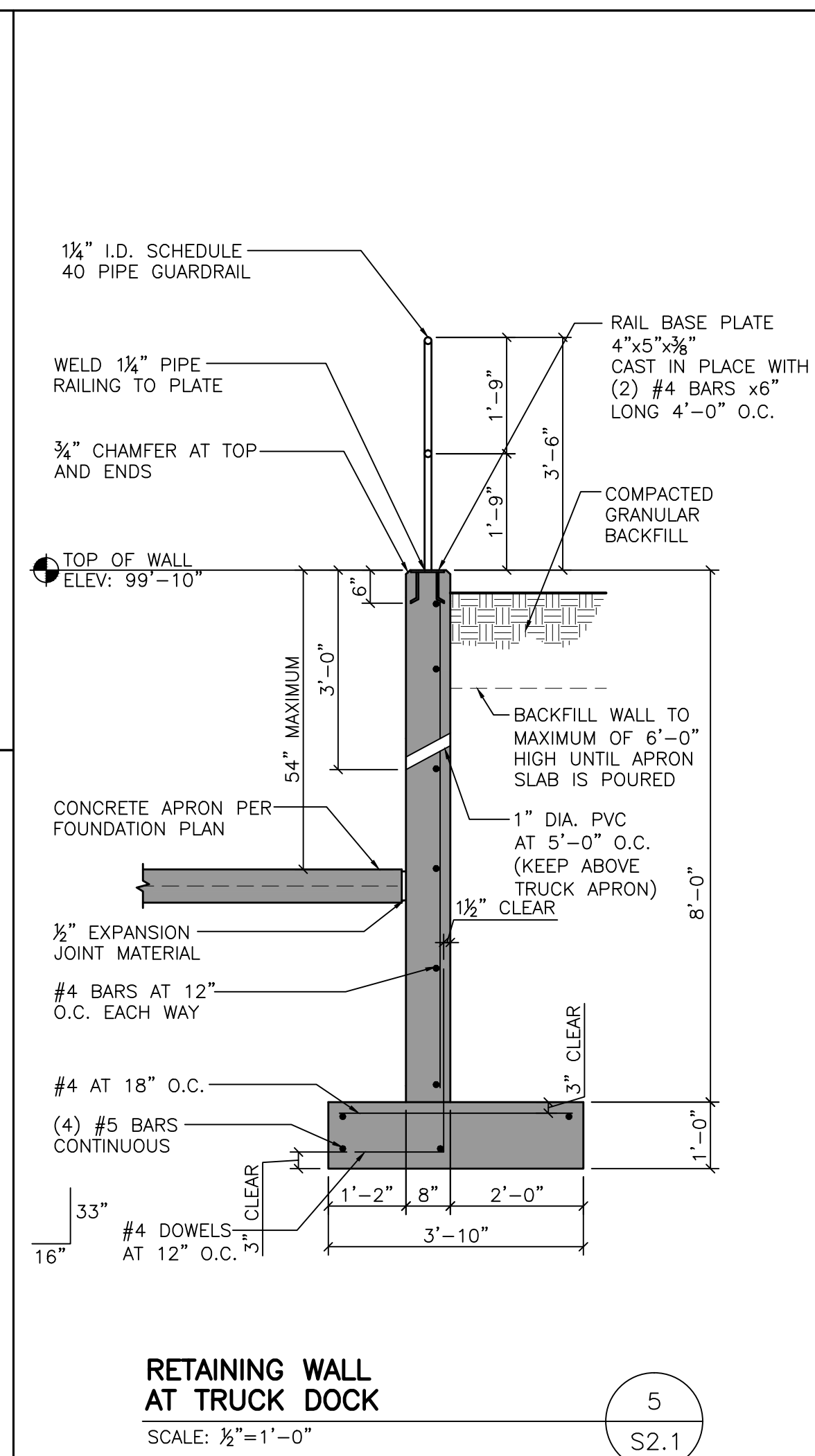
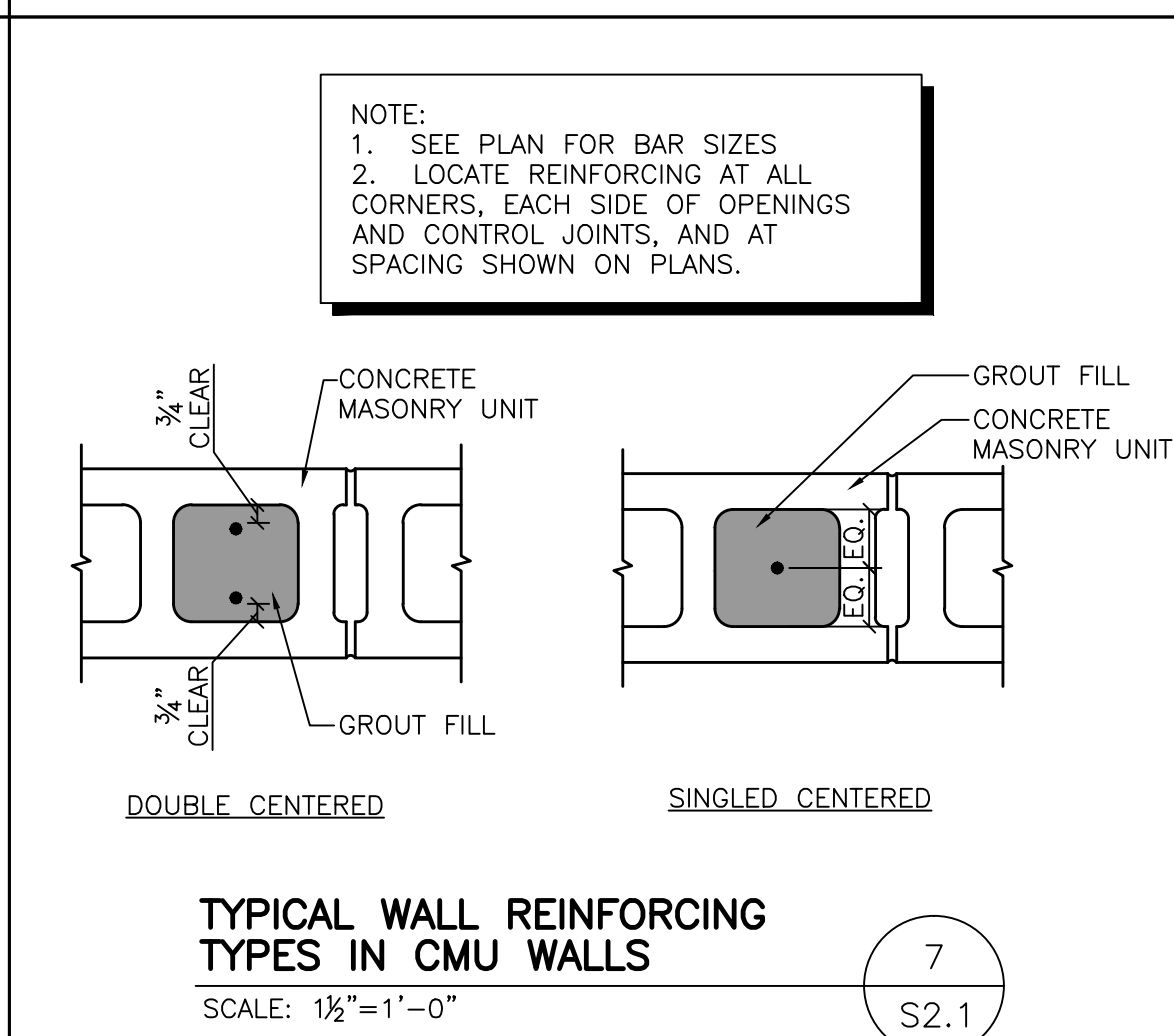
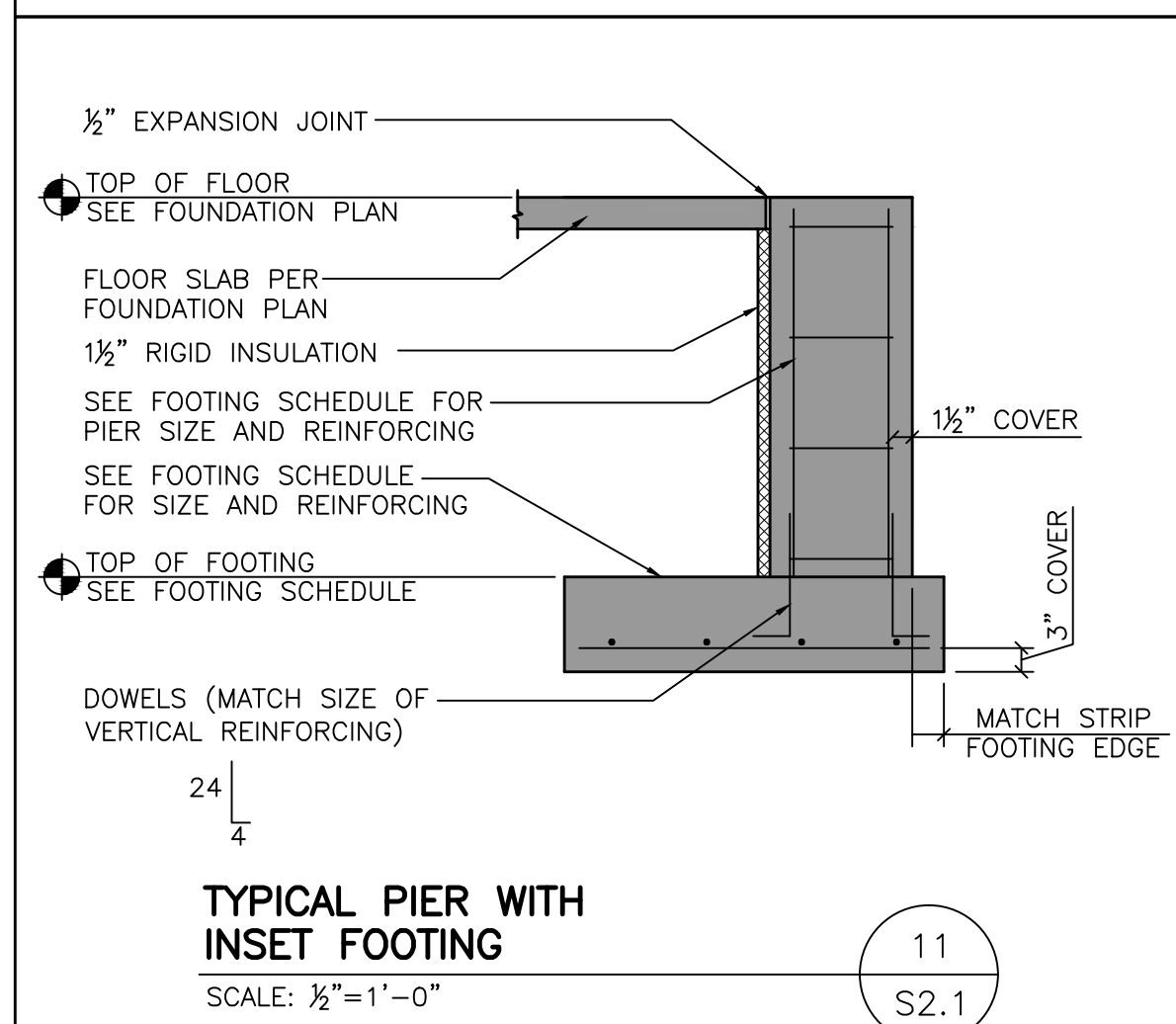
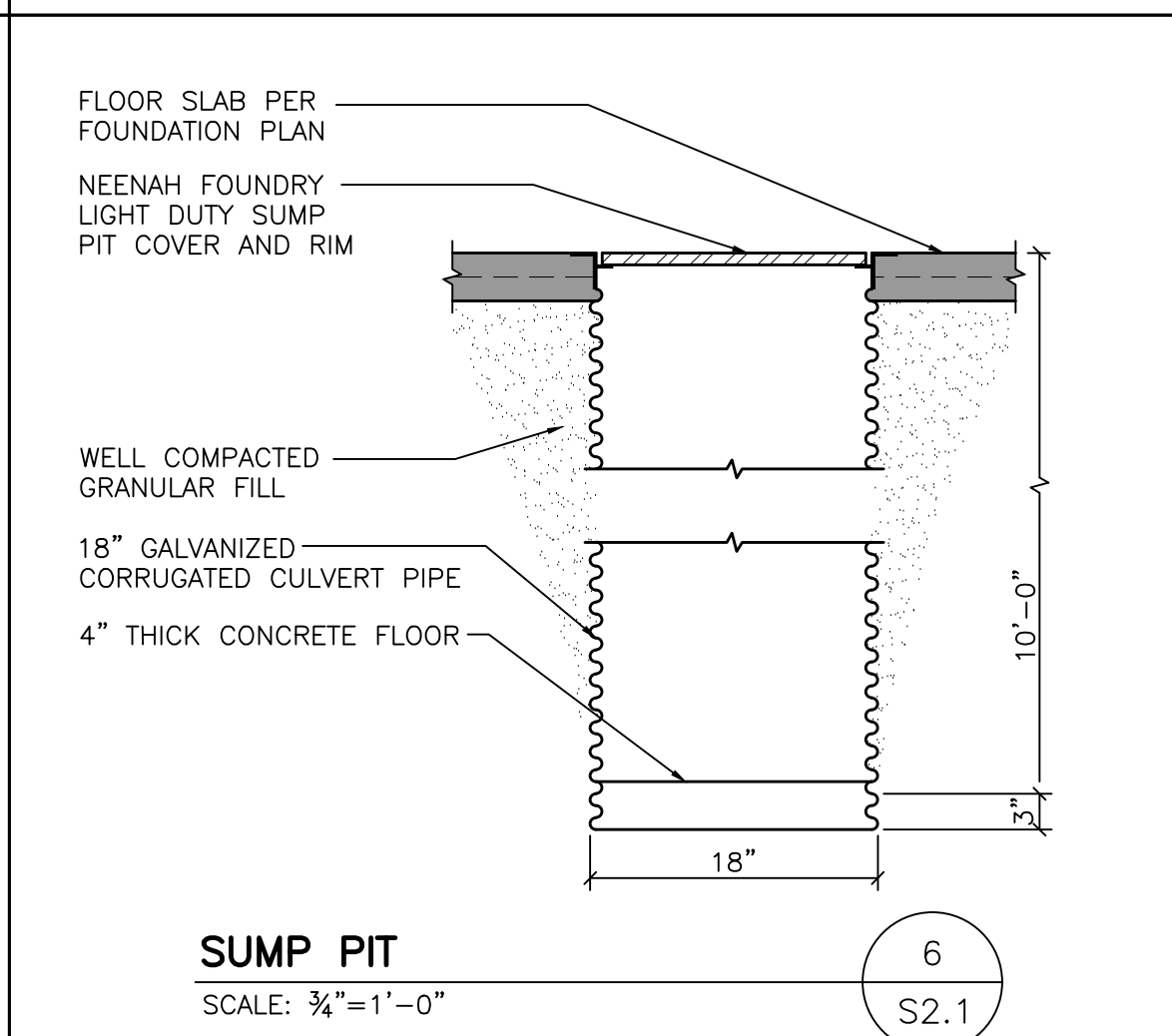
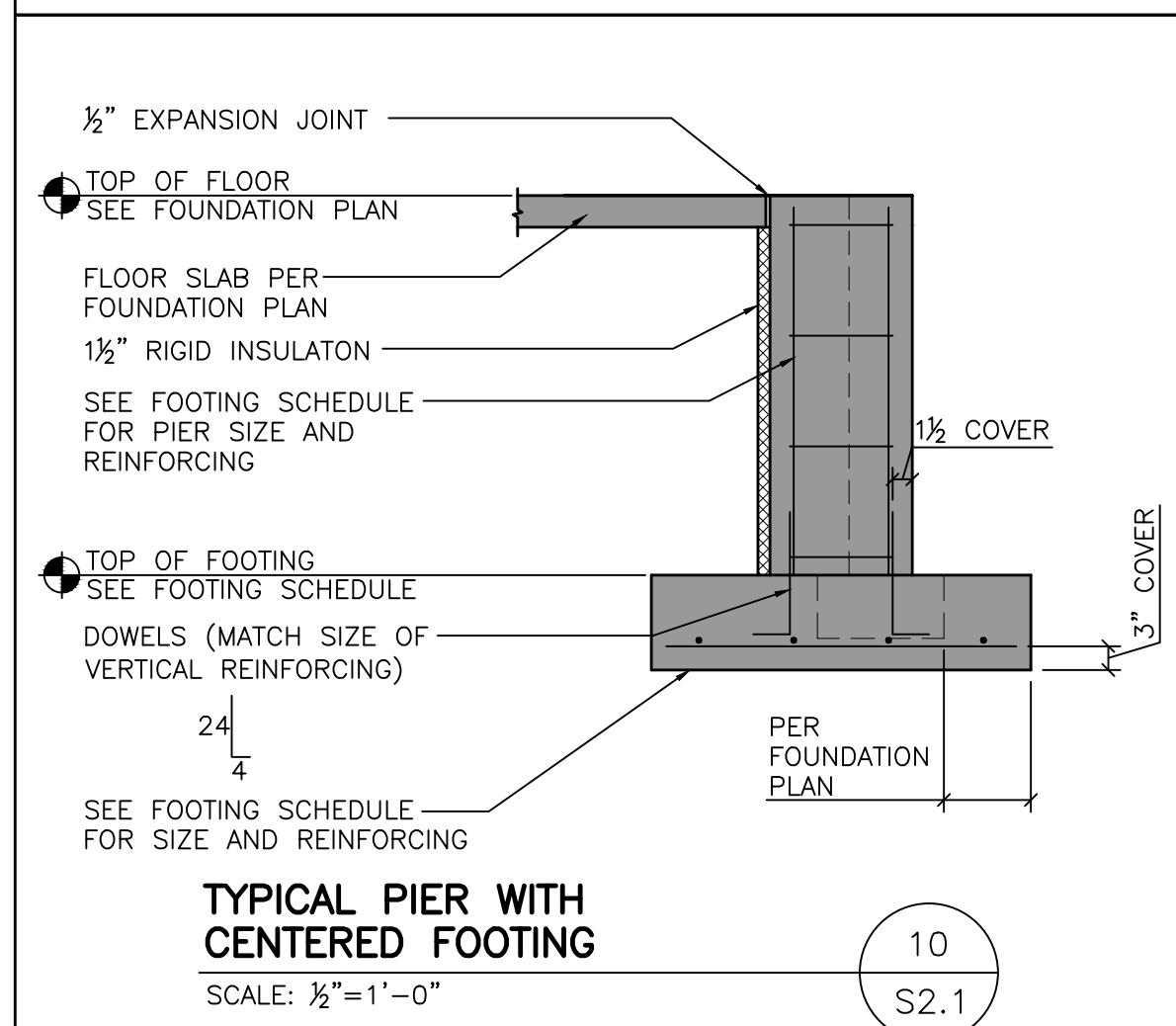
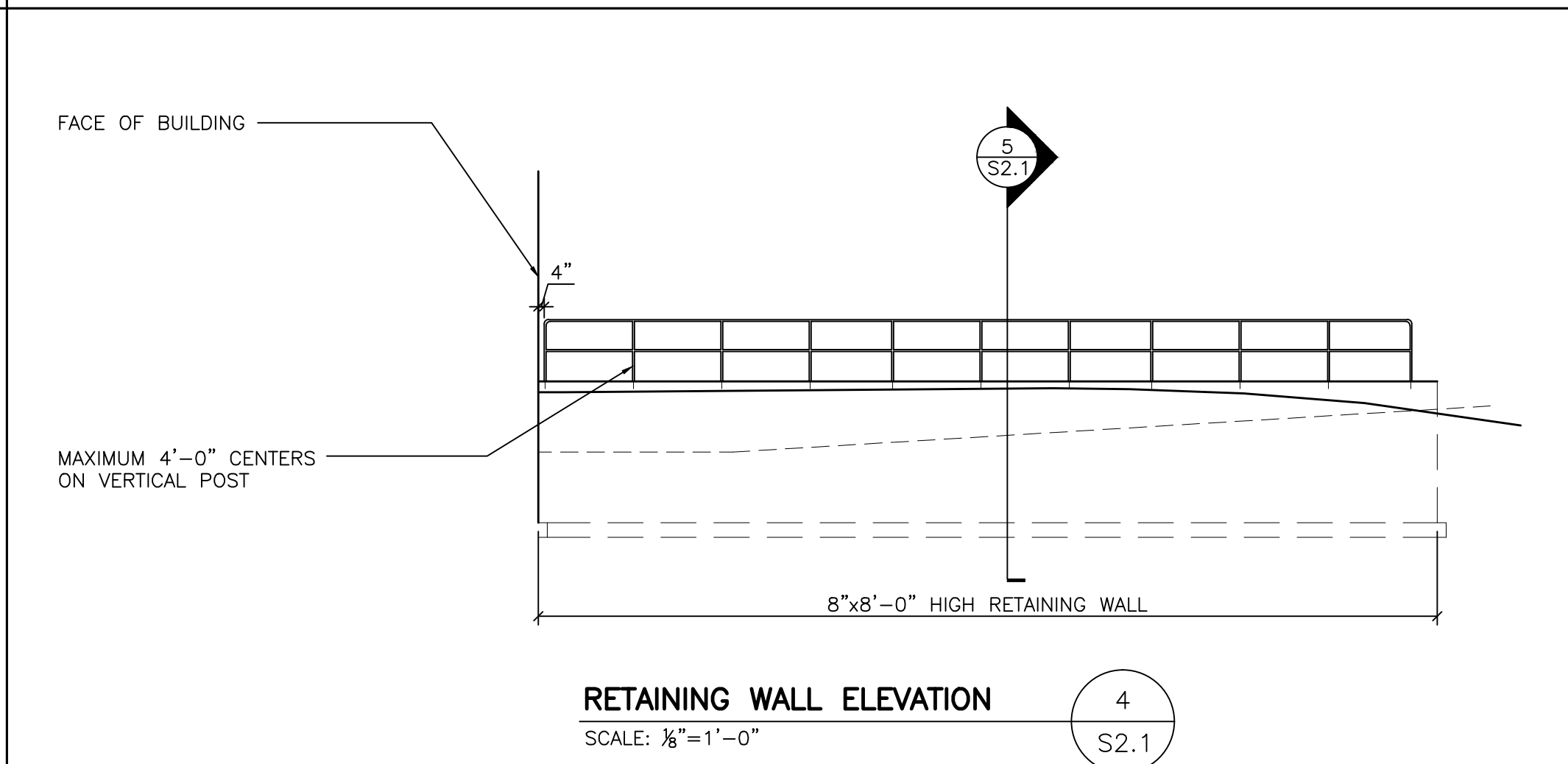
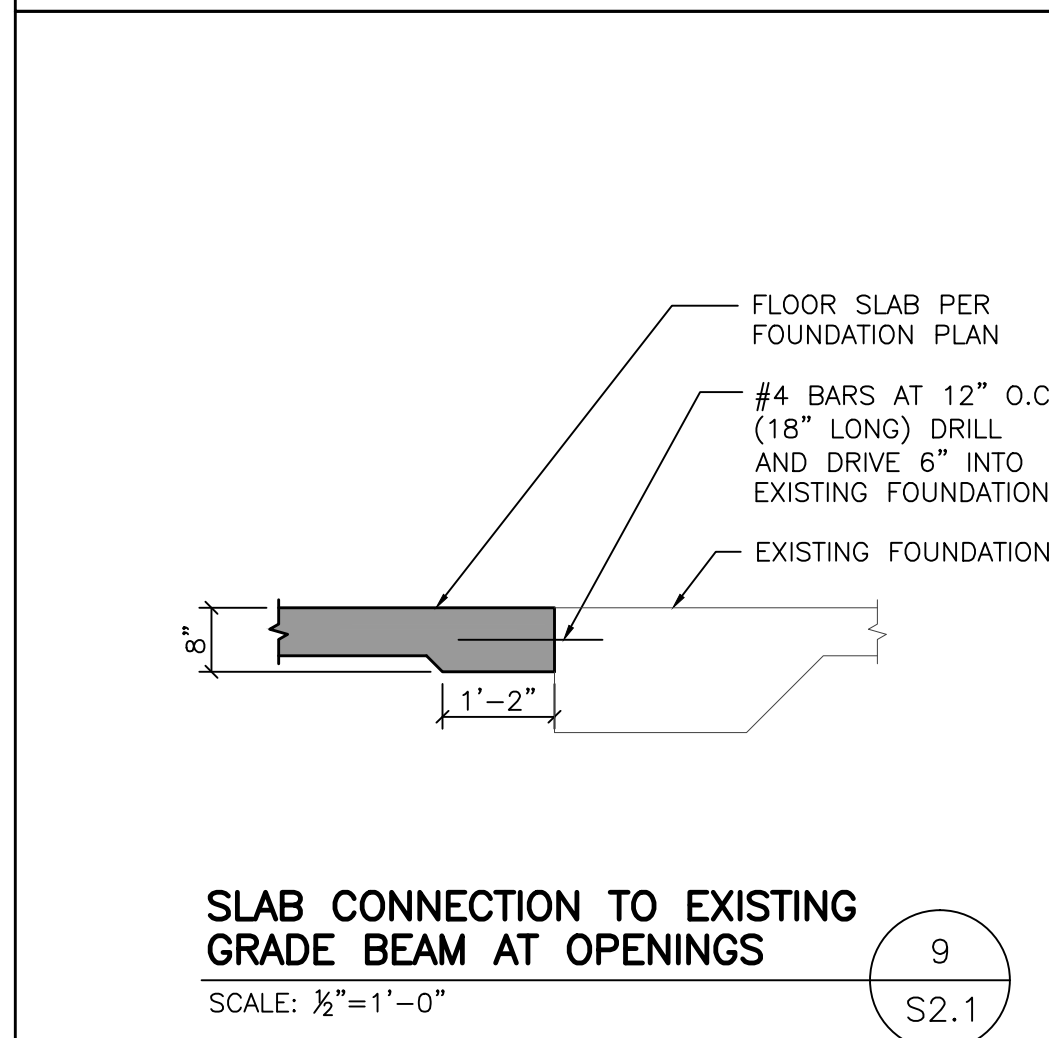
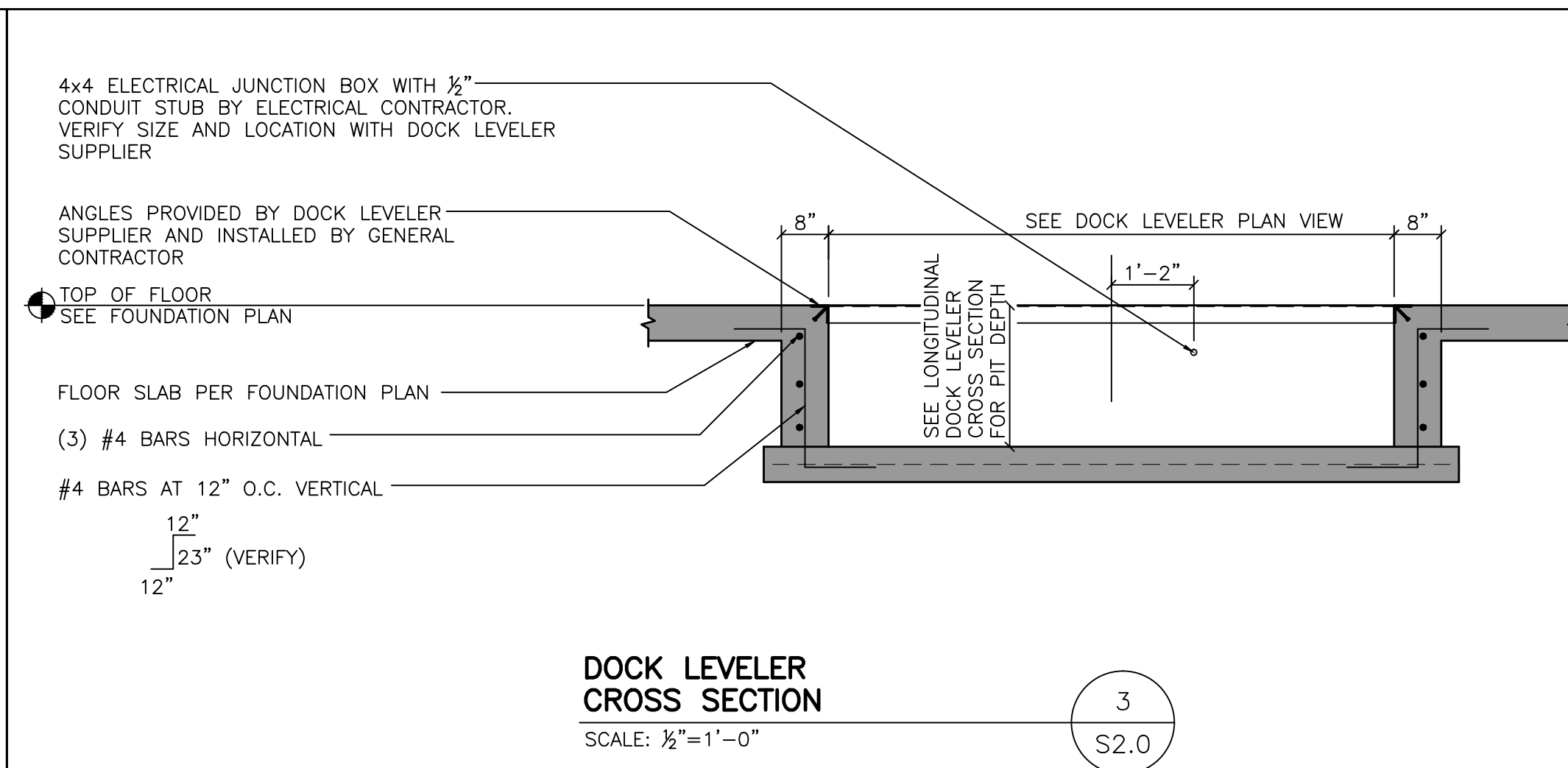
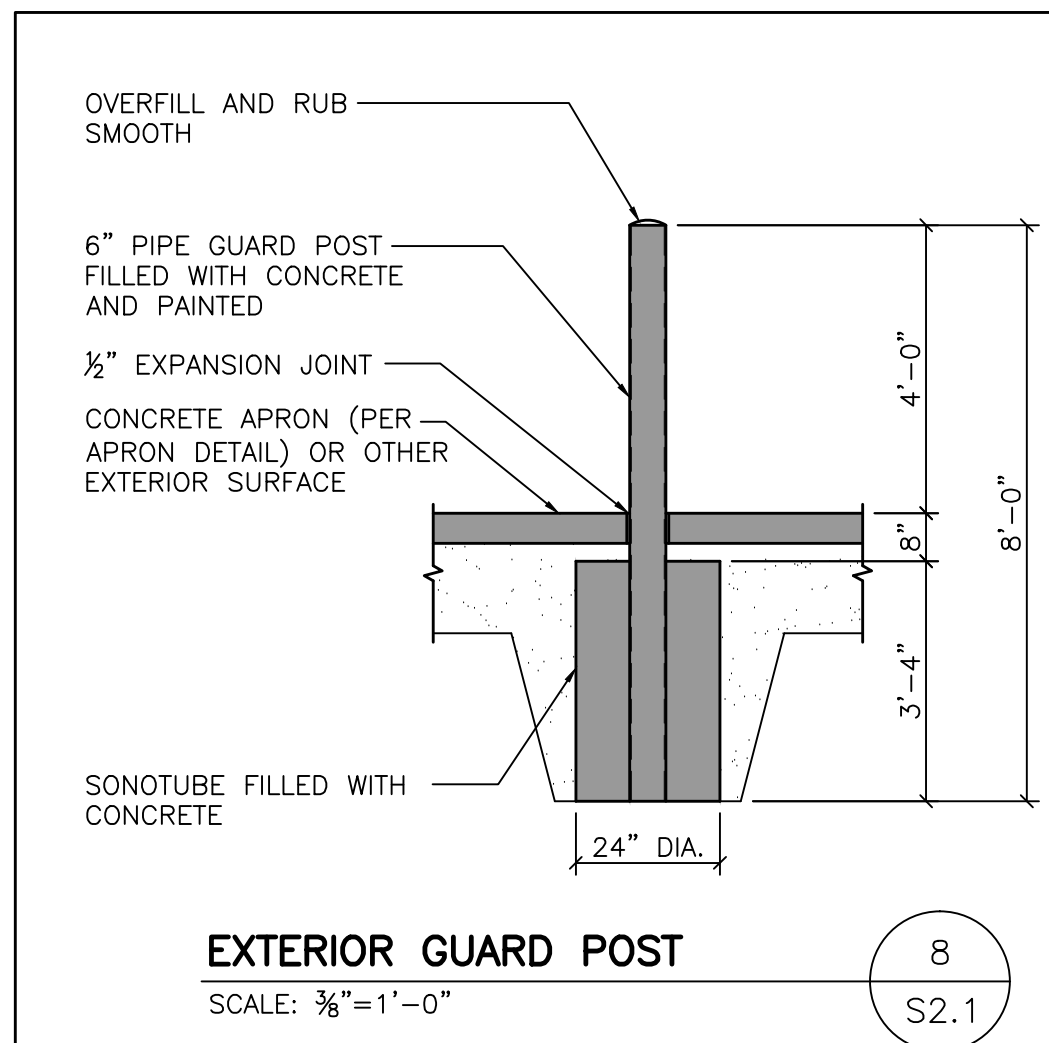
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1	12-13-21	ISSUED FOR CONSTRUCTION
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DESIGNER

IED PROJECT MANAGER:
C. DUESCHER

EXPEDITOR: C. HOYER

SUPERVISOR: D. CRAKER

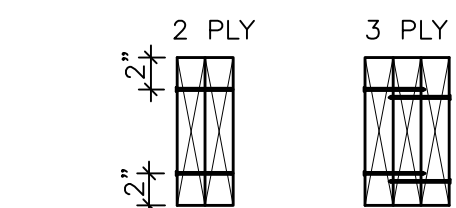
CONTRACT NO: 77137

IED NO: 21157

ISSUED DATE: Nov. 5, 2021

\$2.1

CONNECTION OF MULTIPLE PIECES
OF TOP LOADED BEAMS



NOTES:
MINIMUM OF 2 ROWS 16d (3/4")
NAILS AT 12" O.C.

MINIMUM OF 3 ROWS 16d (3/4")
NAILS AT 12" O.C. FOR 14", 16"
AND 18" BEAMS

WOOD LINTELS

SCALE: 1" = 1'-0"

FILL LINTELS WITH 3000 PSI CONCRETE
REINFORCING: (2) #5 BARS CONTINUOUS

MASONRY LINTELS

SCALE: 1" = 1'-0"

STRUCTURAL STEEL

STRUCTURAL STEEL FRAMING SHALL BE OF MATERIAL AS LISTED BELOW AND SHALL BE
DETAILED, FABRICATED AND ERECTED TO COMPLY WITH THE A.I.S.C. MANUAL. PROVIDE ALL
HOLES, ANCHOR BOLTS, BEARING PLATES, LINTELS, STIFFENERS, CLIP ANGLES, WELD PLATES,
EMBLEMENTS, STAIRS, ETC. AS REQUIRED FOR STEEL STRUCTURE FABRICATION AS SHOWN ON
THE DRAWINGS. WELDING SHALL BE PERFORMED BY AN AWS CERTIFIED WELDER PER AWS D1.1
AND IRC CHAPTER 22. BOLTS, NUTS AND WASHERS SHALL CONFORM TO REQUIREMENTS OF
ASTM A325 AND BE INSTALLED PER THE A.I.S.C. SPECIFICATION FOR STRUCTURAL JOINTS. WORK
SHALL BE PERFORMED ACCORDING TO A.I.S.C.'S CODE OF STANDARD PRACTICE AND IN
ACCORDANCE WITH APPLICABLE LAWS AND CODES.

STEEL WIDE FLANGE BEAMS: ASTM A992 OR ASTM A572, MIN. 50 KSI YIELD.
STEEL WIDE FLANGE COLUMNS: ASTM A992 OR ASTM A572, MIN. 50 KSI YIELD.
STEEL LINTELS, ANGLES, PLATES, EMBLEMENTS, STAIRS, ETC.: ASTM A36
STEEL PIPE: ASTM A53 TYPE E OR S GRADE B.
STEEL TUBES: ASTM A500 GRADE B
STEEL DECK: ASTM A611, GRADE C
WELDING ELECTRODES: ULTIMATE STRENGTH 70 KSI

STEEL SHALL BE PRE-FINISHED WITH ONE COAT OF PRIMER UNLESS INDICATED OTHERWISE.
FIELD WELDS TO BE CLEANED AND PRIMED.

STEEL FRAMING MUST BE TEMPORARILY BRACED AS REQUIRED UNTIL THE PERMANENT BRACING
SYSTEM HAS BEEN COMPLETED. STEEL ERECTOR SHALL FURNISH AND INSTALL.

CONCRETE RAMP OR LANDING

4x3 1/2" ANGLE ANCHORED
TO RAMP LANDING AND
SLOPED AREAS WITH 1/2"
EXPANSION BOLT AT
4'-0" O.C. WITH 3"
EMBEDMENT

FLOOR SLAB PER
FOUNDATION PLAN

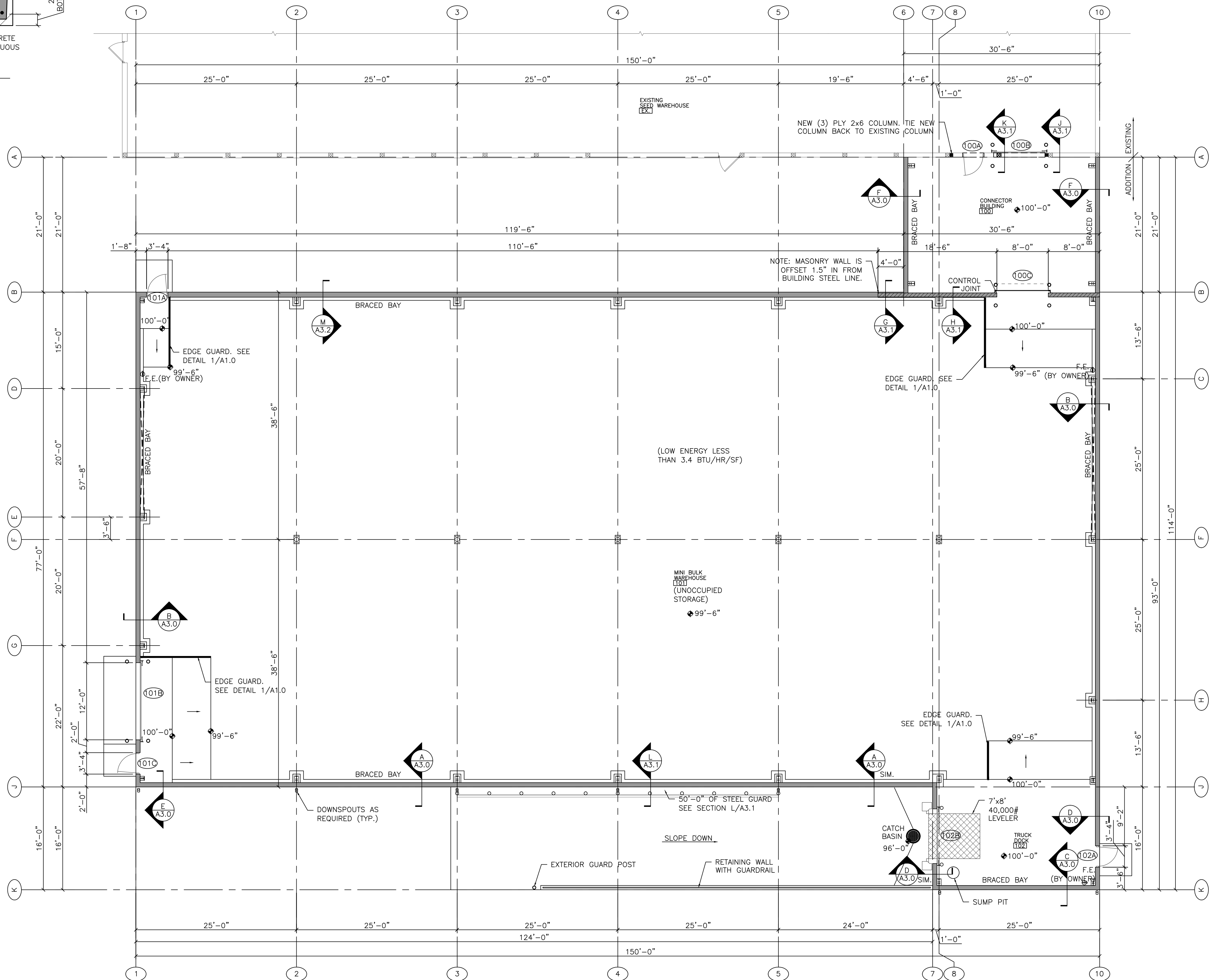
RAMP AND
LANDING EDGE DETAIL

SCALE: 1"=1'-0"

LINTEL SCHEDULE

MARK	LINTEL	BEARING (EACH SIDE)	BEARING HEIGHT	REMARKS
100C	8"x16" MASONRY LINTEL	16"	10'-0"	(2) CORES ON EACH SIDE OF OPENING TO GET A #5 BAR VERTICAL (CONTINUOUS TO TOP OF WALL) AND SOLID GROUT.
100B	(3) PLY 1 1/4"x14" LVL	4.5"	10'-0"	SECURE JAMBS BACK TO EXISTING COLUMNS

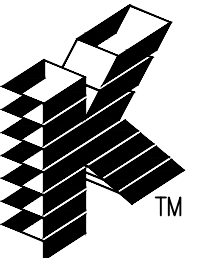
NOTE: 1. PROVIDE A BOND BEAM WITH (2) #5 BARS AT ALL MASONRY OPENINGS NOT LISTED IN THIS SCHEDULE. USE 8" OF BEARING.
2. OTHER OPENINGS NOT LISTED IN THIS SCHEDULE REQUIRE NO SPECIAL STRUCTURAL HEADERS.



FLOOR PLAN WITH DEMO

SCALE: 1/8"=1'-0"

	THIS HATCH PATTERN INDICATES NEW CONSTRUCTION
	THIS LINE TYPE INDICATES EXISTING CONSTRUCTION, TO REMAIN



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CONSTRUCTION"**

PROJECT MANAGER:
C. VANDEWETTERING

DESIGNER
R. LINDSTROM

IED PROJECT MANAGER:
C. DUESCHER

EXPEDITOR: C. HOYER

SUPERVISOR: D. CRAKE

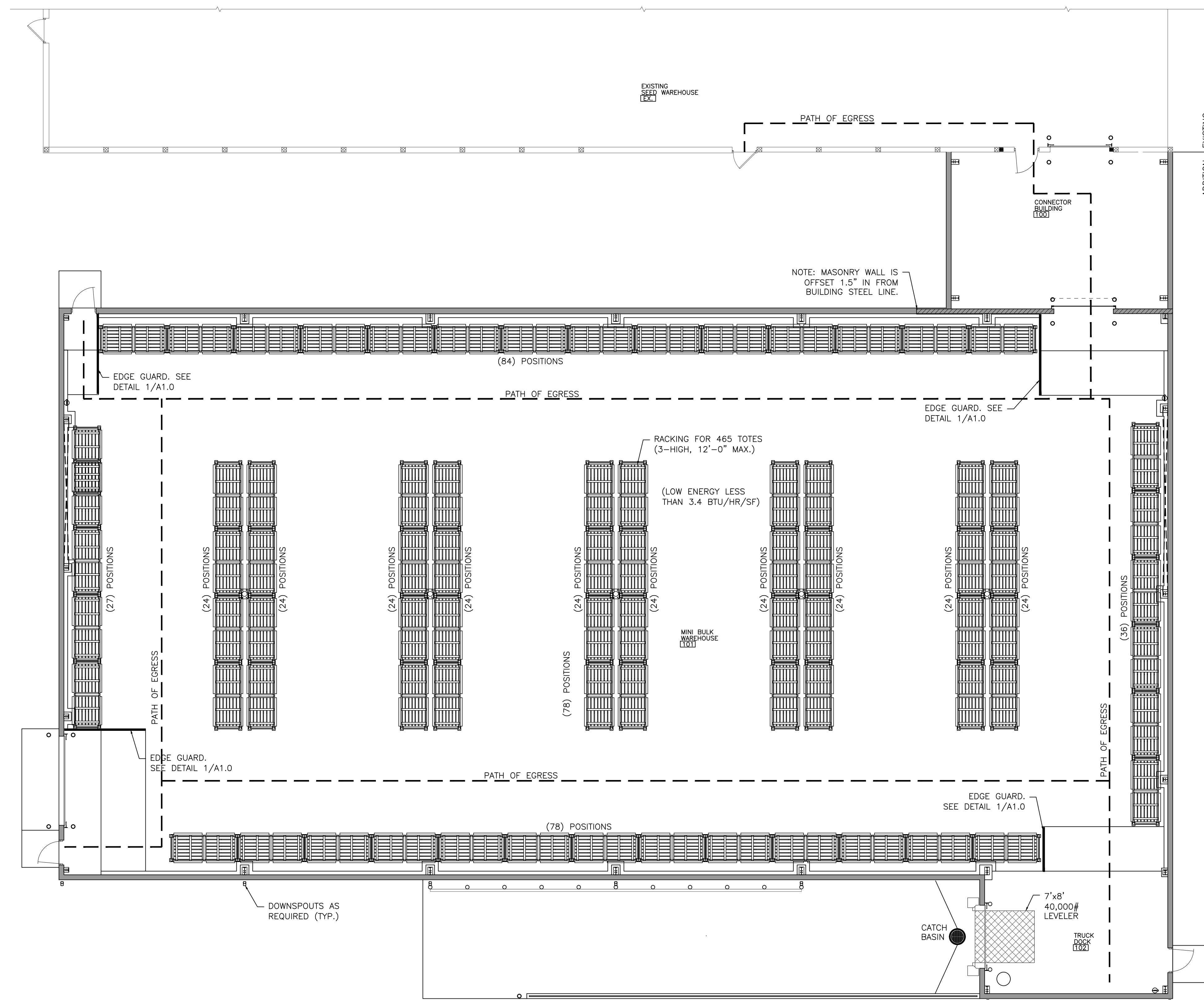
CONTRACT NO: 77137

IED NO: 21157

ISSUED DATE: Nov. 5, 202

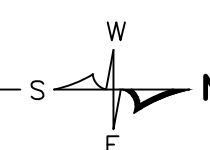
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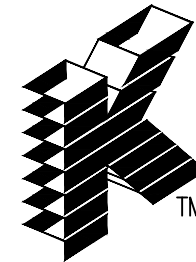
A1.1



FURNITURE, FIXTURES, AND EQUIPMENT PLAN

SCALE: $\frac{1}{8}" = 1' - 0"$





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PROPOSED WAREHOUSE ADDITION FOR:

UNITED COOP - REEDSBURG WAREHOUSE

1360 LAUKANT ST.
REEDSBURG

WI, 53959

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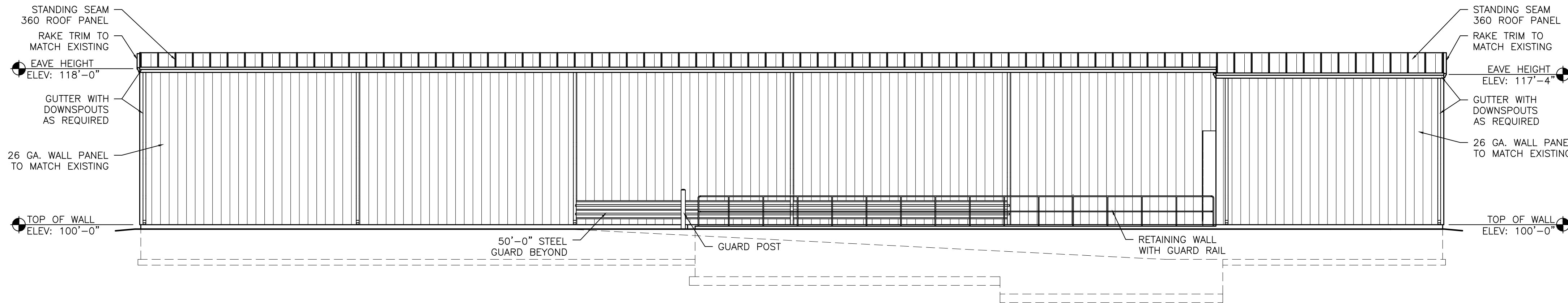
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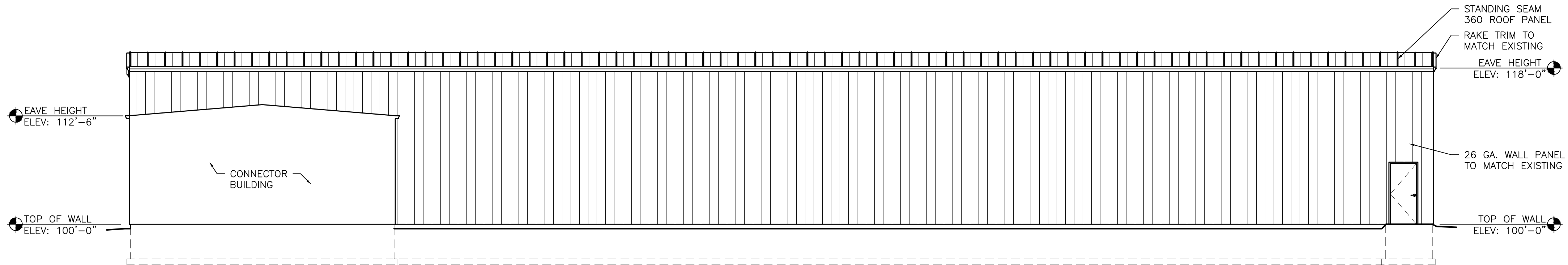
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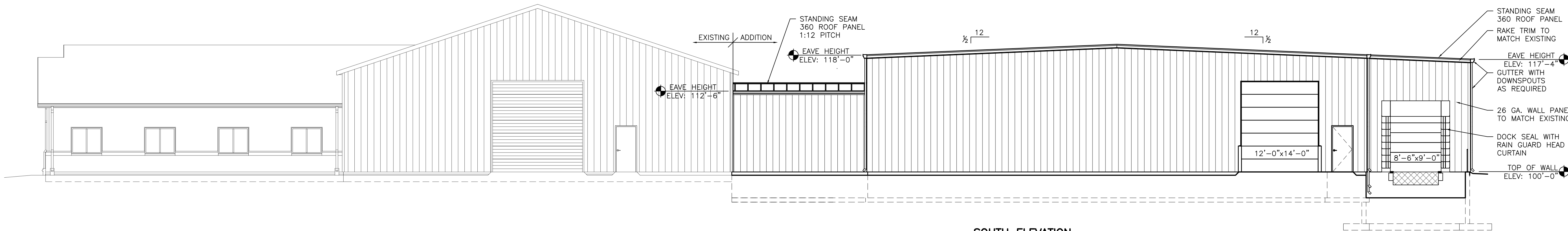
EAST ELEVATION

SCALE: 1/8"=1'-0"



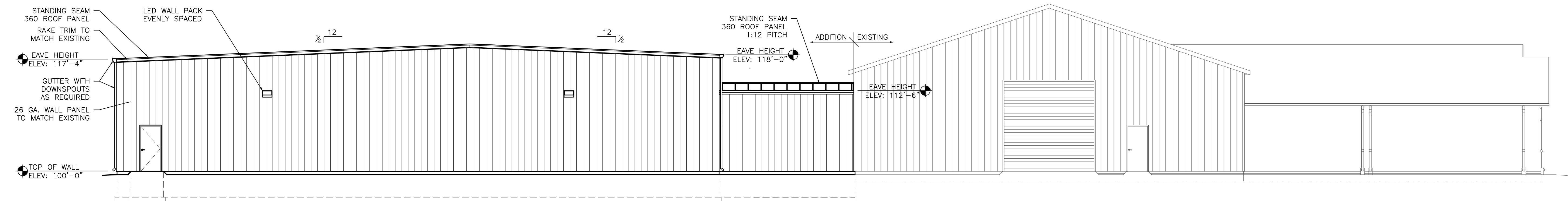
WEST ELEVATION

SCALE: 1/8"=1'-0"



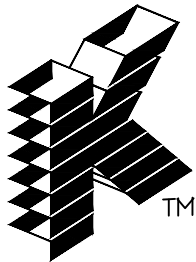
SOUTH ELEVATION

SCALE: 1/8"=1'-0"



NORTH ELEVATION

SCALE: 1/8"=1'-0"



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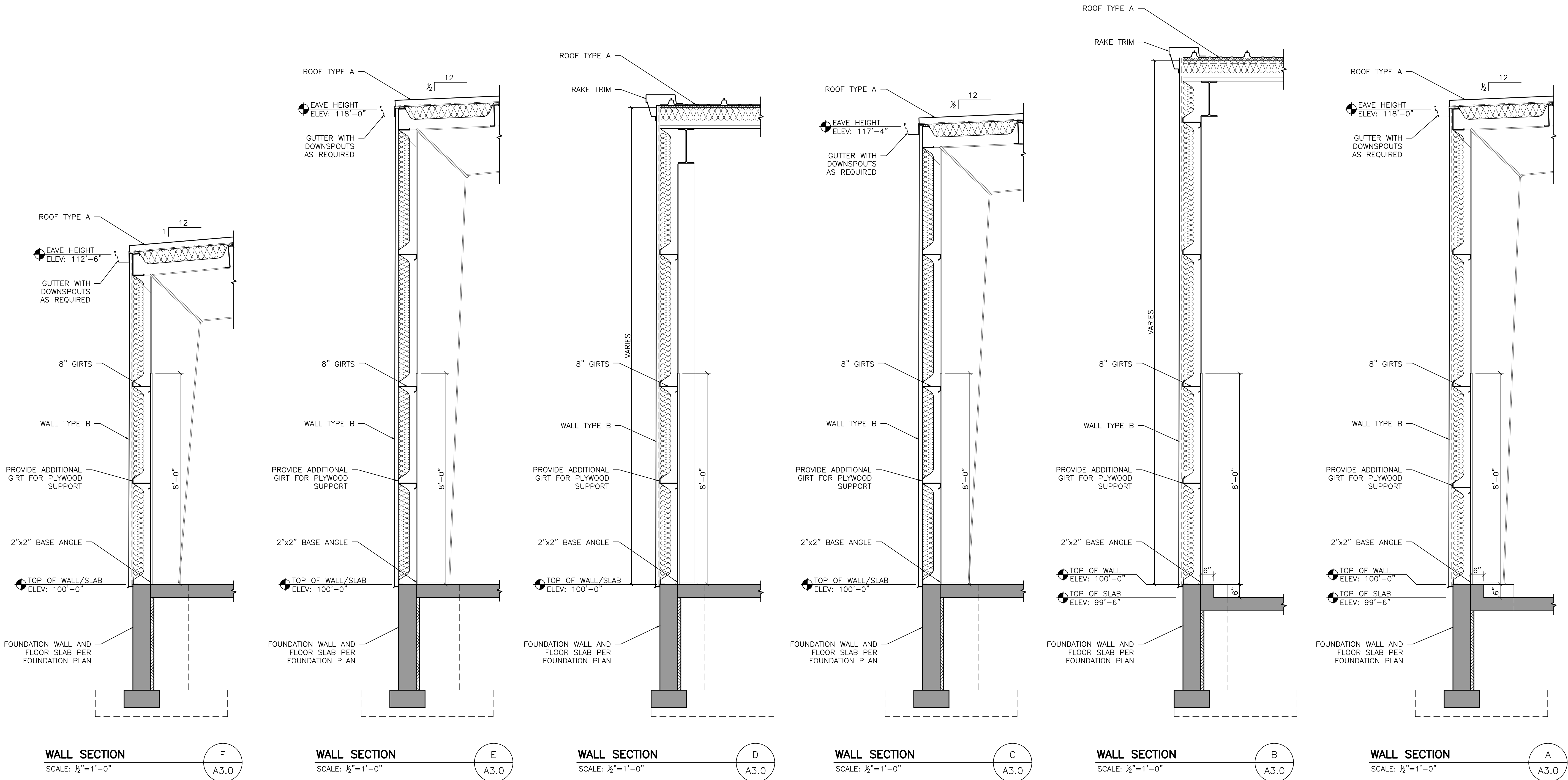
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WALL AND ROOF TYPE SCHEDULE

LETTER	DESCRIPTION
A	24 GA. STANDING SEAM METAL ROOF PANELS WITH THERMAL BLOCKS 6" PSK INSULATION (R-19) METAL PURLINS
B	26 GA. METAL WALL PANEL 5" PSK INSULATION (R-16) GIRTS ¾" FIRE TREATED PLYWOOD TO ELEV. 108'-0"
C	26 GA. METAL WALL PANEL 1½" FURRING STRIPS WITH 1½" RIGID INSULATION 8" PAINTED CMU WALL (3 HOUR PER UL U904)



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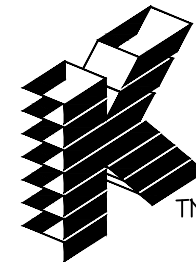
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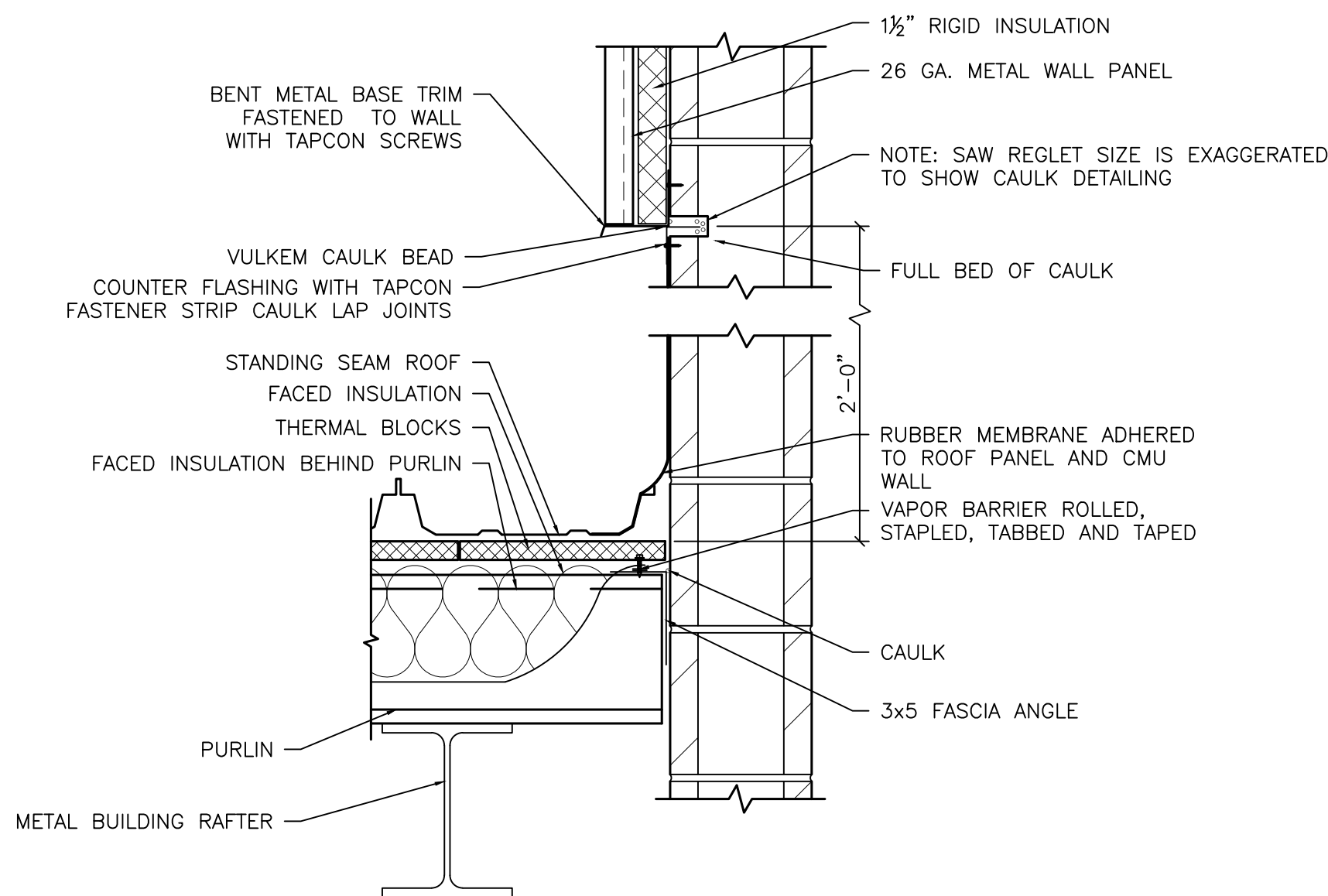
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ROOF TO WALL FLASHING

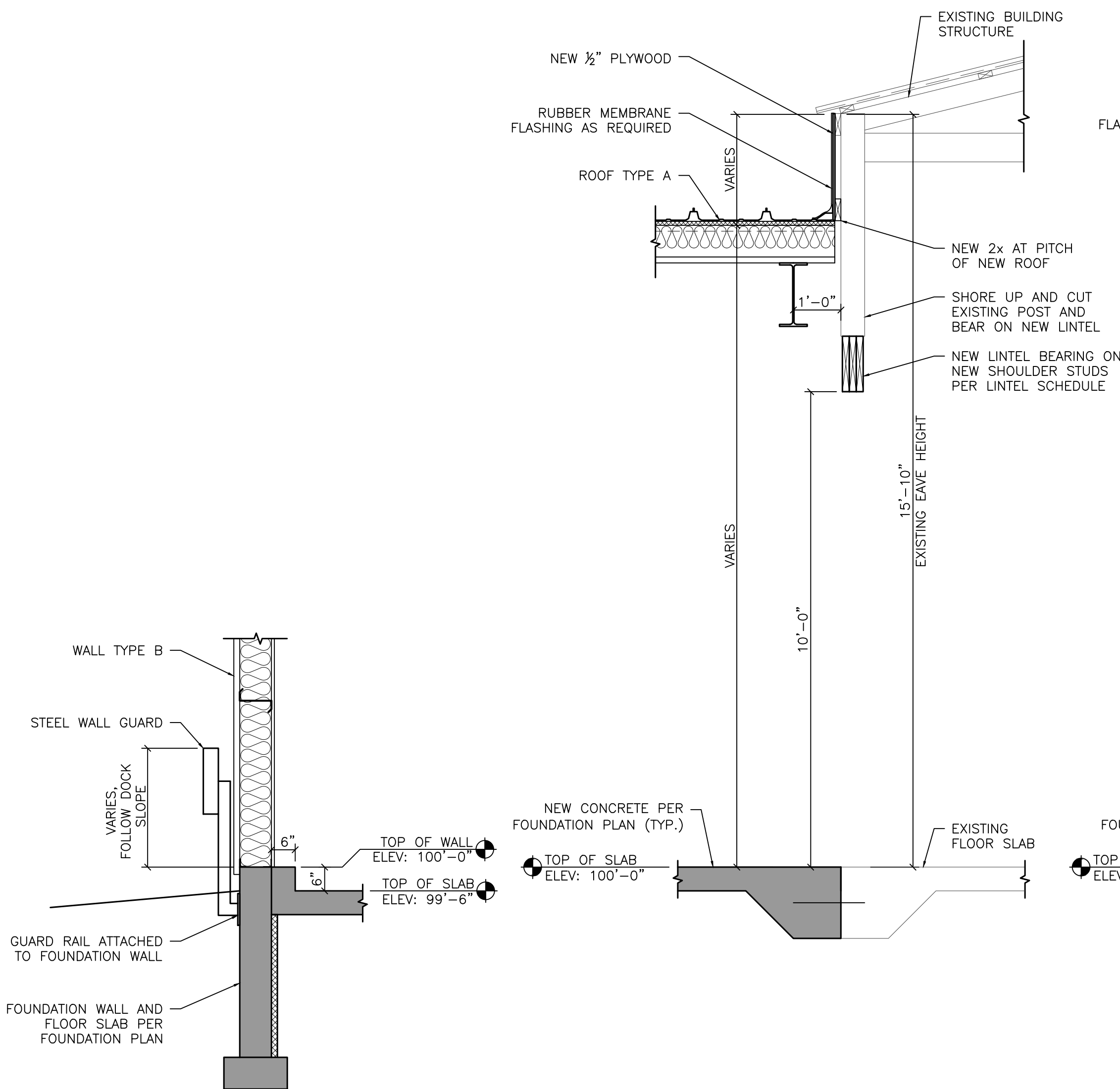
SCALE: 1 1/2"=1'-0"

1

A3.1

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C	26 GA. METAL WALL PANEL 1 1/2" FURRING STRIPS WITH 1 1/2" RIGID INSULATION 8" PAINTED CMU WALL (3 HOUR PER UL U904)

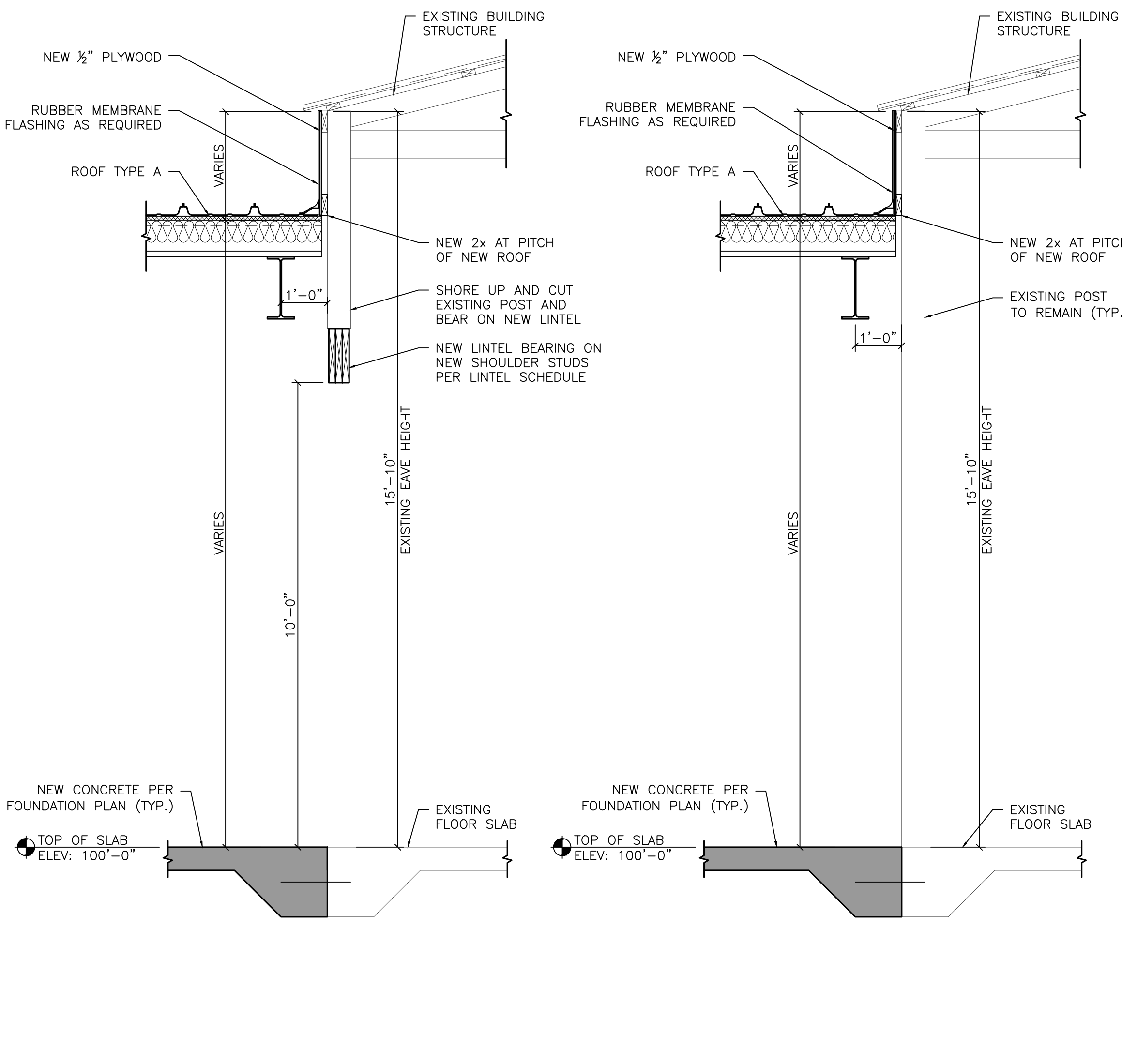


WALL GUARD DETAIL

SCALE: 1/2"=1'-0"

L

A3.1



WALL SECTION

SCALE: 1/2"=1'-0"

K

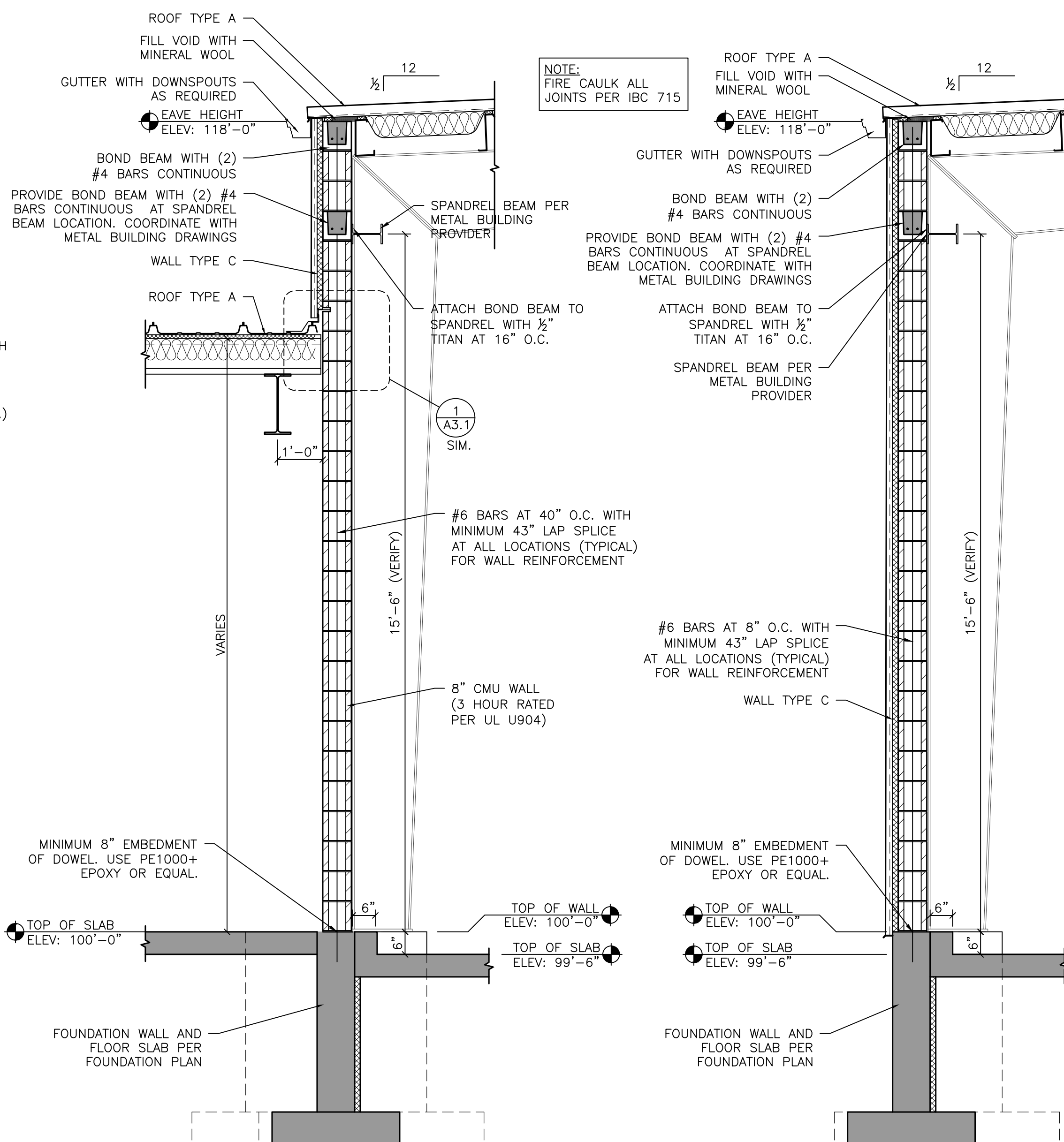
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WALL SECTION

SCALE: 1/2"=1'-0"

J

A3.1



WALL SECTION

SCALE: 1/2"=1'-0"

H

A3.1

WALL SECTION

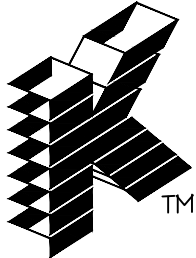
SCALE: 1/2"=1'-0"

G

A3.1

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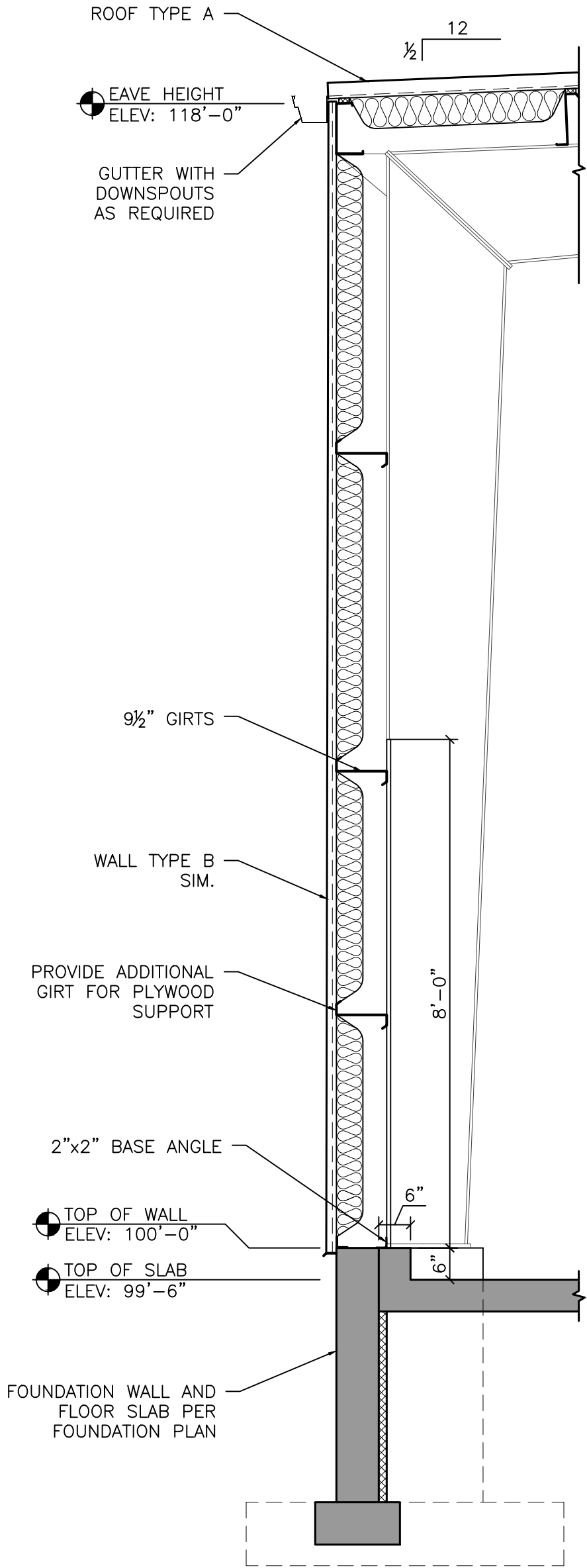
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WALL SECTION

SCALE: 1/2"=1'-0"

M
A3.2

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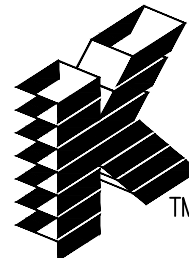
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SHEET:

A3.2



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Sheet:

A4.0

ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING		REMARKS
				NORTH	SOUTH	EAST	WEST	MATERIAL	HEIGHT	
100	CONNECTOR BUILDING	EXPOSED	--	EXPOSED	EXPOSED	PAINTED CMU	EXPOSED	EXPOSED	--	--
101	MINI BULK WAREHOUSE	EXPOSED	--	EXPOSED	EXPOSED	EXPOSED	EXPOSED	EXPOSED	--	--
102	TRUCK DOCK	EXPOSED	--	EXPOSED	EXPOSED	EXPOSED	EXPOSED	EXPOSED	--	--
--	--	--	--	--	--	--	--	--	--	--

FLOOR FINISH TYPES:

EXPOSED -- EXPOSED CONCRETE WILL HAVE A COMBINATION SEALER/CURING COMPOUND EQ. TO ASTM C 309

WALL FINISH TYPES:

EXPOSED -- EXPOSED BUILDING STRUCTURE
PAINTED C.M.U. -- STD. CMU WALL WITH (1) COAT BLOCK FILLER AND (2) COATS FINISH PAINT (INTERIOR EGGSHELL ACRYLIC ENAMEL)

CEILING FINISH TYPES:

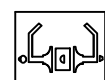
EXPOSED -- EXPOSED BUILDING STRUCTURE/INSULATION

DOOR SCHEDULE

NO.	DOORS					DOOR CLOSURE			FRAMES		REMARKS
	SIZE (WxH)	TYPE	MATERIAL	LITE	HARDWARE	FUNCTION	RATING	YES NO	TYPE	FINISH	
100A	3'-0"x7'-0"	B	H.M.	NARROW	PASSAGE			YES	HYDRAULIC	--	NEW SERVICE DOOR IN EXISTING WALL
100B	8'-0"x10'-0"	C	--	--				--	--	--	NEW O.H.D. IN EXISTING WALL
100C	8'-0"x10'-0"	F	--	--	FIRE SHUTTER		3-HR	--	--	3/A4.0	3-HOUR RATED ROLLING FIRE SHUTTER
101A	3'-0"x7'-0"	A	H.M.	--	ENTRANCE			YES	HYDRAULIC	1 1/A4.0	WITH LATCH GUARD
101B	12'-0"x14'-0"	E	--	--				--	--	2/A4.0	--
101C	3'-0"x7'-0"	A	H.M.	--	ENTRANCE			YES	HYDRAULIC	1 1/A4.0	WITH LATCH GUARD
102A	3'-0"x7'-0"	A	H.M.	VERIFY	ENTRANCE			YES	HYDRAULIC	1 1/A4.0	WITH LATCH GUARD
102B	8'-6"x9'-0"	D	--	VERIFY				--	--	--	DOCK DOOR



PASSAGE
Both levers always unlocked.

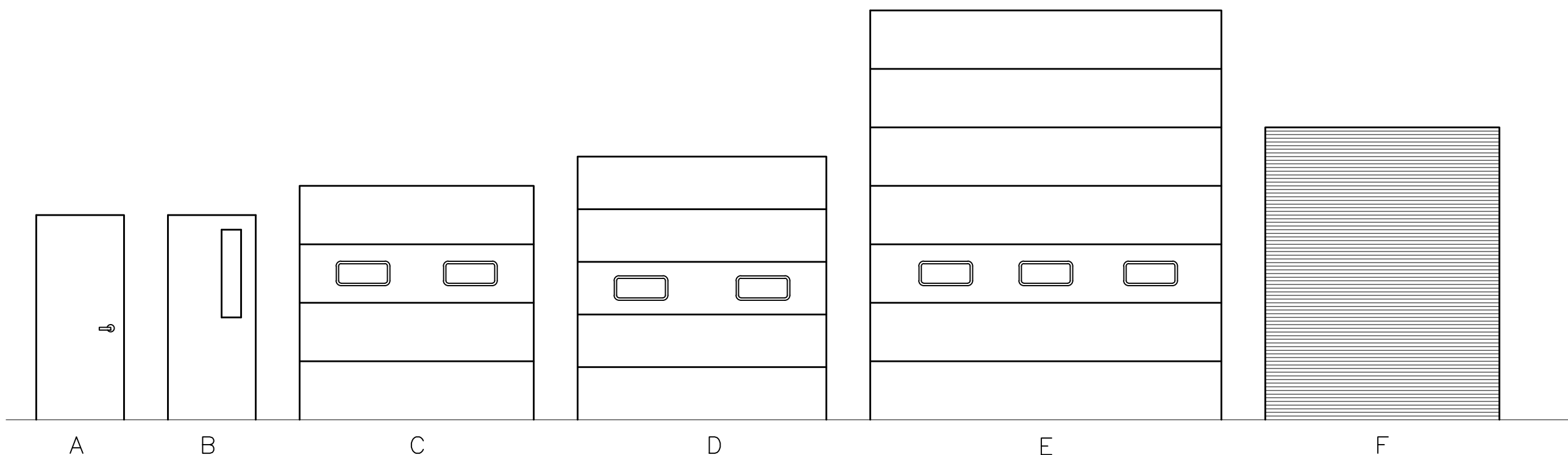


ENTRANCE
Turn/push-button locking: pushing and turning button locks outside lever requiring use of key until button is manually unlocked



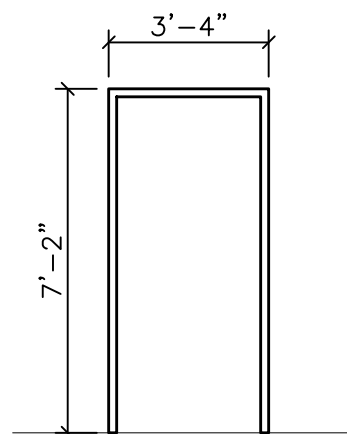
EXIT
Blank plate outside. Inside lever always unlocked.

NOTES: 1. ALL EXTERIOR DOORS TO BE INSULATED AND HAVE WEATHER--STRIPPING AND A THRESHOLD.
2. THE GLAZING CONTRACTOR IS REQUIRED TO PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE.
3. COLOR OF DOOR, FRAME AND HARDWARE TO BE DETERMINED BY OWNER.
4. DOOR PROVIDER MUST MEET ALL APPLICABLE CODES.
5. DOCK DOORS INTO CONDITIONED SPACES ARE REQUIRED TO HAVE WEATHERSEALS PER IECC 502.4.6.
6. FIRE RATED ROLLING SHUTTER DOORS REQUIRE A SMOKE ACTIVATED CLOSER PER IBC 715.4.8.3 AND APPLICABLE CODES.



DOOR DIAGRAMS

NOT TO SCALE



FRAME DIAGRAMS

NOT TO SCALE

NOTE:
• ALL OVERALL DIMENSIONS INDICATE FRAME SIZE.
• ALL METAL FRAMES AND MULLIONS ARE DRAWN AS 2" UNLESS DIMENSIONED OTHERWISE.

DOORS, WINDOWS AND FRAMES

FURNISH AND INSTALL ALL DOORS AND WINDOW ASSEMBLIES AS INDICATED ON THE PLANS. INCLUDE ALL HARDWARE INDICATED AND THAT MAY BE REQUIRED FOR A COMPLETE JOB. DOORS AND WINDOWS SHALL OPERATE SMOOTHLY WITHOUT BINDING AND BE INSTALLED PLUM AND TRUE. HARDWARE SHALL FIT PROPERLY AND BE ADJUSTED AS REQUIRED. PROVIDE INSECT SCREENS ON ALL OPERABLE WINDOW UNITS.

HARDWARE

UNLESS SPECIFIED IN THE HARDWARE SCHEDULE:

--ALL LOCK SETS SHALL BE LEVER TYPE AS REQUIRED TO MEET REQUIREMENTS OF THE A.D.A.
--ALL OTHER HARDWARE SHALL CONFORM TO THE REQUIREMENTS OF THE A.D.A.
--ALL EXIT DOORS SHALL BE EQUIPPED WITH LEVER TYPE EXIT HARDWARE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A LATCH, KEY, OR BOLT.

PLUMBING

PLUMBING SHALL BE COMPLETED AS A DESIGN/BUILD PACKAGE. THE PLUMBING SUBCONTRACTOR IS RESPONSIBLE TO PROVIDE EXCELLENT DESIGN, BUILDING MATERIALS, AND CRAFTSMANSHIP. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES. SEPARATE PLANS SHALL BE SUBMITTED TO THE STATE FOR APPROVAL. THE PLUMBING WORK IS NOT A PART OF THIS PLAN. SEE PLUMBING PLAN FOR SPECIFICATIONS. ALL PENETRATIONS THRU RATED CONSTRUCTION SHALL BE A U.L. APPROVED METHOD. PLUMBING FIXTURES TO MEET ALL APPLICABLE REQUIREMENTS.

HEATING, VENTILATION, AND AIR CONDITIONING (HVAC)

HVAC SHALL BE COMPLETED AS A DESIGN/BUILD PACKAGE. THE HVAC SUBCONTRACTOR IS RESPONSIBLE TO PROVIDE EXCELLENT DESIGN, BUILDING MATERIALS, AND CRAFTSMANSHIP. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES. SEPARATE PLANS SHALL BE SUBMITTED TO THE STATE FOR APPROVAL. THE HEATING AND VENTILATION WORK IS NOT A PART OF THIS PLAN. SEE HVAC PLAN FOR SPECIFICATIONS. ALL PENETRATIONS THRU RATED CONSTRUCTION SHALL BE A U.L. APPROVED METHOD.

ELECTRICAL

ELECTRICAL SHALL BE COMPLETED AS A DESIGN/BUILD PACKAGE. THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE TO PROVIDE EXCELLENT DESIGN, BUILDING MATERIALS, AND CRAFTSMANSHIP. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES.

THE ELECTRICAL WORK IS NOT DEFINED ON THIS PLAN. SEE THE ELECTRICAL PLAN AND SPECIFICATIONS FOR DETAILS. SEPARATE PLANS AND CALCULATIONS SHALL BE SUBMITTED TO THE STATE FOR APPROVAL. THESE INCLUDE A GENERAL LIGHTING AND EMERGENCY LIGHTING PLAN AND CALCULATIONS TO SHOW COMPLIANCE WITH THE INTERNATIONAL ENERGY COMPLIANCE CODE (IECC).

PROVIDE MEANS OF EGRESS ILLUMINATION PER IBC 1006. THE ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT CANDLE AT THE WALKING SURFACE LEVEL.

ALL PENETRATIONS THRU RATED CONSTRUCTION SHALL BE A U.L. APPROVED SPECIFICATIONS.

FINISHES

PROVIDE AND INSTALL ALL FINISHES AS INDICATED ON PLANS. INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. FINISH INSTALLER INSPECT SUBSURFACE AND PREPARE AS REQUIRED PRIOR TO INSTALLATION OF THE PRODUCT.

INTERIOR FINISHES TO MEET THE REQUIREMENTS OF IBC CHAPTER 8.

PAINTING

PAINT ALL AREAS REQUIRED FOR A COMPLETE JOB.

APPLY PAINT AS RECOMMENDED BY STANDARD PRACTICE AND MANUFACTURER'S RECOMMENDATIONS.

REMOVE OR PROTECT HARDWARE, PLATES, LIGHT FIXTURES, SPRINKLER HEADS, ETC. THAT ARE NOT INTENDED TO BE PAINTED. PROVIDE MASKING AS REQUIRED.

DISPOSAL OF EXCESS PAINT MATERIALS IS THE RESPONSIBILITY OF THE PAINTING CONTRACTOR. DISPOSAL MUST BE IN ACCORDANCE WITH APPLICABLE LAWS AND CODES.

SEALANTS

PROVIDE CAULKING AND BACKER ROD AS RECOMMENDED BY THE MANUFACTURER TO SEAL EXTERIOR AND INTERIOR JOINTS, AT EXPANSION JOINTS, FRAMES OF DOORS, WINDOWS, AND OTHER EXTERIOR OPENINGS. ALSO CAULK AROUND PLUMBING FIXTURES, COUNTERTOPS, ROOF OPENINGS, ETC. AND AS REQUIRED FOR A COMPLETE JOB. CAULK TO BE INSTALLED AFTER FINISH IS APPLIED TO SURFACES. PENETRATIONS THROUGH FIRE RATED ASSEMBLIES MUST MEET U.L. REQUIREMENTS.

SIGNAGE

SIGNAGE SHALL MEET THE REQUIREMENTS OF THE A.D.A.

WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE-LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL.

MOUNTING HEIGHT SHALL BE 60" ABOVE FINISH FLOOR TO THE CENTERLINE OF THE SIGN UNLESS INDICATED OTHERWISE.

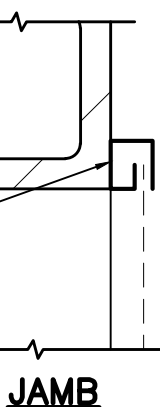
PROVIDE HANDICAP PARKING SIGNS AS INDICATED ON THE PLANS AND AS REQUIRED BY APPLICABLE LAWS.

INTERIOR WALL FINISHES PER
ROOM FINISH SCHEDULE

SHUTTER DOOR, SEE DOOR
AND FRAME SCHEDULE

SEE LINTEL SCHEDULE FOR
LINTEL SIZE AND TYPE

HEAD



JAMB GUIDE

JAMB

SHIM, FLASH, AND
CAULK AS REQUIRED

ROLLING SHUTTER DOOR

SCALE: 1 1/2"=1'-0"

3

A4.0

INTERIOR WALL FINISHES PER
ROOM FINISH SCHEDULE

EXTERIOR SIDE

INTERIOR SIDE

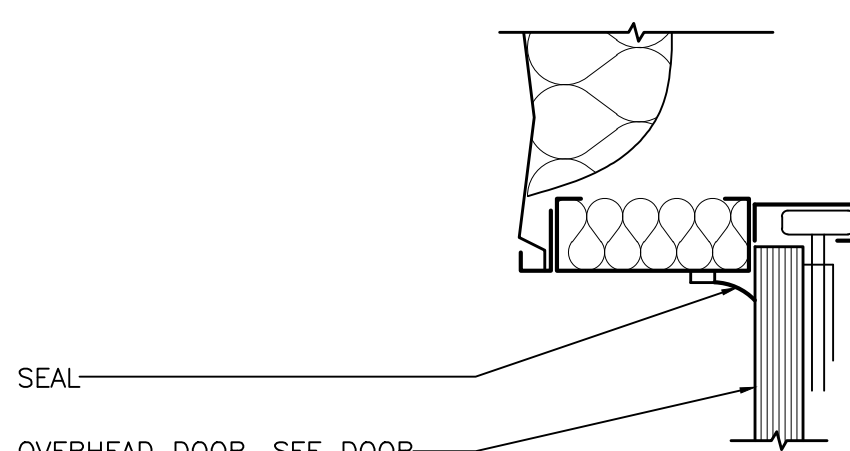
FRAME PER METAL
BUILDING MANUFACTURER

FLASHING

SEAL

OVERHEAD DOOR, SEE DOOR
AND FRAME SCHEDULE

HEAD



SEAL

OVERHEAD DOOR, SEE DOOR
AND FRAME SCHEDULE

JAMB

SHIM, FLASH, AND
CAULK AS REQUIRED

OVERHEAD DOOR

SCALE: 1 1/2"=1'-0"

2

A4.0

INTERIOR WALL FINISHES PER
ROOM FINISH SCHEDULE

EXTERIOR SIDE

INTERIOR SIDE

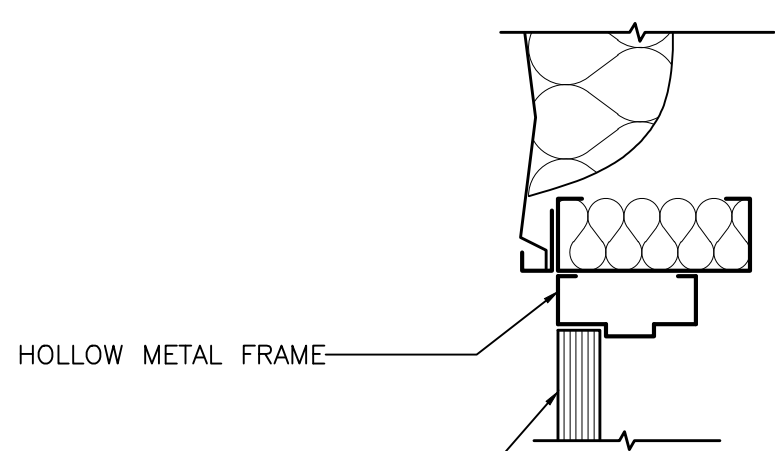
FRAME PER METAL
BUILDING MANUFACTURER

FLASHING

HOLLOW METAL FRAME

DOOR PER DOOR AND
FRAME SCHEDULE

HEAD



HOLLOW METAL FRAME

DOOR PER DOOR AND
FRAME SCHEDULE

JAMB

SHIM, FLASH, AND
CAULK AS REQUIRED

HOLLOW METAL DOOR FRAME

SCALE: 1 1/2"=1'-0"

1

A4.0

Steering Committee Memo

TO: Reedsburg 2042 Comprehensive Plan Committee (Plan Commission)
FROM: Foth Infrastructure & Environment, LLC
RPT DATE: January 5, 2021
MTG DATE: January 11, 2021
RE: 2042 Comprehensive Plan – Steering Committee Meeting

Looking forward to providing updates on the 2042 Comprehensive Plan authoring and analysis. The following topics will be discussed at our meeting on January 11th, 2021:

1. Plan Drafting

- In this past month we have drafted the Intergovernmental Cooperation element. We have also added a substantial number of photos and maps to the other draft chapters. Lastly, we have laid the groundwork for the last two chapters we will be discussing in more detail come February/March in the “Land Use” and “Economic Development” chapters.
- Still no new census information given yet.
- Looking ahead the next few months following the interactive workshop will be critical for the guidance group. We will be creating a full draft of the Plan during this time and working together to develop a list of goals and recommendations as we pursue a final plan.

2. Discuss January 2022 Interactive Workshop

- The date, location, and time of the event is as follows:
 - i. Location: Reedsburg High School (Front Entrance Commons Area)
 - ii. Date: Thursday January 20th, 2022
 - iii. Time: 6-8 pm
- We have assembled numerous materials for the workshop and will present these at the Plan Commission meeting in more detail. The workshop is being setup as follows:
 - i. Table upon entry for people to sign in, get instructions, and gather information sheet about open house and overall Comp Plan process. Also available via mobile survey at event.
 - ii. Three (3) stations are being planned for people to navigate at their leisure consisting of:
 - 1. Future Land Use Map Station
 - a. Existing LU Map & Engage Proposed Thoughts
 - 2. Visual Preference Dot Station
 - a. Gateways, Commercial Corridors, Downtown, Industrial Parks, Recreation, Housing, Sustainability
 - 3. Downtown Mapping Station
 - a. What is sacred?; What requires changed/improving?

Steering Committee Memo

- Information, encouragement, and highlights will be scrolling on screen in commons area.
3. Discuss/Review Public Engagement Activity
- Community Survey: The survey is now complete. We have loaded 102 completed surveys! The raw data can be found on the website at: www.reedsburgcompplan.com. The data will be further analyzed and will be crucial in formulating future recommendations from each chapter.
 - Website: The Comp Plan website is continually updated and we're starting to upload information received (survey/stakeholder data) as well as drafts of the plan and maps.
 - Mindmixer: Continued success on Mindmixer with over 100 participants, 50 ideas, and 30+ comments.
 - Media: Information on where the plan is at and about the upcoming workshop has continued in many forms as of late including the dedicated website, Reedsburg social media, and the recent utility bills.