



City of Reedsburg
134 South Locust Street, P.O. Box 490
Reedsburg, WI 53959
Ph. 608-524-6404 Fax. 608-524-8458
www.reedsburgwi.gov

Industrial & Commercial Development Commission (RICDC) Agenda
December 15, 2021
Reedsburg City Hall Council Chambers - **Amended**
12:00 PM

DUE TO THE RESTRICTIONS CAUSED BY THE COVID-19 PANDEMIC, SOME VOTING MEMBERS MAY BE PRESENT VIA TELECONFERENCE OR VIDEO CONFERENCE, AS PROVIDED BY THE RECOMMENDATIONS OF THE WISCONSIN DEPARTMENT OF JUSTICE. [HTTPS://WWW.DOJ.STATE.WI.US/NEWS-RELEASES/OFFICE-OPEN-GOVERNMENT-ADVISORY-CORONAVIRUS-DISEASE-2019-COVID-19-AND-OPEN-MEETINGS](https://www.doj.state.wi.us/news-releases/office-open-government-advisory-coronavirus-disease-2019-covid-19-and-open-meetings)

NOTICE IS HEREBY GIVEN THAT A MAJORITY OF THE MEMBERS OF THE COMMON COUNCIL MAY ATTEND THIS MEETING TO GATHER INFORMATION ABOUT A SUBJECT OVER WHICH THE COMMON COUNCIL HAS DECISION-MAKING AUTHORITY. IF A QUORUM OF THE COMMON COUNCIL ATTENDS THIS MEETING, NO ACTION WILL BE TAKEN BY THE COMMON COUNCIL AT THIS MEETING.

CALL TO ORDER

APPROVAL OF MINUTES

I. APPROVE MINUTES FOR THE MEETING HELD ON OCTOBER 20, 2021:

THE COMMITTEE WILL RECEIVE INFORMATION ON NON-AGENDA TOPICS BROUGHT BEFORE THE COMMITTEE BY MEMBERS OF THE PUBLIC. THE COMMITTEE WILL NOT DISCUSS THESE TOPICS, AND WILL NOT TAKE ACTION ON ANY OF THEM AT THIS MEETING

I. GENERAL BUSINESS:

- A. Consider Foremost Truck Scale Site Plan.
- B. Consider Riffey Transload Facility Site Plan.
- C. Update on the Business Retention & Expansion Survey.
- D. Update on the EDA Grant application for the Business Park Expansion.
- E. **Consider Site Plan Review for building addition for United Coop, 1360 Laukant Street.**

II. ADJOURN:



The City of Reedsburg does not discriminate on the basis of disability in the admissions or access to, or treatment of or employment in, its programs or activities. Disability-related aids or services, including printed information in alternate formats, to enable persons with disabilities to participate in public meetings and programs are available by calling (608) 524-6404. To be able to meet the needs of a request for a different format contact the City Clerk-Treasurer at 134 S. Locust Street, Reedsburg, WI at least 48 hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

Reedsburg Industrial & Commercial Development Commission

Meeting Minutes

October 20, 2021

Meeting called to order by Chair Kurt Muchow at 12:00 PM in Reedsburg City Hall.

Present: Alder Dave Knudsen, Alder Mike Gargano, Ryan Bohen, Blaine Albert, Dan DeBaets

Absent: Jay Brunken

Staff: Tim Becker, Brian Duvalle

Motion by Gargano seconded by Albert, to approve the 6/16/2021 minutes.

Motion Approved

Business Park expansion (Master Development Plan & EDA grant application)

The newly annexed land was reviewed for future industrial and commercial uses. There will be two access points, on Golf Course Rd and Hwy 136. The City will apply for an EDA grant that could be worth 80% of the development costs.

Riffey Transload Facility (Friede redevelopment site plan)

Riffey has now bought the property from Friede. They plan to raze the existing buildings and add new storage buildings and silos. Many utilities bisect the property that will need to be worked out. There is a projection of 500 rail cars per year.

Business Retention & Expansion Survey (Process & schedule)

Muchow stated that questions were added on school-to-work and the airport. More business will be surveyed this time and then divided between commercial and industrial. The survey is being worked on by SCDC notwithstanding the loss of previous director Ed White.

School to Work Program Discussion

Discussion with RASD Administrator Roger Rindo that this program will be started back up following Covid. The City has a list of all businesses and will meet with school personnel.

Project Updates

Discussion held on the business breakfast, new theater, proposed hotel, two prospects for newly annexed land, Viking Dr extension, Midwest Hardwoods and Sharratt Warehouse.

Motion by Gargano, seconded by Albert to adjourn at 12:57 PM.

Motion Approved

Respectfully submitted,

Brian Duvalle
Planning/Building

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

SITE INFORMATION:

PROPERTY AREA: AREA = 118,267 S.F. (2.72 ACRES).
PROPERTY ZONING: LIGHT INDUSTRIAL (I-1)
EXISTING USE: PARKING
PROPOSED USE: PARKING W/ TRUCK SCALE
AREA OF SITE DISTURBANCE: 0.63 AC
SETBACKS: PAVEMENT: FRONT (EAST) = 10'
SIDE (SOUTH) = 10'
SIDE (NORTH) = 0'

SITE PLAN KEYNOTES

1	GRAVEL SECTION (TYP.)
5	HEAVY DUTY CONCRETE (TYP)
29	PROPOSED TRUCK SCALE BY SUPPLIER. VERIFY FINAL SIZES, HEIGHTS, ETC. PRIOR TO CONSTRUCTION.

<u>EXISTING SITE DATA</u>			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	2.72	118,267	
BUILDING FLOOR AREA	0.00	123	0.1%
PAVEMENT (ASP./CONC./GRVL)	1.46	63,546	53.7%
TOTAL IMPERVIOUS	1.46	63,669	53.8%
LANDSCAPE/ OPEN SPACE	1.25	54,598	46.2%

<u>PROPOSED SITE DATA</u>			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	2.72	118,267	
BUILDING FLOOR AREA	0.00	123	0.1%
PAVEMENT (ASP./CONC./GRVL)	1.66	72,444	61.3%
TOTAL IMPERVIOUS	1.67	72,567	61.4%
LANDSCAPE/ OPEN SPACE	1.05	45,700	38.6%



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100 Camelot Drive
Fond Du Lac, WI 54935
Phone: (920) 926-9800
www.EXCELENGINEER.com

PROJECT INFORMATION

PROPOSED SITE IMPROVEMENTS FOR:
FOREMOST FARMS USA
501 S. PINE STREET • REEDSBURG, WI 53959

PROFESSIONAL SEAL

PRELIMINARY DATES

DEC. 2, 2021

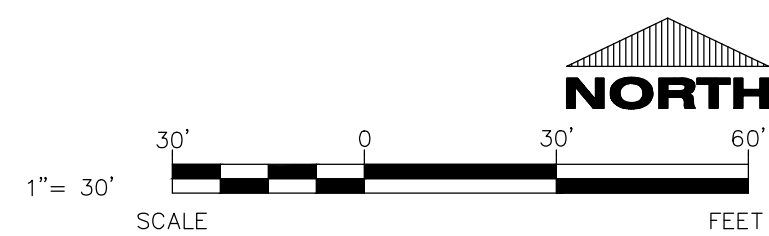
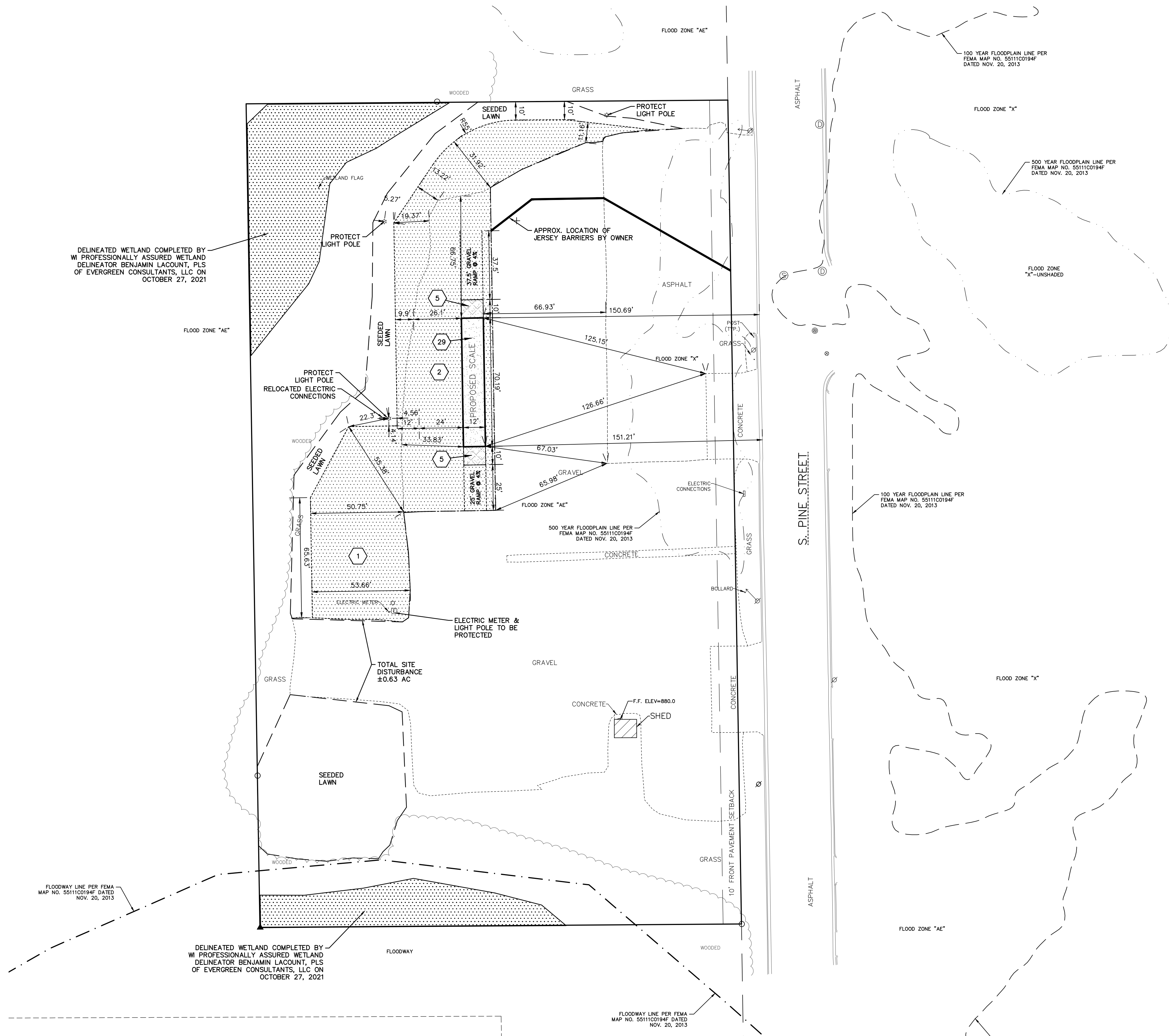
JOB NUMBER

2163000

SHEET NUMBER

C1.1

Page 3 of 3



CIVIL SITE PLAN



PROFESSIONAL SEAL

NOT FOR CONSTRUCTION

SHEET NUMBER

BASE FLOOD ELEVATION:
PER FEMA FIRMETTE 55111C0194F
EFF 11/20/2013, BASE FLOOD
ELEVATION THROUGH SITE IS 880.00

ELECTRICAL IN STRUCTURE NOTE:
ALL ELECTRICAL OUTLETS, PANELS,
FIXTURES, ETC. SHALL BE
INSTALLED A MINIMUM OF 2' ABOVE
FINISHED FLOOR PER TOWN/COUNTY
REQUIREMENTS DUE TO FLOODPLAIN
REGULATIONS.

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

INLET PROTECTION NOTE:

CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:

CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

CONCRETE WASHOUT NOTE:

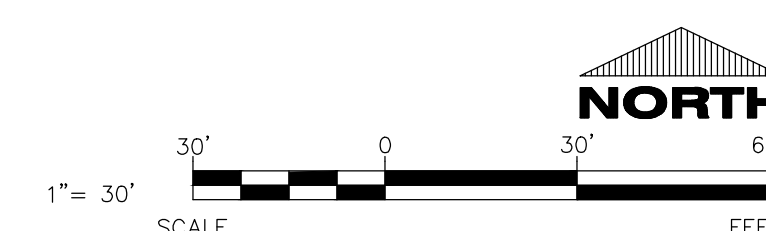
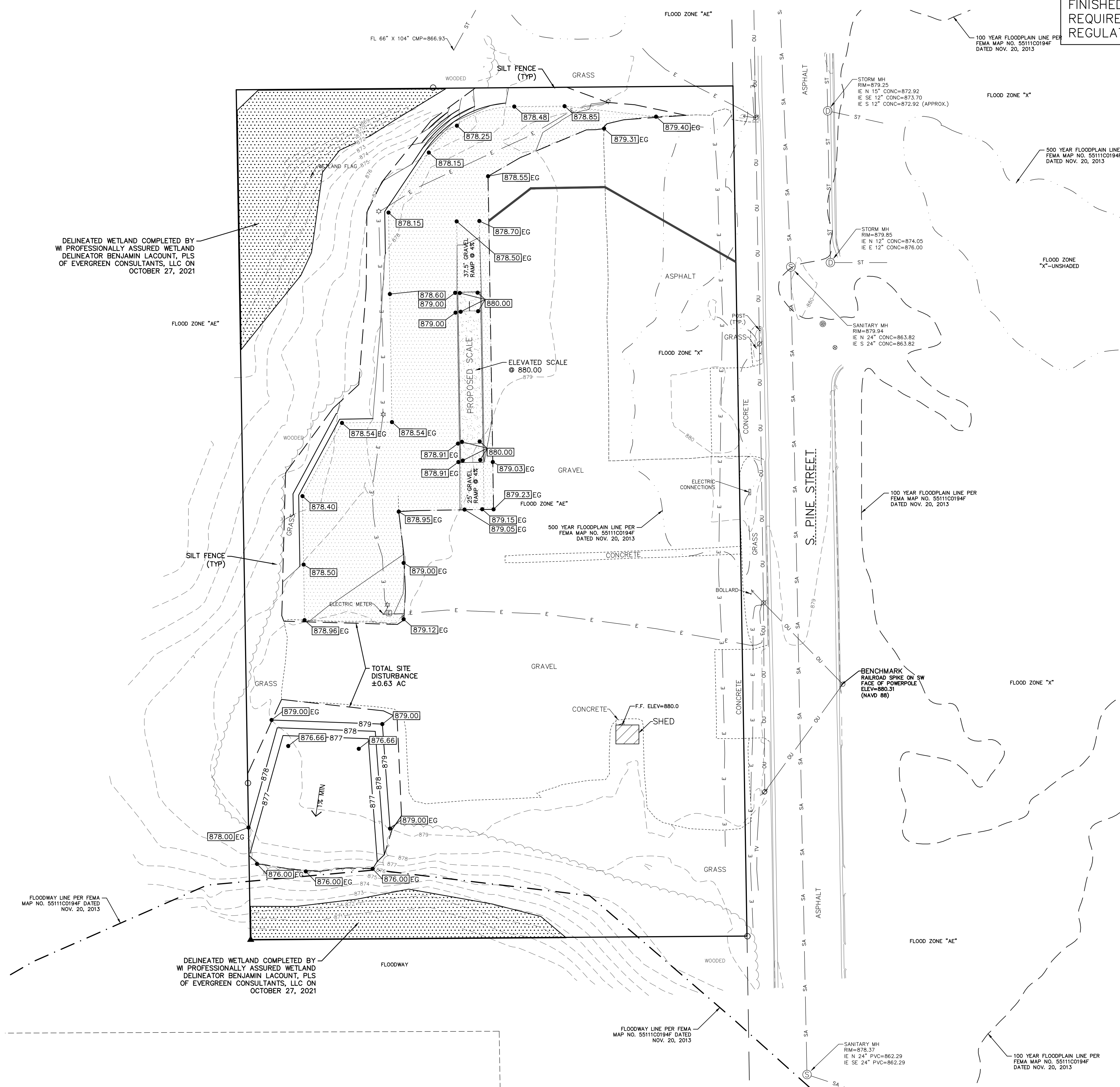
CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

COMPENSATORY STORAGE TABLE

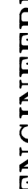
Name	Net[adjusted](Cu. Yd.
☒ Proposed Improvements	251.81<Fill>
☒ Flood Storage Compensation	334.70<Cut>

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**FLOOD ELEVATION=880.00**
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**PROPOSED PROJECT PROVIDES 82.89 ADDITION CUBIC
YARDS OF FLOOD STORAGE BELOW 880 FLOOD ELEVATION**



CIVIL GRADING AND EROSION CONTROL PLAN

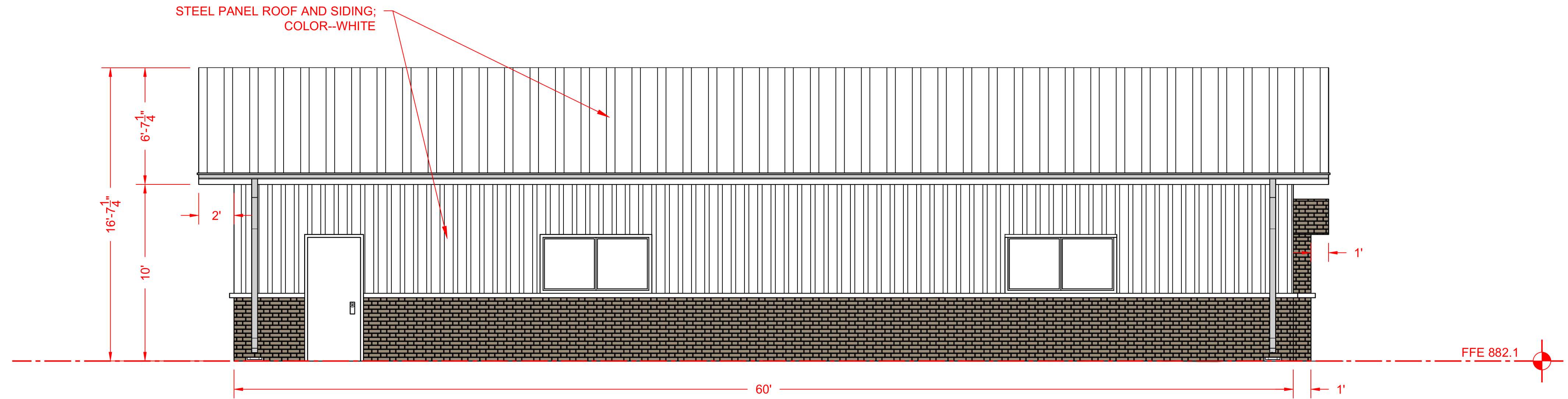
 **ENGINEERING
CONSULTANTS, INC.** **ENGINEERING
SURVEYING
ENVIRONMENTAL**

2800 C.T.H. Y - DODGEVILLE, WI 53533 (608) 935-3310

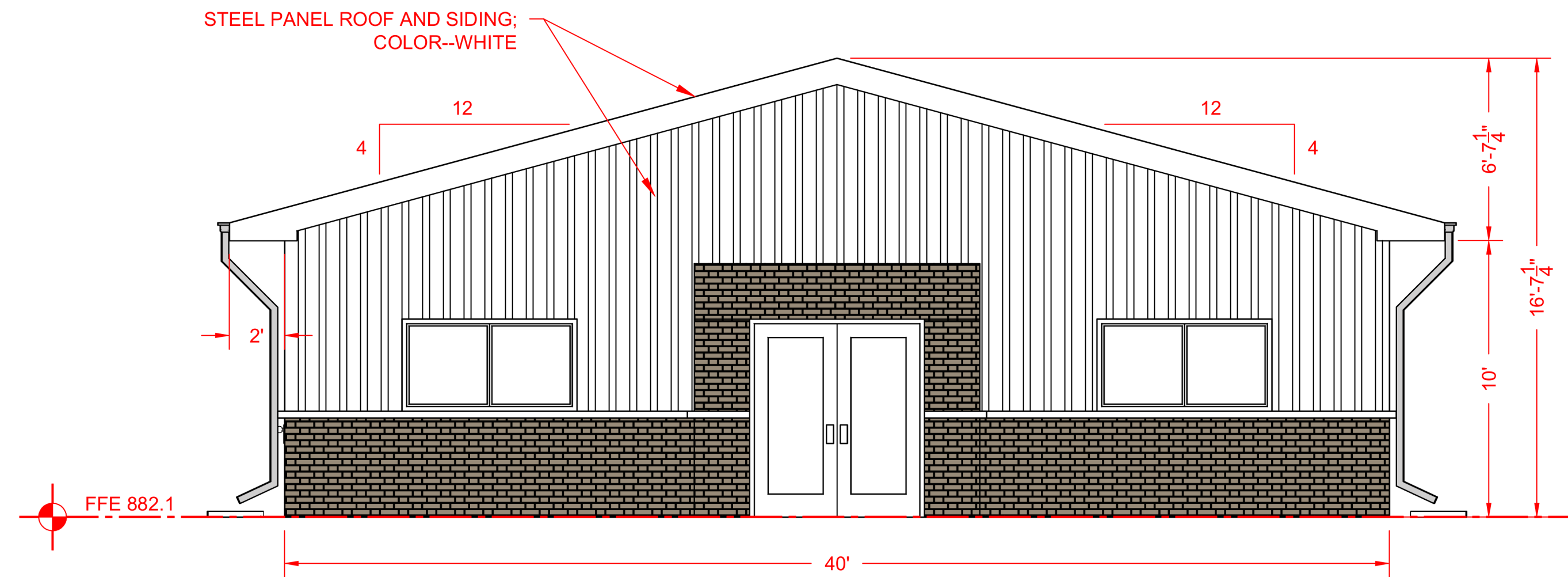
EXB-01

NITTEL TRANSFORM
 SOUTH AVENUE
 REEDSBURG, WI
 OFFICE BUILDING E

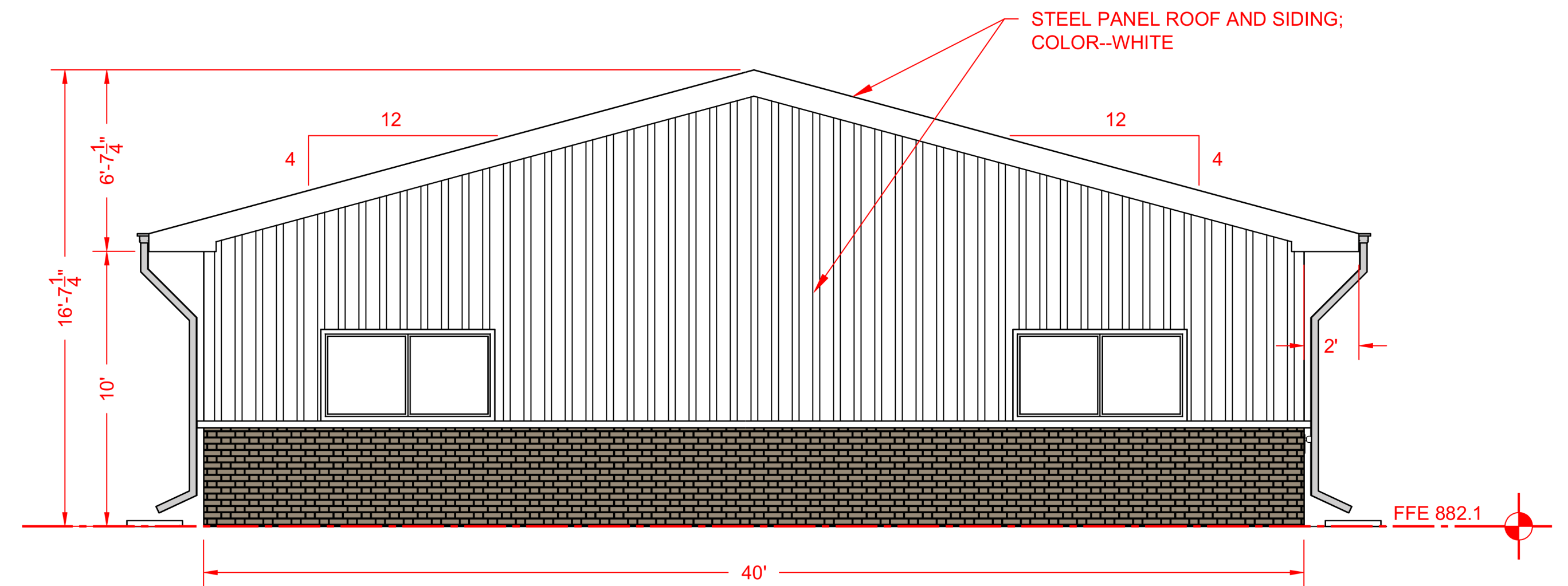
SCALE: 1/4" = 1'-0"



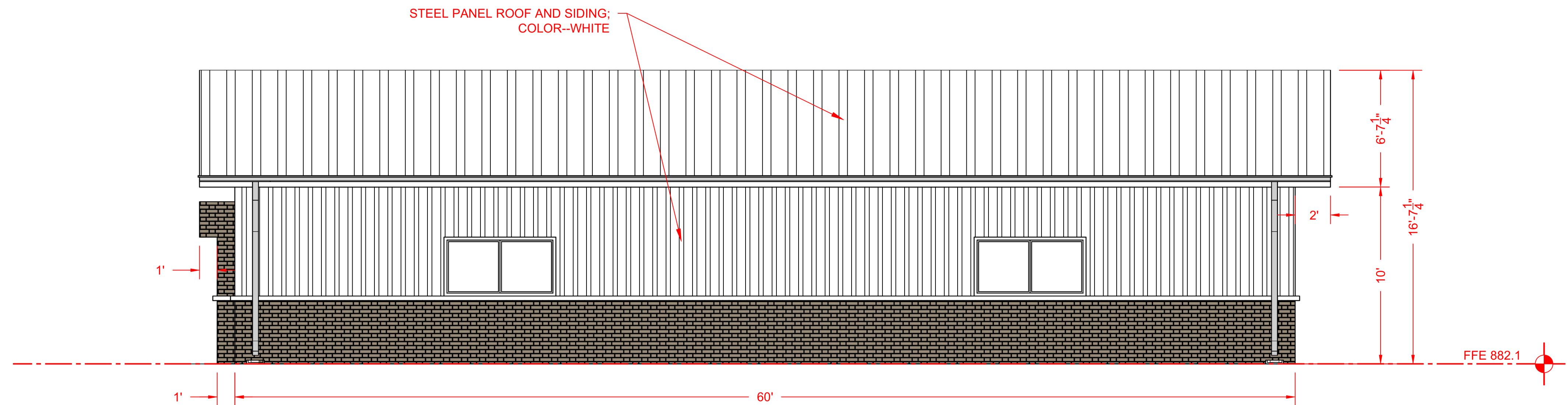
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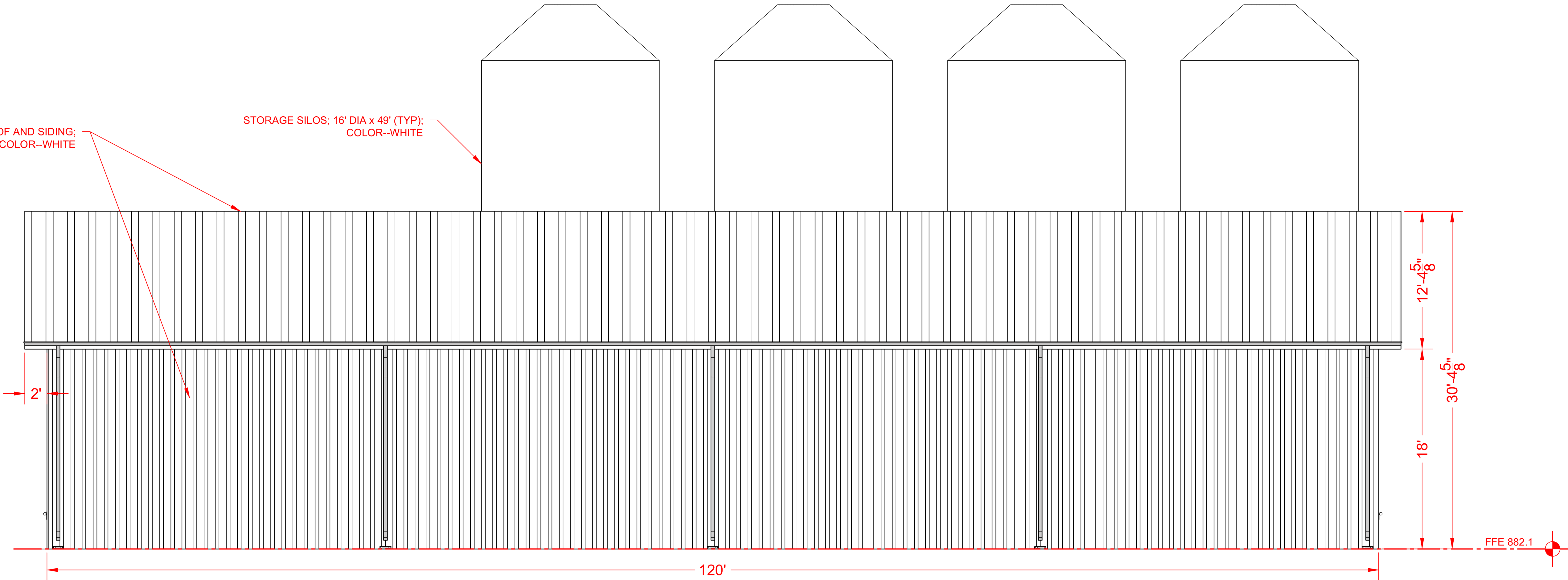


WEST ELEVATION

SCALE: 3/16" = 1'-0"

STEEL PANEL ROOF AND SIDING;
COLOR--WHITE

STORAGE SILOS; 16' DIA x 49' (TYP);
COLOR--WHITE

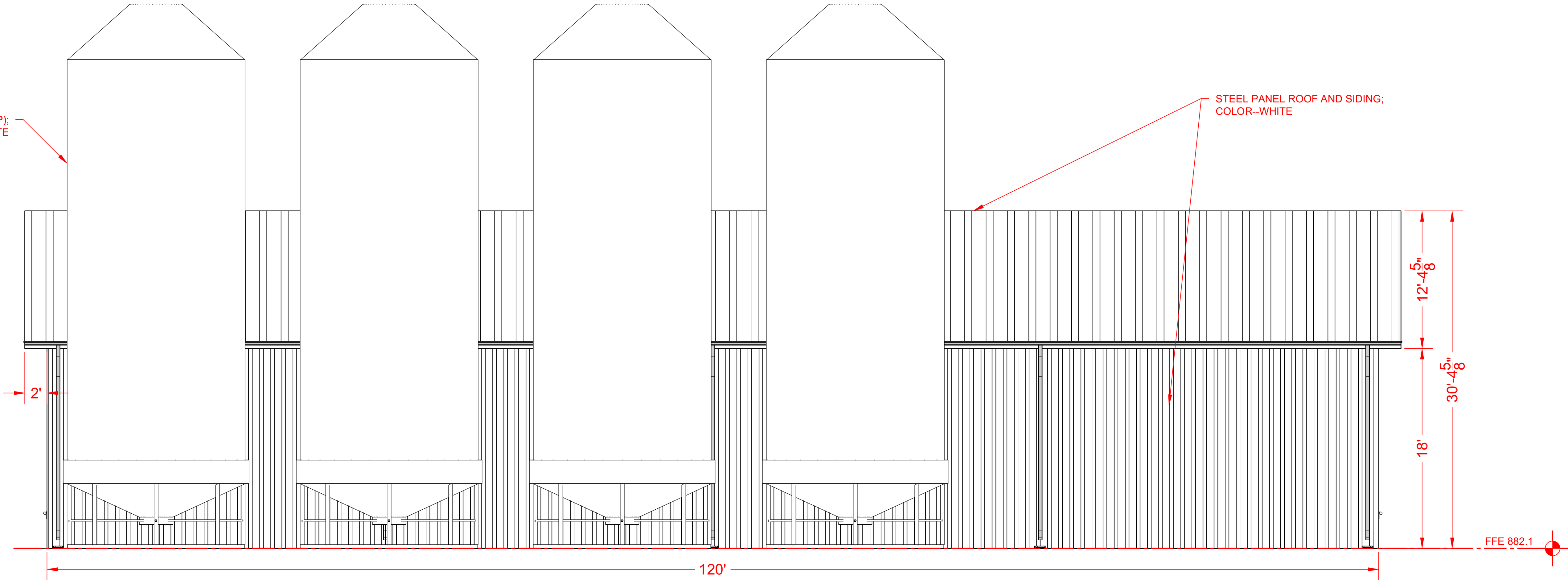


EAST ELEVATION

SCALE: 3/16" = 1'-0"

STORAGE SILOS; 16' DIA x 49' (TYP);
COLOR--WHITE

STEEL PANEL ROOF AND SIDING;
COLOR--WHITE



REVISIONS

RIFFEY TRANSPORT
SOUTH AVENUE
REEDSBURG, WI
OFFICE BUILDING ELEVATION VIEWS

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SURVEYING
ENVIRONMENTAL
(608) 935-3310

ENGINEERING
CONSULTANTS, INC.
2600 C.T.H. Y - DODGEVILLE, WI 53533

DATE: 2021-11-30

DESIGNED: MB

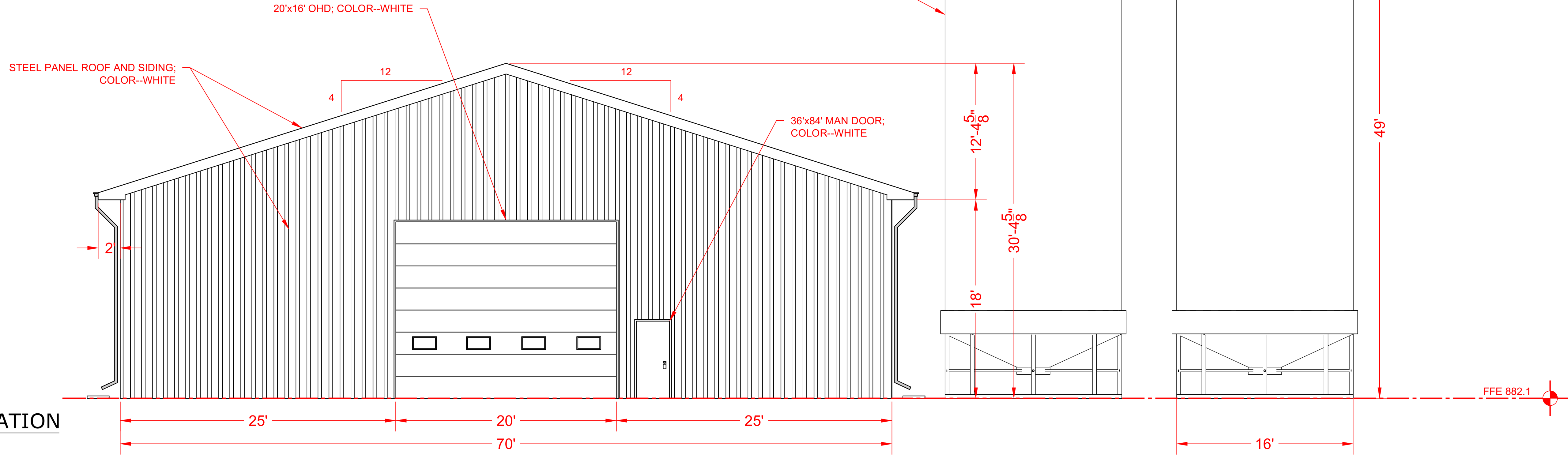
DRAFTED: GB

PROJECT #: 21-075

EXB-02

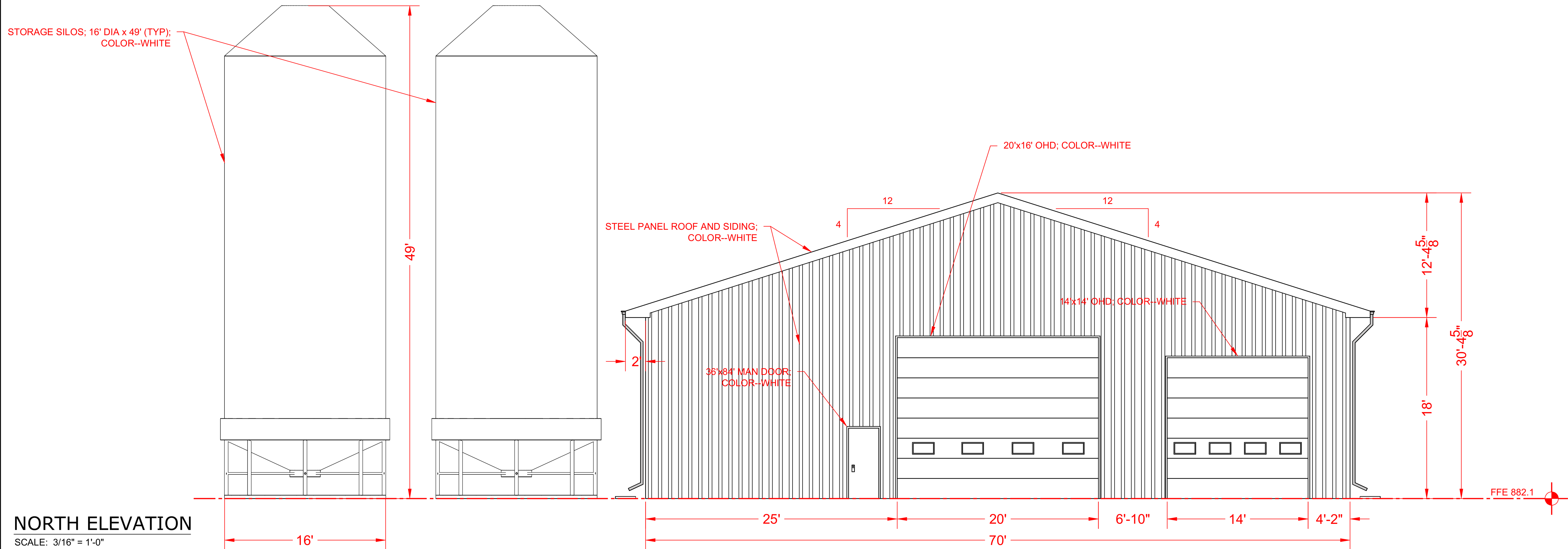
SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



NORTH ELEVATION

SCALE: 3/16" = 1'-0"



REVISIONS

RIFFEY TRANSPORT
SOUTH AVENUE
REEDSBURG, WI
OFFICE BUILDING ELEVATION VIEWS

ENGINEERING
SURVEYING
ENVIRONMENTAL
CONSULTANTS, INC.
C.T.H. Y - DODGEVILLE, WI 53533
2600 C.T.H. Y - DODGEVILLE, WI 53533
(608) 935-3310

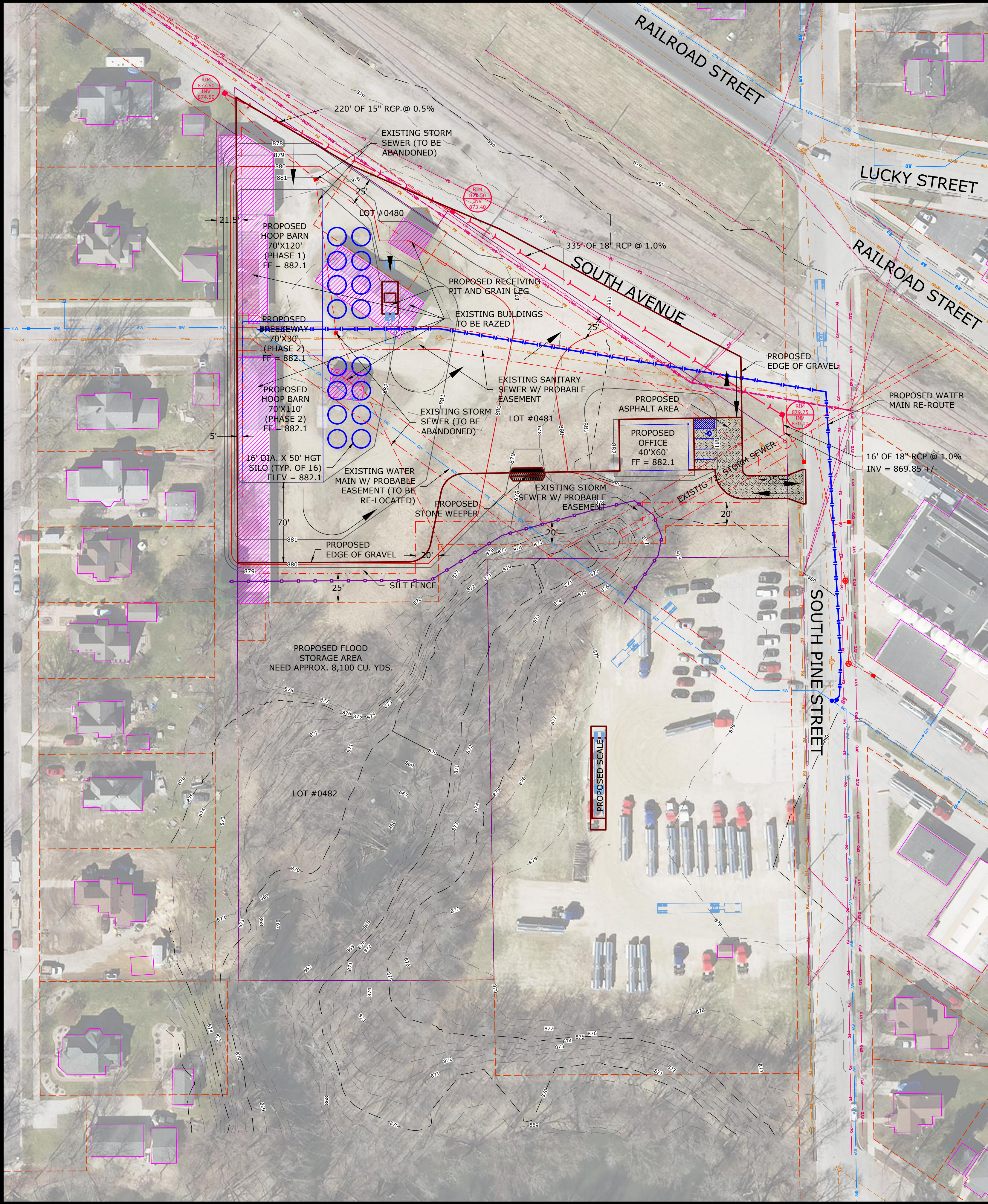
DATE: 2021-11-30

DESIGNED: MB

DRAFTED: GB

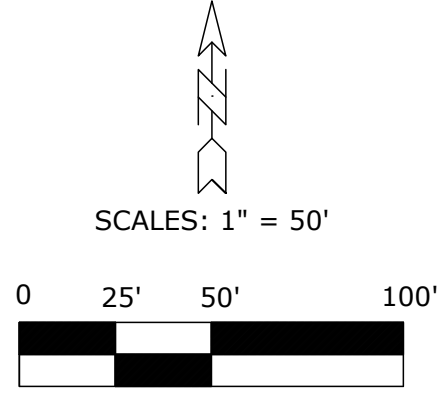
PROJECT #: 21-075

EXB-03



LEGEND

- PROPERTY LINES
- SETBACK LINES
- EASEMENT LINES
- EXISTING CONTOURS - MAJOR
- EXISTING CONTOURS - MINOR
- EXISTING BUILDINGS TO BE RAZED
- EXISTING TREES
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING WATER VALVE
- EXISTING ASPHALT
- EXISTING GRAVEL
- PROPOSED BUILDING
- PROPOSED GRAVEL
- PROPOSED CONTOURS - MAJOR
- PROPOSED CONTOURS - MINOR
- PROPOSED SILT FENCE
- PROPOSED ASPHALT
- ACCESS ROUTE/DIRECTION OF TRAVEL

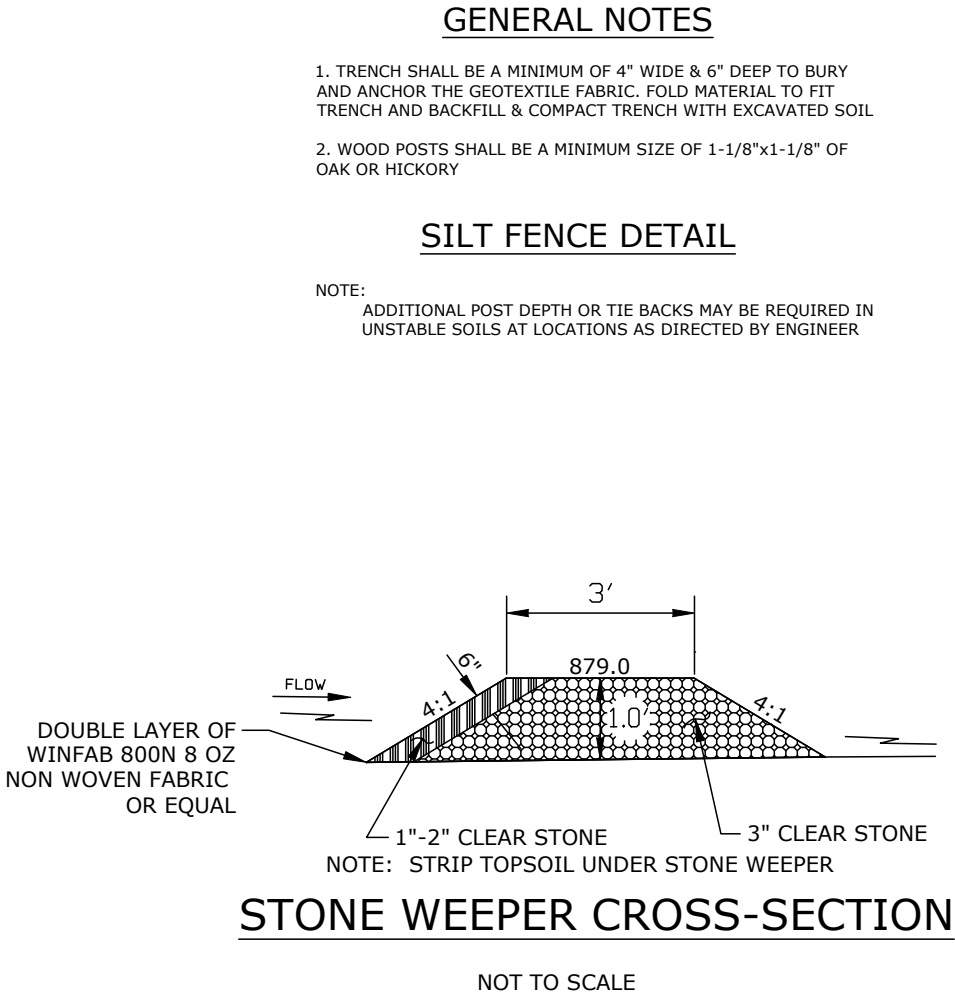
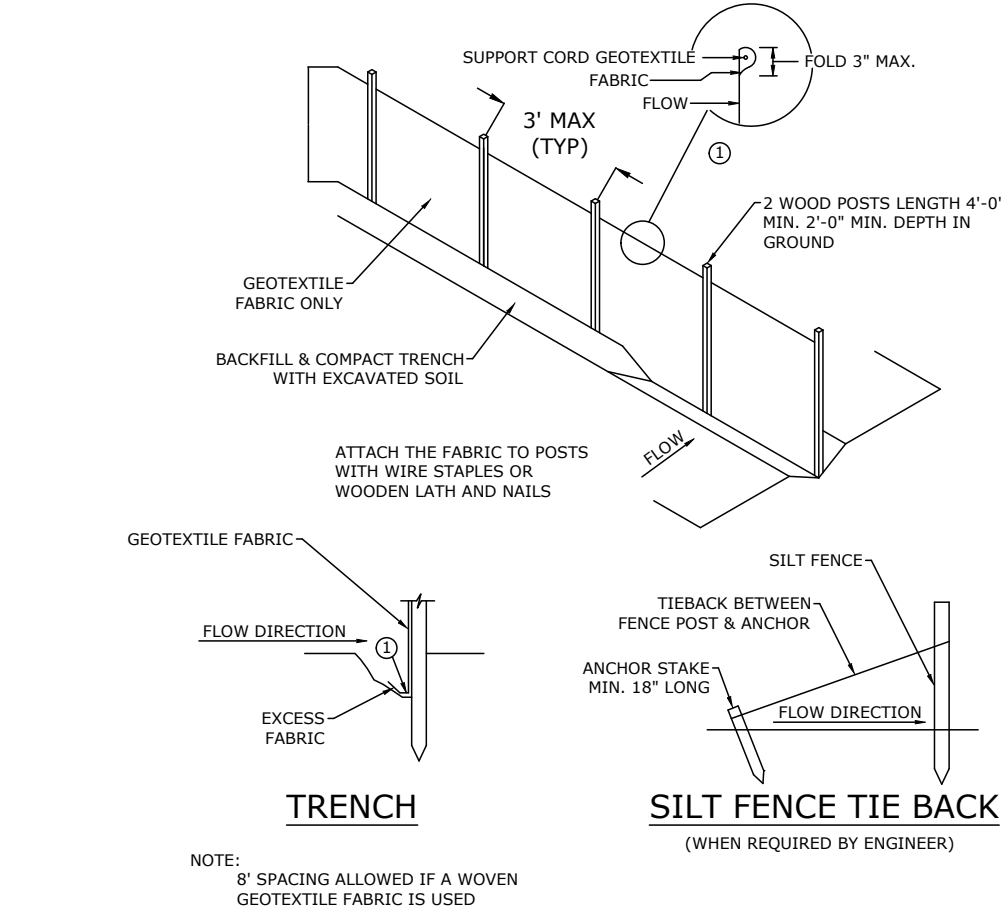


EROSION CONTROL NOTES:

1. CONTRACTOR SHALL HAVE ALL EROSION CONTROL MEASURES IN PLACE AND APPROVED BY THE ENGINEER PRIOR TO COMMENCEMENT OF EXCAVATION AND OR OTHER CONSTRUCTION ACTIVITIES.
2. EROSION CONTROL MEASURES SHALL COMPLY WITH WISCONSIN ADMINISTRATIVE CODE, COMM CHAPTER 21, AND CHAPTER 65 COMMERCIAL CONSTRUCTION.
3. ALL SILT FENCE SHALL BE INSPECTED DAILY. CLEANING, ADJUSTING AND REPLACING EROSION CONTROL MEASURES SHALL BE DONE AS NECESSARY THROUGHOUT CONSTRUCTION. ALL EROSION CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORK DAY.
4. EROSION CONTROL MEASURES SHALL BE INSTALLED PER THE DETAILS IN LOCATIONS DESIGNATED ON THE PLANS, OR AS MAY OTHERWISE BE DIRECTED BY THE ENGINEER.
5. SEDIMENT FROM OVERLAND FLOW SHALL BE PREVENTED FROM LEAVING THE WORK SITE BY INSTALLING SILT FENCING PARALLEL TO THE CONTOURS LOCATED DOWNHILL OF THE WORK SITE.
6. EXISTING VEGETATION SHALL BE REMOVED ONLY TO THE EXTENT NECESSARY TO PERFORM CONSTRUCTION ACTIVITIES. CLEARING OF AREAS THAT ARE CLEARLY OUTSIDE THE LIMITS OF CONSTRUCTION SHALL NOT BE PERMITTED.
7. MAINTAIN ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBANCE IS COMPLETED. DO NOT REMOVE EROSION CONTROL MEASURES UNTIL AT LEAST 70% OF THE AREA SERVED HAS ESTABLISHED A UNIFORM, VIGOROUS VEGETATED COVER.
8. STONE TRACKING PADS (AS REQUIRED BY ENGINEER) SHALL BE INSTALLED AT ALL CONSTRUCTION SITE EXITS TO PREVENT TRACKING OF SOIL ONTO PUBLIC ROADWAYS. ANY TRACKED SOIL SHALL BE REMOVED BY MECHANICAL STREET CLEANING AT THE END OF EACH DAY. ADD NEW STONE TO THE TOP IF OLD STONE BECOMES DIRT COVERED.
9. ALL DISTURBED AREAS SHALL BE RESTORED AND VEGETATED AS SOON AS POSSIBLE AFTER DISTURBANCE. IN GENERAL, STABILIZATION OF DISTURBED AREAS SHALL BE COMPLETED WITHIN 30 DAYS OF THE INITIAL DISTURBANCE, OR WITHIN 7 DAYS OF FINAL GRADING AND TOPSOIL PLACEMENT.
10. REFER TO THE DNR TECHNICAL STANDARDS AVAILABLE AT [HTTP://WWW.DNR.STATE.WI.US/ORG/WATER/WM/NPS/STORMWATER/TECHSTDSTM](http://www.dnr.state.wi.us/org/water/wm/nps/stormwater/techstds.htm).
11. CONTRACTOR SHALL WATER NEWLY SEEDED AREAS IF 7 DAYS PASS WITHOUT A RAINFALL DURING THE FIRST 6 WEEKS AFTER INITIAL STABILIZATION.
12. MULCHING OF DISTURBED AREAS SHALL BE AT A RATE OF 2 TONS PER ACRE. MULCH SHALL BE ANCHORED INTO THE SOIL BY DISCING.
13. AFTER ATTEMPTS TO STABILIZE DISTURBED AREAS WITH SEEDING AND MULCH FAIL, THOSE AREAS SHALL BE TEMPORARILY STABILIZED USING POLYACRYLAMIDE UNDER DIRECTION OF THE ENGINEER.
14. A MINIMUM OF ONE EROSION CONTROL INSPECTION SHALL BE PERFORMED EACH WEEK, AND ONE INSPECTION SHALL BE PERFORMED AFTER ANY RAINFALL EVENT OF 0.5" OR GREATER. ALL REPAIRS OR MODIFICATIONS SHALL BE COMPLETED WITHIN 24 HOURS OF THE INSPECTION.

SITE RESTORATION CONSTRUCTION NOTES:

1. WORK SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION", OF STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION, 2021 EDITION.
2. FERTILIZER SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AND SHALL CONFORM TO THE REQUIREMENTS SPECIFIED; FERTILIZER SHALL HAVE A 20-10-10 RATIO OF NITROGEN, PHOSPHORIC ACID AND POTASH.
3. STRAW MULCH OVER NEW SEEDING SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AT A RATE OF 2 TONS PER ACRE AND SHALL CONFORM TO THE REQUIREMENTS SPECIFIED IN SECTION 627 OF THE STATE SPECIFICATIONS. ALL MULCH SHALL BE STABILIZED BY ANCHORING. THIS CAN BE ACHIEVED BY LIGHT DISCING.
4. ENGINEER WILL MAKE PERIODIC ON-SITE OBSERVATIONS OF THE WORK IN PROGRESS.



REVISIONS

10/06/2021
10/07/2021
11/17/2021
11/29/2021
12/2/2021

RIFFEY TRANSPORT
SOUTH AVENUE
REEDSBURG, WI
SITE PLAN

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ENVIRONMENTAL
(608) 835-3310

ENGINEERING
CONSULTANTS, INC.
2600 C.T.H. Y - DODGEVILLE, WI 53533

DATE: 09/24/2021

DESIGNED: MB

DRAFTED: JM

PROJECT #: 21-075

SHEET 1
OF 1

City of Reedsburg Land Use Application

134 S. Locust St.
PO Box 490
Reedsburg, WI 53959

Ph: 608-524-6404
Fax: 608-524-8458
bduvalle@ci.reedsburg.wi.us

APPLICANT: Tony Pullara

ADDRESS: P0 Box 620 **CITY:** Kaukauna **STATE:** WI

ZIP: 54130 **PHONE:** 920-427-4406 **FAX:** 920-766-5004

E-MAIL: tpullara@kellerbuilds.com

PROPERTY OWNER: (if different from Applicant) United Coop

LOCATION: 1360 Laukant Street **PARCEL #:** _____

LAND USE REQUEST

(Please describe one or more as applicable – attach extra pages/maps if necessary)

☐ **Certified Survey Map (CSM):** _____

☐ **Conditional Use Permit:** _____

For *CONDITIONAL USE PERMIT* requests, also answer “A & B” on back page.

☐ **Preliminary Plat:** _____ **Final Plat:** _____ **Name of Plat:** _____

☐ **Rezoning - From:** _____ **To:** _____ **TID #** _____

☒ **Site Plan Review:** (See “B” on back page) _____

☐ **Zoning Appeal / Interpretation:** _____

☐ **Zoning Variance:** _____

For *VARIANCE* requests, also answer “C” on back page.

☐ **Other or Annexation:** _____

AFFIDAVIT

I certify that the information and plans submitted are true and accurate to the best of my knowledge. I also give permission to City zoning officials to enter my property for inspection purposes and for a temporary Zoning sign to be placed in my yard prior to the meeting.

 , 12/14/2021
Applicant Signature / Date

 , 12/14/2021
Owner Signature / Date

Extraterritorial Committee Date: _____
Plan Commission Date: _____
Board of Zoning Appeals Date: _____
City Council Action & Date: _____

Account #10-461500-00

***The applicant or representative MUST
ATTEND the meeting.***

G:\wpnet\Zoning - Planning\Land Use Appl.doc

Cond Use Permit	\$200	_____
Cond Use-Agriculture	\$400	_____
Variance	\$125	_____
Rezoning	\$200	_____
C.S.M.	\$175	_____
Subdivision Plat	\$610	_____
- w/ Stormwater Plan	\$100	_____
Site Plan Review	\$175	_____
Annexation	\$200	_____
Plan Amend	\$200	_____
Date Paid		_____
Receipt #		_____

A. Please describe how your request meets each of the following Conditional Use standards as applicable. Attach additional pages if needed.

- (A) *Proposed operation* - No Conditional Use shall be approved by the Plan Commission unless it finds that the use for which such permit is sought will not be injurious to the neighborhood or otherwise detrimental to the public welfare and will be in harmony with the general purpose of this ordinance and will not place demands on fire, police, or other public resources in excess of current capacity.

- (B) *Architectural plans; existing and proposed structures* - The proposed conditional land use shall be designed, constructed, operated, and maintained so as not to diminish the opportunity for surrounding properties to be used and developed as zoned.

- (C) *Character and use of adjoining buildings and those in the vicinity* - The proposed conditional land use shall not involve uses, activities, processes, materials, or equipment that would create a substantially negative impact on other conforming properties in the area by reason of traffic, noise, smoke, fumes, glare, and odors.

- (D) *Traffic generation, circulation and parking areas* - The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets and pedestrian or bicycle pathways in the area.

- (E) *Traffic generation and circulation, highway access and driveway locations* - The proposed conditional land use shall be adequately served by public or private streets.

- (F) *Sewerage and water systems* - The proposed conditional land use will be adequately served by water and sewer facilities, and refuse collection and disposal services.

B. Site Plan Requirements.

- (A) North arrow
- (B) Location of property lines, dimensions, and setbacks.
- (C) Location of existing and proposed public roads, rights-of-way and private easements of record.
- (D) Location of existing water bodies, surface drainage ways, stormwater controls, floodplains, and wetlands.
- (E) Location of existing and proposed buildings.
- (F) Location of parking areas and all exterior lighting.
- (G) Location of all loading / unloading areas.
- (H) Location of all sidewalks, walkways, bicycle paths and areas for public use.
- (I) Location of all utilities on the site.
- (J) Location and specifications for all fences, walls, and other screening features.
- (K) Location and specifications for all existing and proposed perimeter and internal landscaping.
- (L) Location and specifications for screening of all trash receptacles and other solid waste disposal facilities.
- (M) Location and specifications for proposed signs.
- (N) Elevation drawings for proposed commercial structures.
- (P) Floor plans, when needed to determine the number of parking spaces required.

C. Please describe how your request meets each of the following Variance standards. Attach additional pages if needed.

To grant a variance, the Board of Appeals must find four things:

- 1) The variance will not be contrary to the public interest. _____
 - 2) Substantial justice will be done by granting the variance. _____
 - 3) The variance is needed so that the spirit of the ordinance is observed. _____
 - 4) Due to special conditions, a literal enforcement of the provisions of the zoning ordinance will result in unnecessary hardship. _____
-

- (C) Variance Hardship. A property owner bears the burden of proving "unnecessary hardship" by demonstrating either of the following:
 - 1) For an area variance, that strict compliance with a zoning ordinance would unreasonably prevent the property owner from using the property for a permitted purpose or would render conformity with the zoning ordinance unnecessarily burdensome.
 - 2) For a use variance, that strict compliance with a zoning ordinance would leave the property owner with no reasonable use of the property in the absence of a variance. In both situations, the property owner bears the burden of proving that the unnecessary hardship is based on conditions unique to the property, rather than personal considerations, and that the unnecessary hardship was not created by the property owner.

PROPOSED ADDITION FOR:

UNITED COOP – REEDSBURG

REEDSBURG WISCONSIN

SHEET INDEX

SHEET	SHEET TITLE
T1.0	COVER SHEET
T1.1	GENERAL BUILDING NOTES AND SPECIFICATIONS
C1.0	SITE PLAN
S1.0	FOUNDATION WITH DEMO PLAN
S1.1	FOOTING SCHEDULE AND DETAILS
S1.2	ANCHOR BOLT PLAN
S1.3	SLAB, JOINT, AND POUR SEQUENCE PLAN
S2.0	FOUNDATION DETAILS
S2.1	FOUNDATION DETAILS
A1.0	FLOOR PLAN WITH DEMO
A1.1	FURNITURE, FIXTURES, AND EQUIPMENT PLAN
A2.0	EXTERIOR ELEVATIONS
A3.0	WALL SECTIONS
A3.1	WALL SECTIONS
A3.2	WALL SECTIONS
A4.0	SCHEDULES AND DETAILS

NOTE:
THE STAMP OF INTEGRITY ENGINEERING'S SUPERVISING PROFESSIONAL ON THIS SET OF DRAWINGS IS IN NO WAY ATTESTING TO THE ACCURACY AND COMPLETENESS OF THE DRAWINGS PREPARED BY SUB-CONSULTANTS INCLUDED HEREIN. THE RESPONSIBILITY FOR THE DRAWINGS BY SUB-CONSULTANTS LIES WITH THE RESPECTIVE SUB-CONSULTANTS (CIVIL, MEPPF, ETC.) THEY ARE INCLUDED HERE FOR CONVENIENCE AND INFORMATIONAL PURPOSES ONLY.

SYMBOLS & KEYS

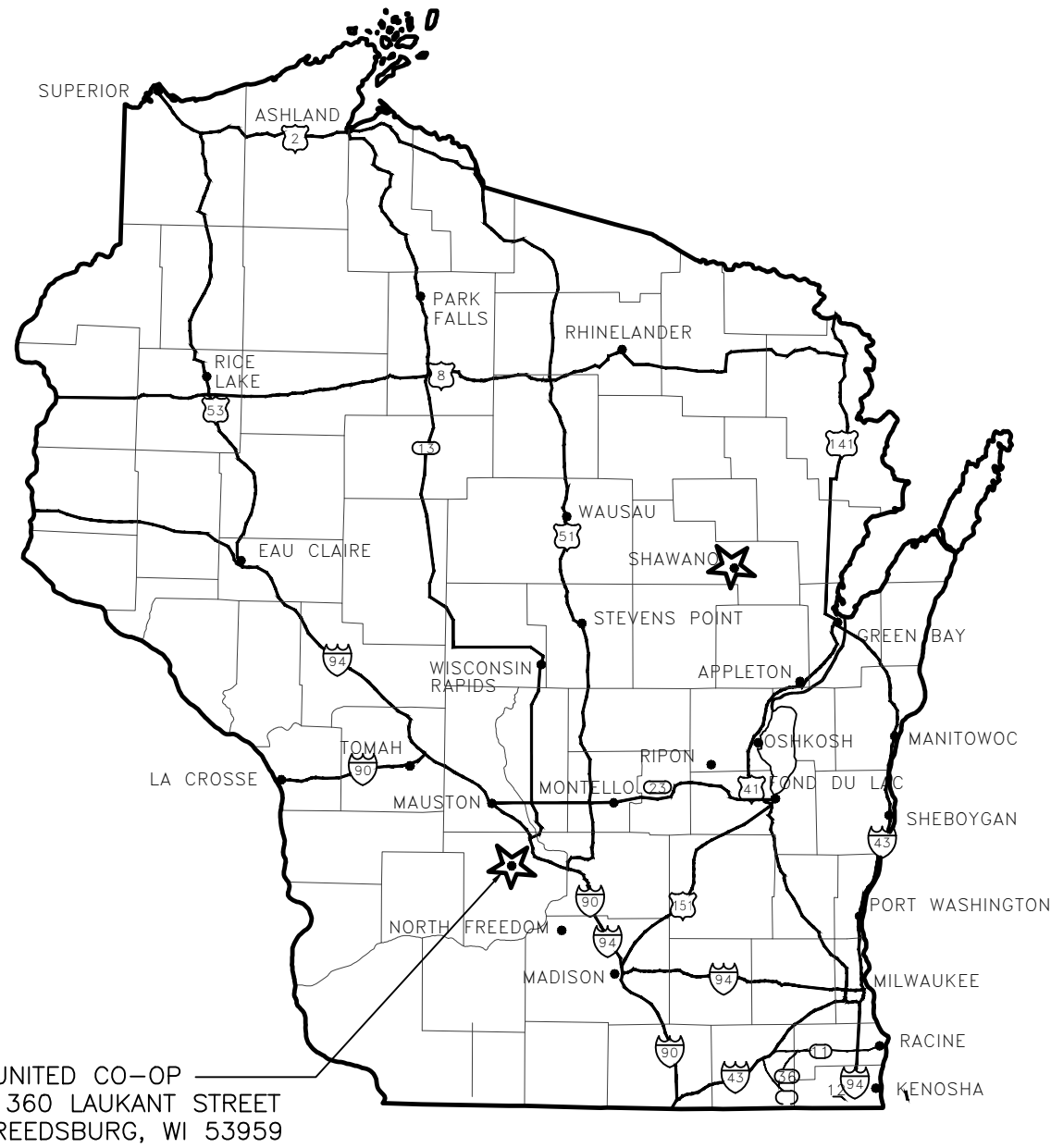
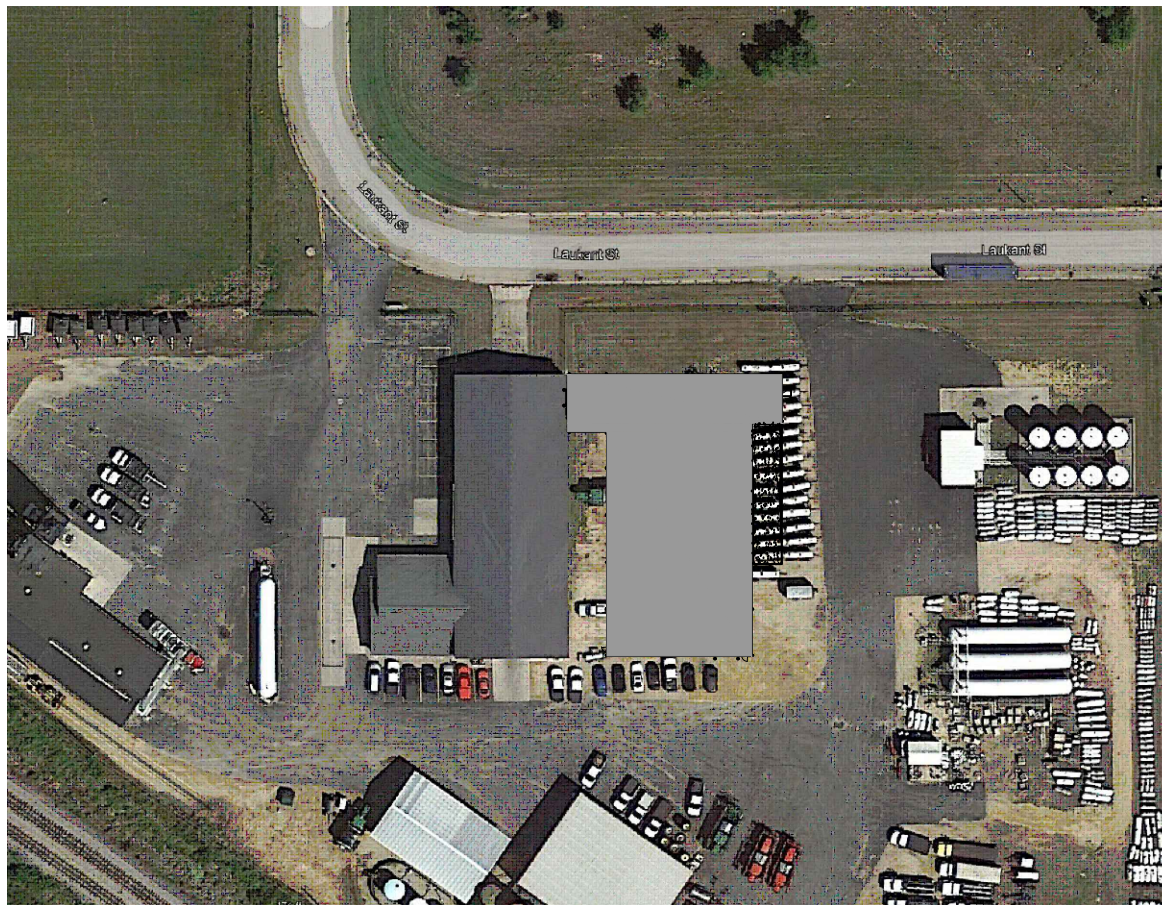
	COLUMN GRID		REVISION
	SECTION NUMBER		SPOT ELEVATION
	BUILDING SECTION REFERENCE		EXISTING SPOT ELEVATION
	SHEET NUMBER ON WHICH SECTION WILL BE FOUND		DOOR IDENTIFICATION
	DETAIL NUMBER		WINDOW IDENTIFICATION
	DETAIL IDENTIFICATION		ROOM IDENTIFICATION
	SHEET NUMBER		KEY NOTE IDENTIFICATION
	DETAIL NUMBER ON WHICH DETAIL WILL BE FOUND		NEW MASONRY WALL
	PLAN DETAIL REFERENCE		NEW STUD WALL
	AREA INCLUDED IN DETAIL		EXISTING WALL TO BE REMOVED
	ELEVATION MARKER		EXISTING WALL TO REMAIN
	ELEVATION MARKER		NEW STUD WALL IN REMODELED SPACE

PROJECT INFORMATION

BUILDING CODE: IBC 2015

BUILDING SIZE	DESIGN LOADS, PER IBC 2015, CHAPTER 16
EXISTING BUILDING (SQ. FT.): 11,392	Pg = 35 PSF
EXISTING ADDITION (SQ. FT.): 640	ULTIMATE DESIGN WIND SPEED = 115 MPH
SEPERATION: 3 HR. FIRE WALL	WIND EXPOSURE = C
WAREHOUSE ADDITION (SQ. FT.): 11,966	SEISMIC CATEGORY = A
EXISTING ALLOWABLE (SQ. FT.): 14,751	SOIL BEARING PRESSURE = 2000 PSF PRESUMED
WAREHOUSE ALLOWABLE (SQ. FT.): 28,580	
WAREHOUSE ALLOWABLE FIRE AREA (SQ. FT.): 12,000	
NUMBER OF STORIES (ABOVE GRADE PLANE): 1	
MAXIMUM OVERALL HEIGHT: 19'-8"	
CONSTRUCTION CLASSIFICATION	FIRE PROTECTION SYSTEMS
EXISTING - TYPE VB	AUTOMATIC FIRE SPRINKLER SYSTEM - NOT REQUIRED
NEW - TYPE IIB	STANDPIPE SYSTEMS - NOT REQUIRED PER IBC 905
OCCUPANCY	FIRE ALARM SYSTEM - NOT REQUIRED PER IBC 907
S-1	SMOKE DETECTORS - INSTALL PER APPLICABLE CODES
TRAVEL DISTANCE	EXIT SIGNS - PROVIDE EXIT SIGNS PER NFPA SECTION 101.3
COMMON PATH: 100 FT.	FIRE EXTINGUISHERS - INSTALL PER NFPA 1 AND APPLICABLE
EXIT ACCESS: 200 FT.	LOCAL CODES
	EGRESS ILLUMINATION - PER IBC 1008

LOCATION MAP



GENERAL NOTES

THESE PLANS ARE PRESENTED TO LEAD A HIGH QUALITY DESIGN/BUILD TEAM. EACH CONTRACTOR AND SUBCONTRACTOR IS RESPONSIBLE TO PROVIDE EXCELLENT DESIGN, BUILDING MATERIALS, AND CRAFTSMANSHIP WHICH WE CAN ALL BE PROUD OF. WE ENCOURAGE YOU TO PROVIDE EXPERTISE IN YOUR CHOSEN FIELD AND TO BRING IDEAS AND CONCERNS TO THE ATTENTION OF THE GENERAL CONTRACTOR.

THESE DRAWINGS COVER STRUCTURAL AND GENERAL CONSTRUCTION ONLY. ALL WORK SHALL CONFORM TO STANDARD PRACTICES AND APPLICABLE LAWS, WHETHER THEY ARE SPECIFICALLY STATED IN THESE PLANS OR NOT.

EACH CONTRACTOR SHALL:

- VISIT THE SITE TO VERIFY EXISTING CONDITIONS, ACCESS, ETC. PRIOR TO BIDDING
- MAINTAIN A CLEAN JOB SITE AT ALL TIMES.
- OBTAIN AND PAY FOR PERMITS, LICENSES, FEES, ETC. AS MAY BE REQUIRED FOR COMPLETION OF HIS OWN PORTION OF THE PROJECT.
- FIELD VERIFY DIMENSIONS.
- REPORT ANY DISCREPANCY NOTED BETWEEN THESE PLANS AND APPLICABLE CODES TO THE GENERAL CONTRACTOR.
- PROVIDE ALL BARRIERS, FENCES, SAFETY EQUIPMENT AND PRECAUTIONS REQUIRED BY APPLICABLE LAWS AND STANDARD PRACTICES.

ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURERS REQUIREMENTS AND RECOMMENDATIONS.

ANY HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION, REMODELING, OR EXCAVATION SHALL BE REMOVED AND/OR CONTAINED IN ACCORDANCE WITH GOVERNING LOCAL, STATE, AND FEDERAL REGULATIONS.

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QUICK SPEC

TO MAKE THIS PLAN MORE CONTRACTOR FRIENDLY, WE HAVE PREPARED IT WITH OUR **QUICK SPEC** SYSTEM.

THE WRITTEN SPEC IS GENERAL AND DOES NOT GO INTO DEPTH TO REITERATE STANDARD PRACTICES OR APPLICABLE LAWS. IT IS WRITTEN IN AN EASY TO READ FORMAT. THE SPECIFICATION IS SPLIT INTO APPROPRIATE SECTIONS AND LISTED ON THE PLAN WHERE IT IS NEEDED. YOU WILL FIND THESE SECTIONS QUICKLY BY THE SHADOW BOX AROUND IT (SIMILAR TO THIS ONE).

SPECIFIC CASES THAT CANNOT BE DESCRIBED IN A GENERAL SPEC ARE NOTED ON THE PLANS. IF THERE IS A DISCREPANCY BETWEEN THE PLAN AND THE GENERAL SPEC, THE PLAN NOTES WILL SUPERSEDE THE GENERAL SPEC.

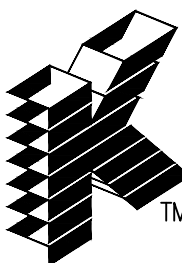
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REVISIONS

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C. VANDEWETTERING

DESIGNER

R. LINDSTROM

IED PROJECT MANAGER:

C. DUESCHER

EXPEDITOR:

C. HOYER

SUPERVISOR:

D. CRAKER

CONTRACT NO:

77137

IED NO:

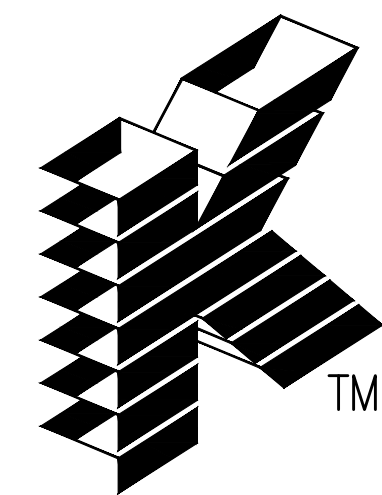
21157

ISSUED DATE:

Nov. 5, 2021

SHEET:

T1.0



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DESIGN / BUILD
GENERAL CONTRACTORS
920-766-5795 WATS: 1-800-236-2534
P.O. BOX 620 N216 STATE ROAD "55"
KAUKAUNA, WISCONSIN 54130-0620

SITE UTILITIES

ALL UTILITIES SHALL BE INSTALLED PER INDUSTRY STANDARDS. WATER, SANITARY AND STORM SEWER SHALL BE INSTALLED PER "STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN". THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, APPLYING FOR, SCHEDULING AND COORDINATING THE INSTALLATION OF GAS, ELECTRIC, AND COMMUNICATION SERVICES.

LOCATIONS OF SITE UTILITIES ON THIS PLAN ARE PRELIMINARY AND MUST BE VERIFIED BY THE SITE UTILITY CONTRACTOR.

SITE WORK

THE SITE WORK CONTRACTOR IS REQUIRED TO CONTACT DIGGER'S HOTLINE. ALL UTILITIES SHALL BE LOCATED PRIOR TO STARTING EXCAVATION.

ALL EXCAVATION AND BACK FILL FOR MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE MECHANICAL CONTRACTOR. THESE TRENCHES ARE TO BE FILLED IN 8" LIFTS AND COMPACTED TO 95% OF THE MODIFIED PROCTOR VALUE. ENSURE TRENCH ROUTE IS CLEAR OF UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO DIGGING.

THE EXCAVATION CONTRACTOR SHALL ADVISE THE GENERAL CONTRACTOR OF ANY SOIL CONDITIONS WHICH APPEAR OUT OF THE ORDINARY. THE SOIL BEARING CAPACITY IS LISTED ON THE COVER SHEET.

ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS AND AT SITE FILL AREAS SHALL BE REMOVED. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION.

ALL SUB GRADE FILL UNDER PAVED AREAS AND BUILDING AREAS SHALL BE CLEAN GRANULAR FILL CONFORMING TO GRADE 1 OR 2 OF SECTION 209 MOOT STANDARD. PLACE IN 8" MAXIMUM LIFTS AND COMPACT TO 95% OF THE MODIFIED PROCTOR VALUE. GRAVEL BASE BENEATH FLOOR SLABS SHALL BE 6 INCHES OF 3/4" GRADED STONE OR SAND COMPACTED TO THE ABOVE STANDARD. GRAVEL BASE BENEATH DRIVES, PARKING AREAS, AND APRONS SHALL BE 12" OF COMPACTED CRUSHED STONE. TYPAR SHALL BE INSTALLED WHENEVER THIS 12" BASE RESTS ON CLAY OR LOOSE SOILS. FILL SHALL NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACKFILL.

FOUNDATION TRENCHES MUST BE BACK FILLED UNIFORMLY ON EACH SIDE WITH SAND. PLACE FILL IN 8" LIFTS AND COMPACT TO 95% OF THE MODIFIED PROCTOR VALUE. THE EXTERIOR SIDE MAY BE FILLED WITH COMPACTED NON-STRUCTURAL FILL IF THERE WILL NEVER BE A PARKING LOT OR ADDITION ON THAT SIDE. WHEN IN DOUBT, BACK FILL WITH SAND.

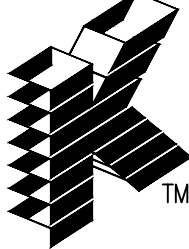
THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AT A MINIMUM OF 2% SLOPE FOR 10'-10" AWAY FROM THE BUILDING, STARTING AT 5" BELOW THE FLOOR LINE OR AS INDICATED ON THE PLANS. PROVIDE 6" OF TOPSOIL AT ALL GRASS AND LANDSCAPED AREAS AND GRADE TO +/- 0.10 FEET.

SPLASH BLOCKS ARE TO BE PLACED AT ALL DOWN SPOUTS WHICH DISCHARGE AT GRADE AND AT SPRINKLER DRAIN VALVES.

IF A CURRENT GEOTECHNICAL REPORT OR PLANS BY A CIVIL CONSULTANT ARE AVAILABLE, ALL REQUIREMENTS OF THAT REPORT AND PLANS MUST BE FOLLOWED. WHEN THE STRUCTURAL/ARCHITECTURAL PLANS OR THE INFORMATION ABOVE CONFLICT WITH THE GEOTECHNICAL REPORT OR THE CIVIL PLANS, THE INFORMATION IN THE GEOTECHNICAL REPORT AND CIVIL PLANS SUPERCEDE.



SITE PLAN
SCALE: 1"=40'-0"



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DESIGNER	R. LINDSTROM
IED PROJECT MANAGER:	C. DUESCHER
EXPEDITOR:	C. HOYER
SUPERVISOR:	D. CRAKER
CONTRACT NO:	77137
IED NO:	21157
ISSUED DATE:	Nov. 5, 2021

SHEET: **C1.0**

CONCRETE

CONCRETE CONTRACTOR SHALL VERIFY SOIL CONDITIONS BEFORE PLACING FOUNDATIONS AND SLABS. NOTIFY THE GENERAL CONTRACTOR IF ANY SOIL CONDITIONS APPEAR OUT OF THE ORDINARY.

FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR STRUCTURAL FILL. DO NOT PLACE FOOTINGS ON FROZEN GROUND.

DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94.

1) FOOTINGS AND WALLS SHALL HAVE STRENGTH EQUAL TO 3,000 PSI AT 28 DAYS.

2) SLABS ON GRADE AND CONTAINMENT CURBS SHALL HAVE STRENGTH EQUAL TO 4,500 PSI AT 28 DAYS.

3) EXTERIOR CONCRETE SHALL HAVE STRENGTH EQUAL TO 4,000 PSI AT 28 DAYS.

4) COLUMNS, BEAMS AND STRUCTURAL SLABS SHALL HAVE STRENGTH EQUAL TO 4,000 PSI AT 28 DAYS.

5) PRE CAST TOPPING SHALL HAVE STRENGTH EQUAL TO 4000 PSI AT 28 DAYS.

6) SLUMP SHALL NOT EXCEED 4".

7) ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED WITH 4-7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT THE APPROVAL OF THE GENERAL CONTRACTOR. CALCIUM CHLORIDE SHALL NOT BE USED.

8) MAXIMUM AGGREGATE SIZE FOR FOOTING TO BE 1 1/2" AND MAXIMUM AGGREGATE SIZE FOR ALL OTHER WORK TO BE 3/4".

PLACE FLOOR SLABS WITH CONSTRUCTION JOINTS OR SAW JOINTS NOT EXCEEDING A MAXIMUM OF 156 SQUARE FEET OR AS INDICATED ON THE PLANS. SAW CUTTING TO BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED.

INTERIOR SLABS TO HAVE A TROWEL FINISH AND EXTERIOR SLABS TO HAVE A LIGHT BROOM FINISH. MAINTAIN FLOOR LEVEL AT WALLS AND PITCH SURFACES UNIFORM TO DRAIN.

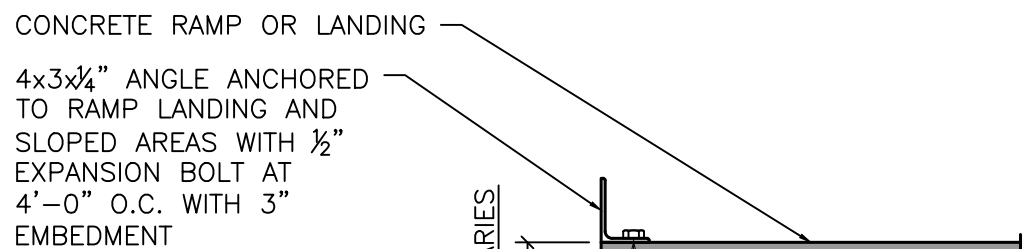
CONCRETE TO BE SEALED OR WET CURED FOR 7 DAYS. FLOORS TO RECEIVE TILE OR EPOXY TO BE WET CURED ONLY. EXTERIOR SLABS SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 1/2" FIBER EXPANSION JOINT.

DESIGN AND CONSTRUCTION OF CAST-IN-PLACE CONCRETE SHALL CONFORM TO ACI 318 AND CRSI STANDARDS.

ANCHOR BOLTS AND THREADED RODS TO BE ASTM F1554, MINIMUM GRADE A36.

REINFORCING STEEL

REINFORCING STEEL TO CONFORM TO ASTM-A615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM-A185. LAP ALL HORIZONTAL REINFORCING AT SPICES AND AROUND CORNERS 30 BAR DIAMETERS. WELDED WIRE FABRIC IS TO BE LAPPED 6" AND PLACED IN THE CENTER OF THE SLAB UNLESS INDICATED OTHERWISE. REINFORCING SHALL BE PLACED IN CONFORMANCE WITH CRSI "RECOMMENDED PRACTICES FOR PLACING BARS" AND ACI 318. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE, DIRT OR DEEP RUST WHEN PLACED. PROVIDE CONCRETE PROTECTION FOR REBARS PER ACI 318 SECTION 7.7.



FLOOR SLAB PER FOUNDATION PLAN

RAMP AND LANDING EDGE DETAIL

SCALE: 1"=1'-0"

1
S1.0

CONCRETE CONSTRUCTION NOTES:

1. REINFORCING STEEL CHAIRS TO BE SUPPORTED WITH CONCRETE BLOCK WITH A MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI OR NON-CORRODING CHAIRS

2. BENT REBAR TO HAVE MINIMUM BENDING RADIUS 6x BAR DIAMETER. (TYPICAL)

NOTES:

1. ALL INTERIOR CONCRETE TO BE 4,500 PSI.

2. ALL SEALANTS TO BE POLYURETHANE APPROVED BY DATCP.

3. ALL REINFORCING TO BE GRADE 60.

4. WATERSTOP SHALL BE TPR.

5. ALL SAWCUTS SHALL BE FILLED W/ SEALANT.

6. FLOOR SHALL BE DATCP APPROVED FOR SECONDARY CONTAINMENT OF MINI-BULK CONTAINERS.

7. FIELD VERIFY FINAL DOCK ELEVATIONS, BENCH MARKS, AND EXTERIOR CONCRETE.

FOUNDATION PLAN

SCALE: 1/8"=1'-0"



TOP OF FOUNDATION WALL KEY

TOP OF CONCRETE = (100'-0")

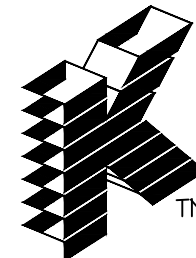
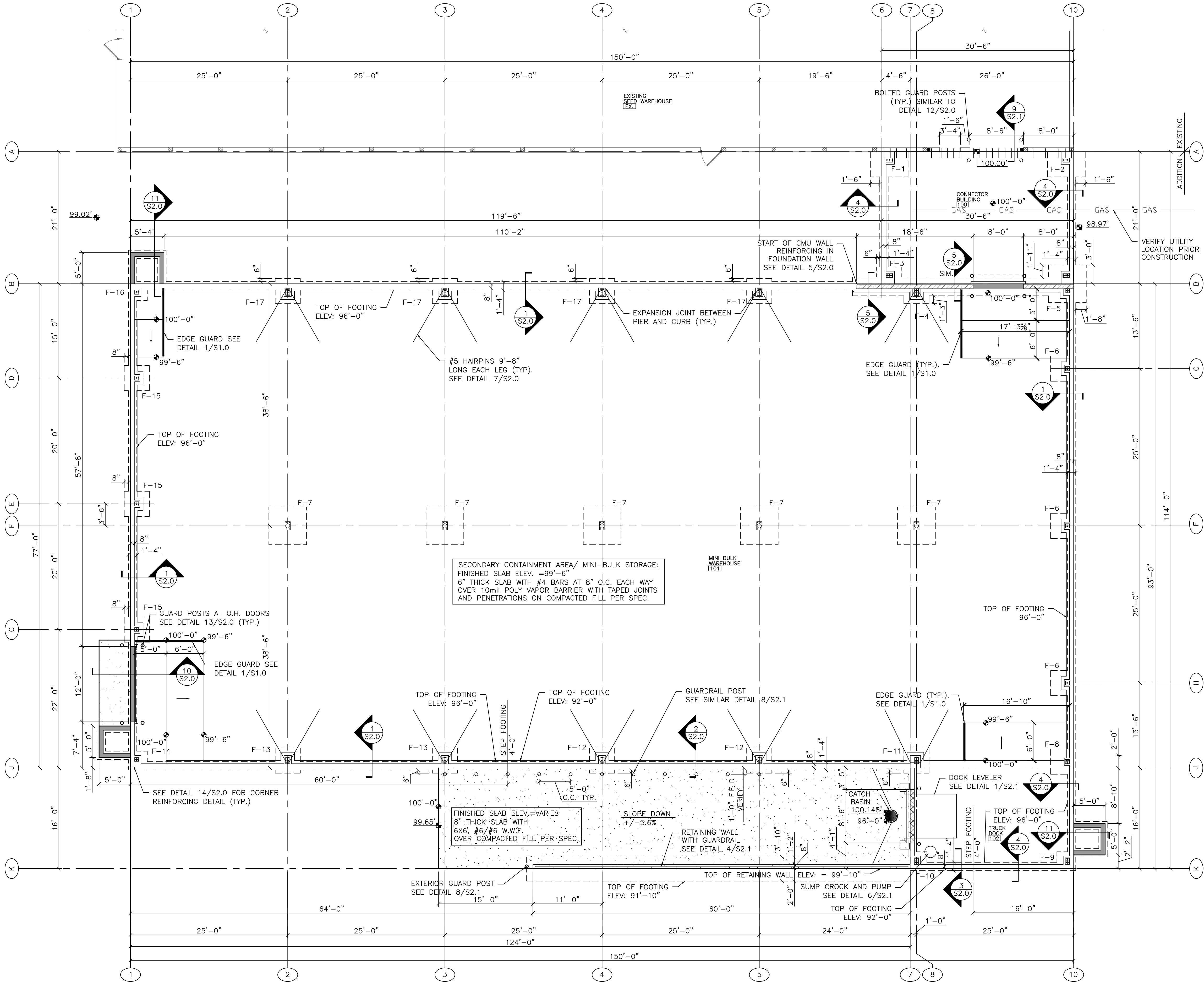
TOP OF CONCRETE = (99'-4")

TOP OF CONCRETE = (97'-8")

VERIFY WITH LEVELER SUPPLIER

xx'-x" = PROPOSED ELEVATION

xx'.xx' = EXISTING ELEVATION



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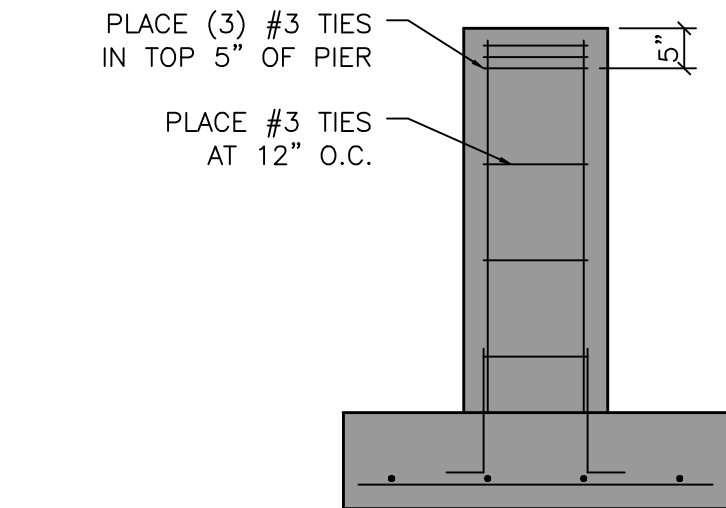
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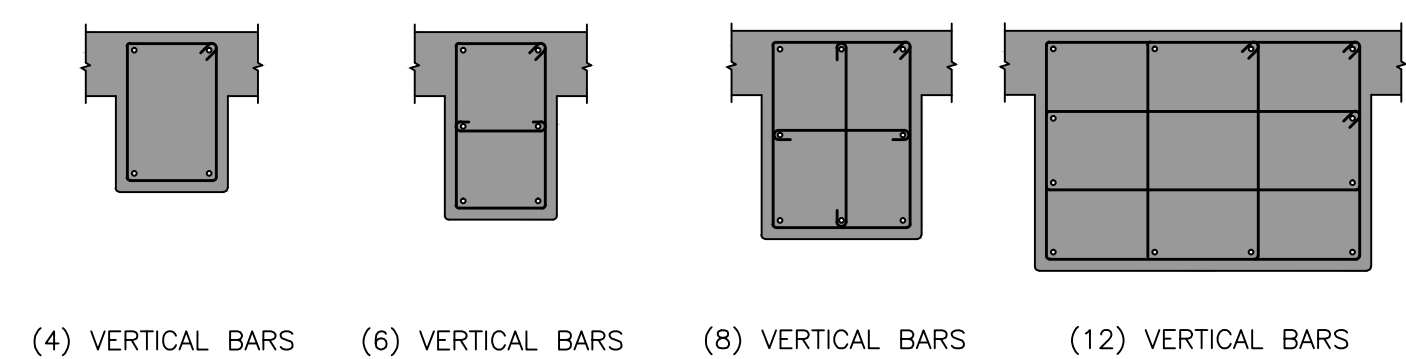
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FOOTING SCHEDULE											
MARK	FOOTING SIZE (LxWxTHICKNESS)	FOOTING REINFORCING	TOP OF FOOTING	DETAIL	PIER SIZE	PIER REINFORCING	TOP OF CONCRETE PIER	GROUT	ANCHOR BOLTS	BASEPLATE DETAIL	REMARKS
F-1	4'-0" x 6'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	10/S2.1	24"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP200-B	-
F-2	4'-0" x 6'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	10/S2.1	24"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP200-D	-
F-3	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	10/S2.1	24"x34"	(8) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP200-A	-
F-4	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	6/S2.0	14"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP04-A(2)	-
F-5	6'-0" x 6'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	6/S2.0 SIM.	SEE PIER DETAIL	(12) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(8) ¾"	BP200-C, BP05-A	-
F-6	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	15/S2.0	14"x18"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP01-D	-
F-7	6'-0" x 6'-0" x 18"	#4 BARS AT 12" O.C. EACH WAY (TOP) AND #6 BARS AT 12" O.C. EACH WAY (BOTTOM)	98'-10"	16/S2.0	-	-	-	-	(4) ¾"	BP03-A(1), BP03-A(2)	-
F-8	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	11/S2.1	14"x18"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP05-B	-
F-9	3'-0" x 3'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	11/S2.1	20"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP300-B	-
F-10	3'-0" x 3'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	92'-0"	11/S2.1	20"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP300-A	-
F-11	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	92'-0"	6/S2.0	20"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP04-B(2)	-
F-12	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	92'-0"	6/S2.0	14"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP04-B(1), BP02-B(2)	-
F-13	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	6/S2.0	14"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP02-B(1)	-
F-14	3'-0" x 3'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	11/S2.1 SIM.	20"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP01-A	-
F-15	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	6/S2.0	14"x20"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP01-B	-
F-16	3'-0" x 3'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	10/S2.0	20"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP01-C	-
F-17	4'-0" x 4'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	96'-0"	6/S2.0	14"x24"	(6) #5 VERTICAL BARS WITH #3 TIES AT 12" O.C.	100'-0"	-	(4) ¾"	BP02-A, BP04-A(1)	-

NOTES: 1. FOOTING DIMENSIONS ON AN EXTERIOR WALL INCLUDE THE WIDTH OF THE STRIP FOOTING.
2. PIER DIMENSIONS INCLUDE THE WIDTH OF THE ADJACENT FOUNDATION WALL.

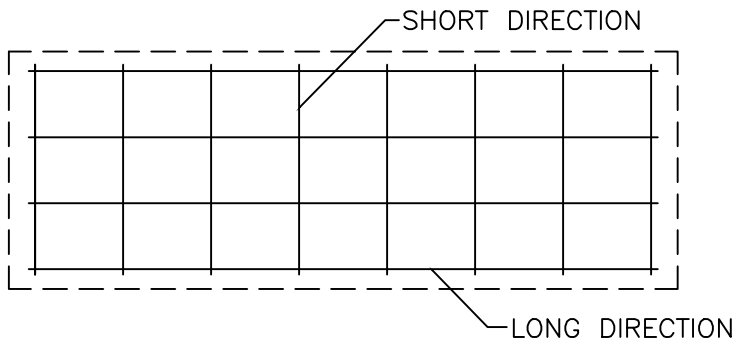


TYPICAL TIE PLACEMENT AT PIERS



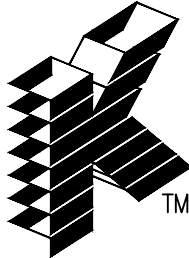
TYPICAL ARRANGEMENTS FOR PIER REINFORCING

ARRANGE VERTICAL BARS AND TIES AS SHOWN UNLESS ANOTHER ARRANGEMENT IS SPECIFICALLY DETAILED WITH THE PIER CROSS SECTION DETAIL.



FOOTING REINFORCEMENT LAYOUT

TYPICAL ANCHOR BOLT STANDARDS						
ANCHOR BOLTS (NO GROUT)						DIAGRAM
SIZE	EMBEDMENT	PROJECTION	THREAD	LENGTH	HOOK	
1/2" DIA.	9"	3"	4"	12"	2"	
5/8" DIA.	9"	3"	4"	12"	2"	
3/4" DIA.	12"	3"	4"	15"	3"	
1" DIA.	24"	3"	4"	27"	3"	
1 1/4" DIA.	21"	3"	4"	24"	4"	
1/2" EXPANSION BOLTS				5"		
3/4" EXPANSION BOLTS				5"		
NOTES: 1. ALL ANCHOR BOLTS MUST BE ASTM F1554 GRADE 36 MINIMUM. 2. PROVIDE NUT AND WASHER AS SHOWN						



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PROPOSED WAREHOUSE ADDITION FOR:

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DESIGNER
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IED PROJECT MANAGER:
C. DUESCHER

EXPEDITOR:
C. HOYER

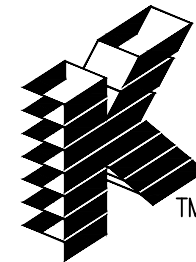
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D. CRAKER

CONTRACT NO:
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IED NO:
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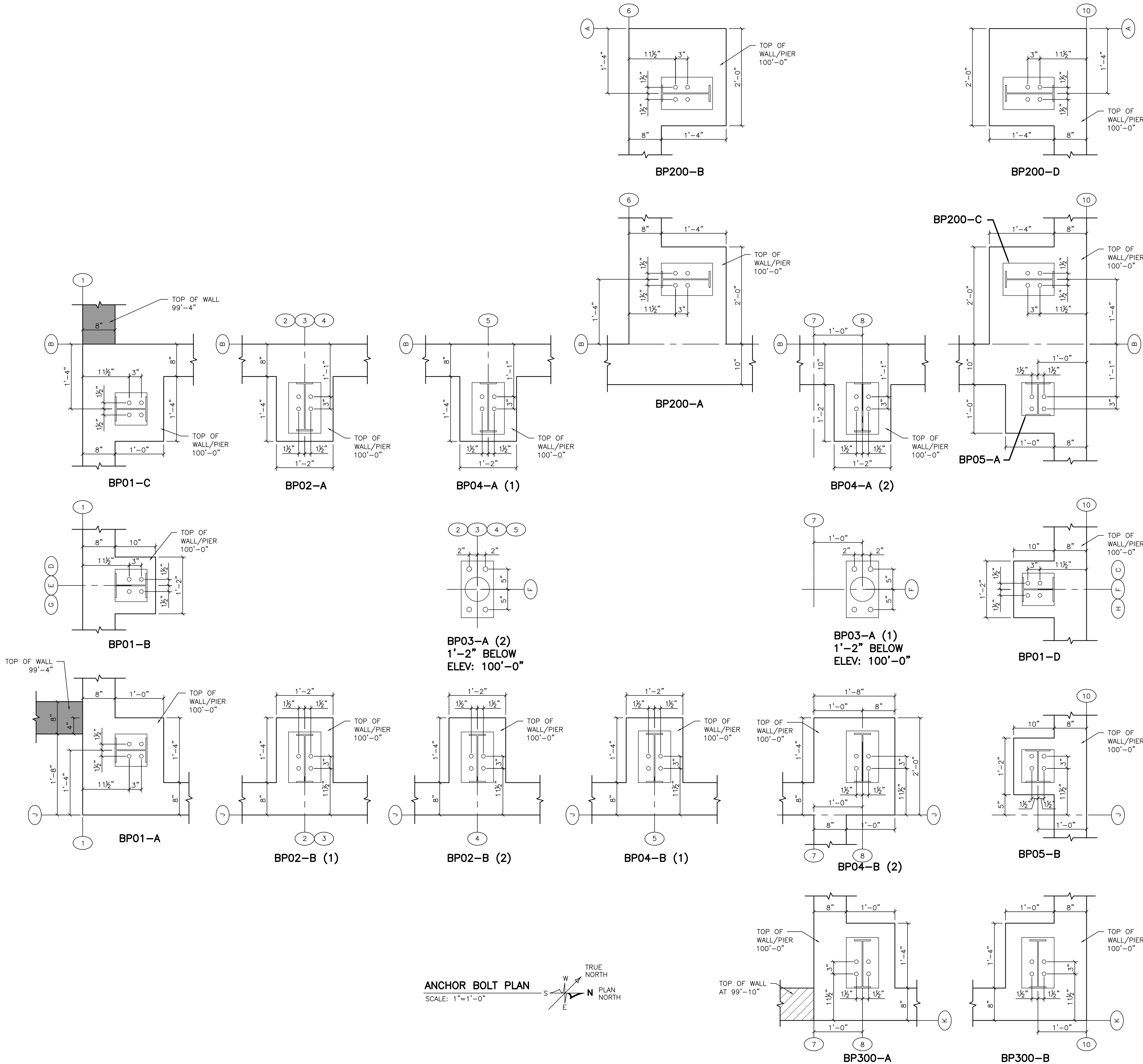
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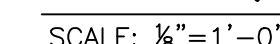
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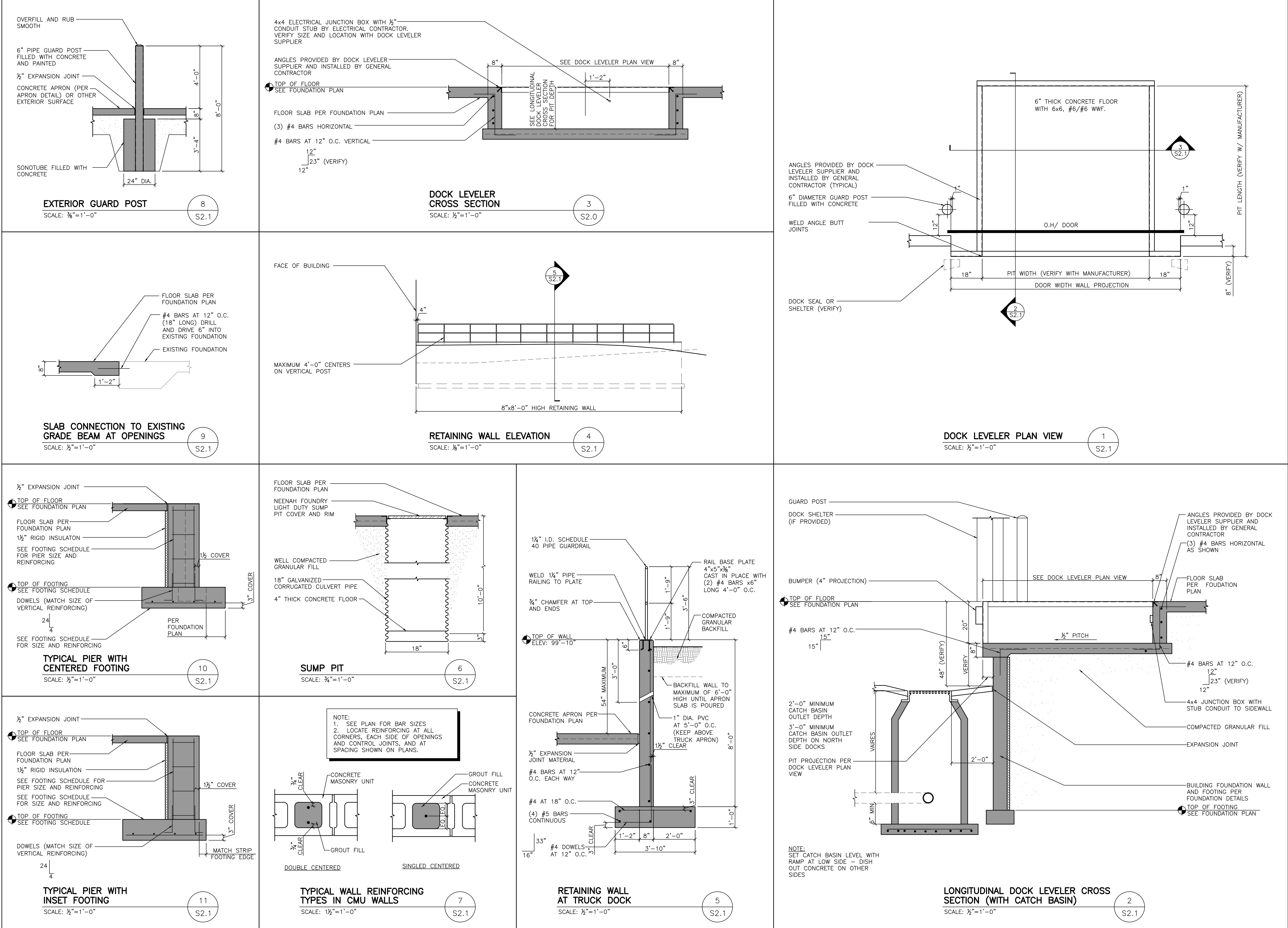
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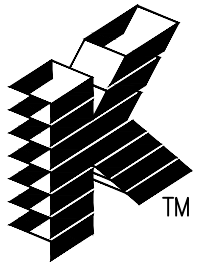
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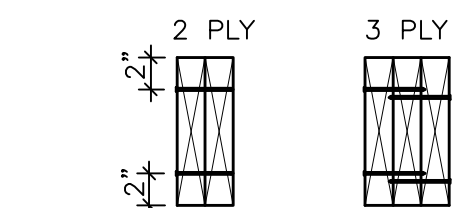
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CONNECTION OF MULTIPLE PIECES
OF TOP LOADED BEAMS



NOTES:
MINIMUM OF 2 ROWS 16d (3/8")
NAILS AT 12" O.C.

MINIMUM OF 3 ROWS 16d (3/8")
NAILS AT 12" O.C. FOR 14", 16"
AND 18" BEAMS

WOOD LINTELS

SCALE: 1" = 1'-0"

FILL LINTELS WITH 3000 PSI CONCRETE
REINFORCING: (2) #5 BARS CONTINUOUS

MASONRY LINTELS

SCALE: 1" = 1'-0"

STRUCTURAL STEEL

STRUCTURAL STEEL FRAMING SHALL BE OF MATERIAL AS LISTED BELOW AND SHALL BE
DETAILED, FABRICATED AND ERECTED TO COMPLY WITH THE A.I.S.C. MANUAL. PROVIDE ALL
HOLES, ANCHOR BOLTS, BEARING PLATES, LINTELS, STIFFENERS, CLIP ANGLES, WELD PLATES,
EMBLEMENTS, STAIRS, ETC. AS REQUIRED FOR STEEL STRUCTURE FABRICATION AS SHOWN ON
THE DRAWINGS. WELDING SHALL BE PERFORMED BY AN AWS CERTIFIED WELDER PER AWS D1.1
AND IRC CHAPTER 22. BOLTS, NUTS AND WASHERS SHALL CONFORM TO REQUIREMENTS OF
ASTM A325 AND BE INSTALLED PER THE A.I.S.C. SPECIFICATION FOR STRUCTURAL JOINTS. WORK
SHALL BE PERFORMED ACCORDING TO A.I.S.C.'S CODE OF STANDARD PRACTICE AND IN
ACCORDANCE WITH APPLICABLE LAWS AND CODES.

STEEL WIDE FLANGE BEAMS: ASTM A992 OR ASTM A572, MIN. 50 KSI YIELD.
STEEL WIDE FLANGE COLUMNS: ASTM A992 OR ASTM A572, MIN. 50 KSI YIELD.
STEEL LINTELS, ANGLES, PLATES, EMBLEMENTS, STAIRS, ETC.: ASTM A36
STEEL PIPE: ASTM A53 TYPE E OR S GRADE B.
STEEL TUBES: ASTM A500 GRADE B
STEEL DECK: ASTM A611, GRADE C
WELDING ELECTRODES: ULTIMATE STRENGTH 70 KSI

STEEL SHALL BE PRE-FINISHED WITH ONE COAT OF PRIMER UNLESS INDICATED OTHERWISE.
FIELD WELDS TO BE CLEANED AND PRIMED.

STEEL FRAMING MUST BE TEMPORARILY BRACED AS REQUIRED UNTIL THE PERMANENT BRACING
SYSTEM HAS BEEN COMPLETED. STEEL ERECTOR SHALL FURNISH AND INSTALL.

CONCRETE RAMP OR LANDING

4x3 3/8" ANGLE ANCHORED
TO RAMP LANDING AND
SLOPED AREAS WITH 1/2"
EXPANSION BOLT AT
4'-0" O.C. WITH 3"
EMBEDMENT

FLOOR SLAB PER
FOUNDATION PLAN

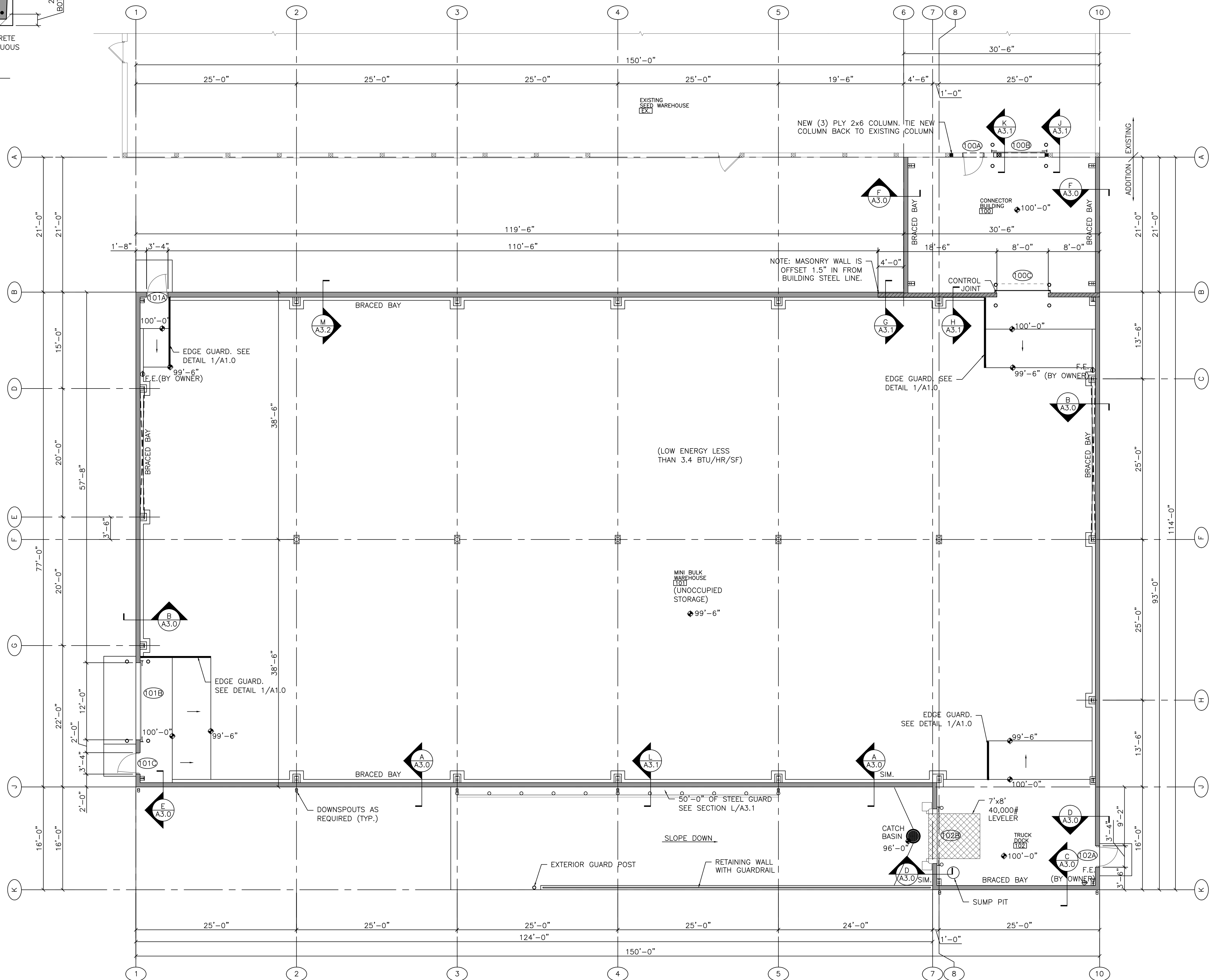
RAMP AND
LANDING EDGE DETAIL

SCALE: 1"=1'-0"

LINTEL SCHEDULE

MARK	LINTEL	BEARING (EACH SIDE)	BEARING HEIGHT	REMARKS
100C	8"x16" MASONRY LINTEL	16"	10'-0"	(2) CORES ON EACH SIDE OF OPENING TO GET A #5 BAR VERTICAL (CONTINUOUS TO TOP OF WALL) AND SOLID GROUT.
100B	(3) PLY 1 1/4"x14" LVL	4.5"	10'-0"	SECURE JAMBS BACK TO EXISTING COLUMNS

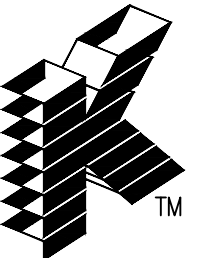
NOTE: 1. PROVIDE A BOND BEAM WITH (2) #5 BARS AT ALL MASONRY OPENINGS NOT LISTED IN THIS SCHEDULE. USE 8" OF BEARING.
2. OTHER OPENINGS NOT LISTED IN THIS SCHEDULE REQUIRE NO SPECIAL STRUCTURAL HEADERS.



FLOOR PLAN WITH DEMO

SCALE: 1/8"=1'-0"

	THIS HATCH PATTERN INDICATES NEW CONSTRUCTION
	THIS LINE TYPE INDICATES EXISTING CONSTRUCTION, TO REMAIN



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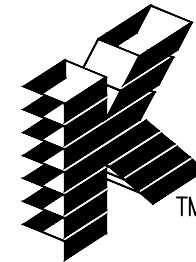
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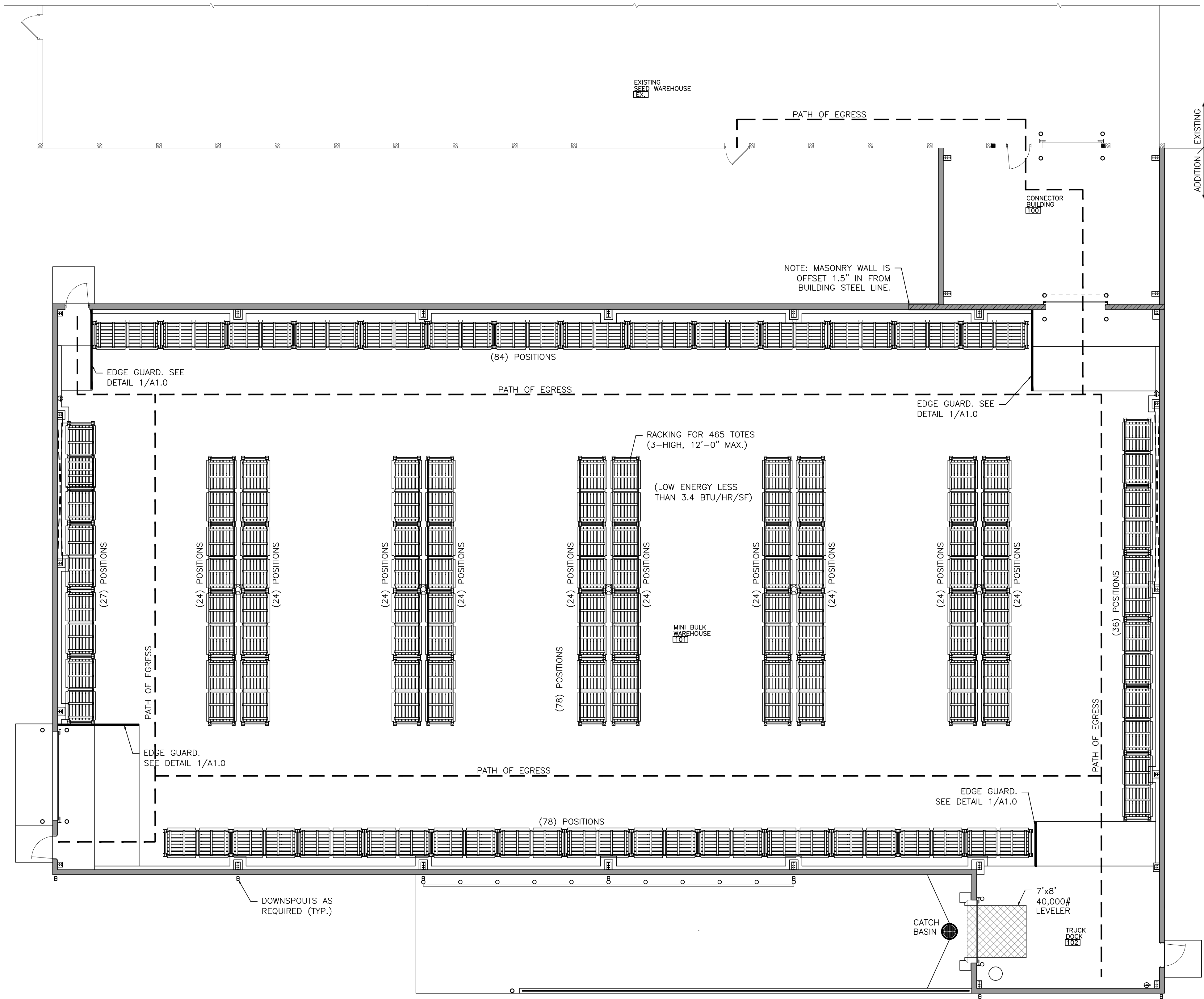
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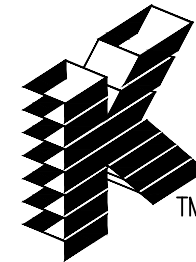
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FURNITURE, FIXTURES,
AND EQUIPMENT PLAN

SCALE: 1/8"=1'-0"





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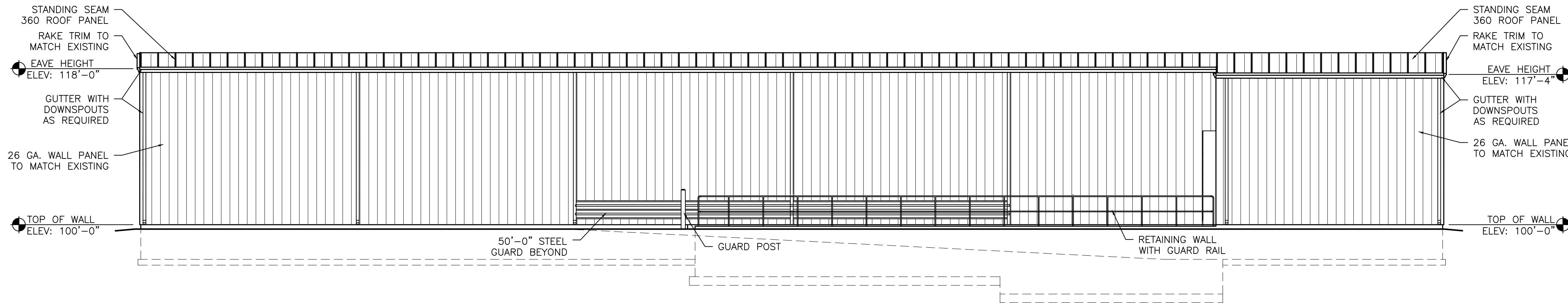
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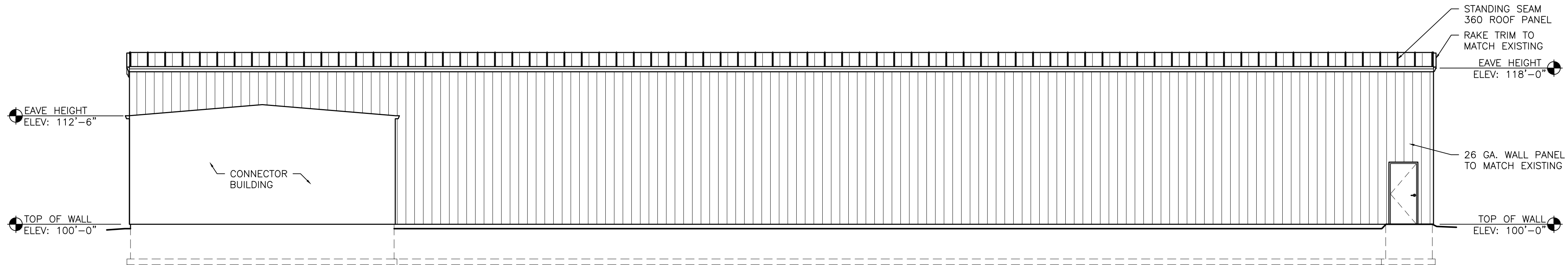
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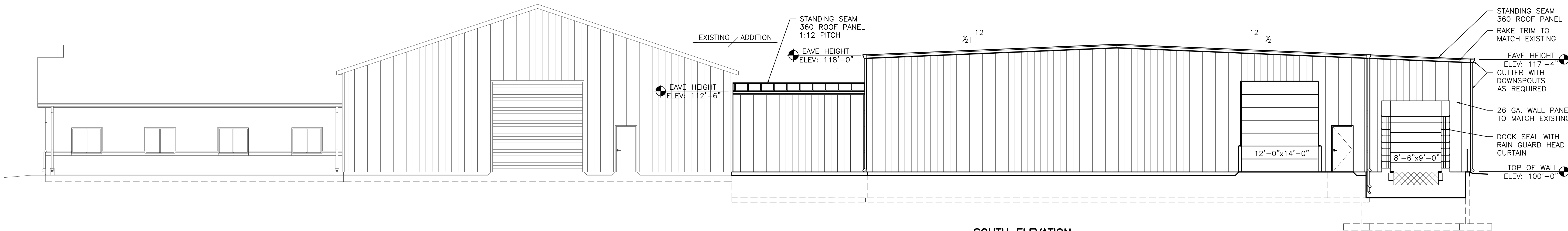
EAST ELEVATION

SCALE: 1/8"=1'-0"



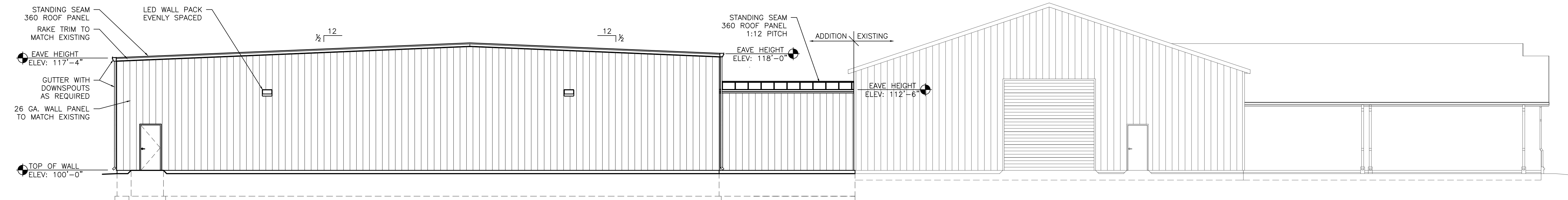
WEST ELEVATION

SCALE: 1/8"=1'-0"



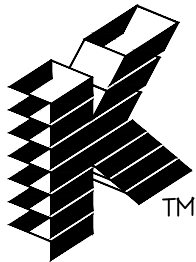
SOUTH ELEVATION

SCALE: 1/8"=1'-0"



NORTH ELEVATION

SCALE: 1/8"=1'-0"



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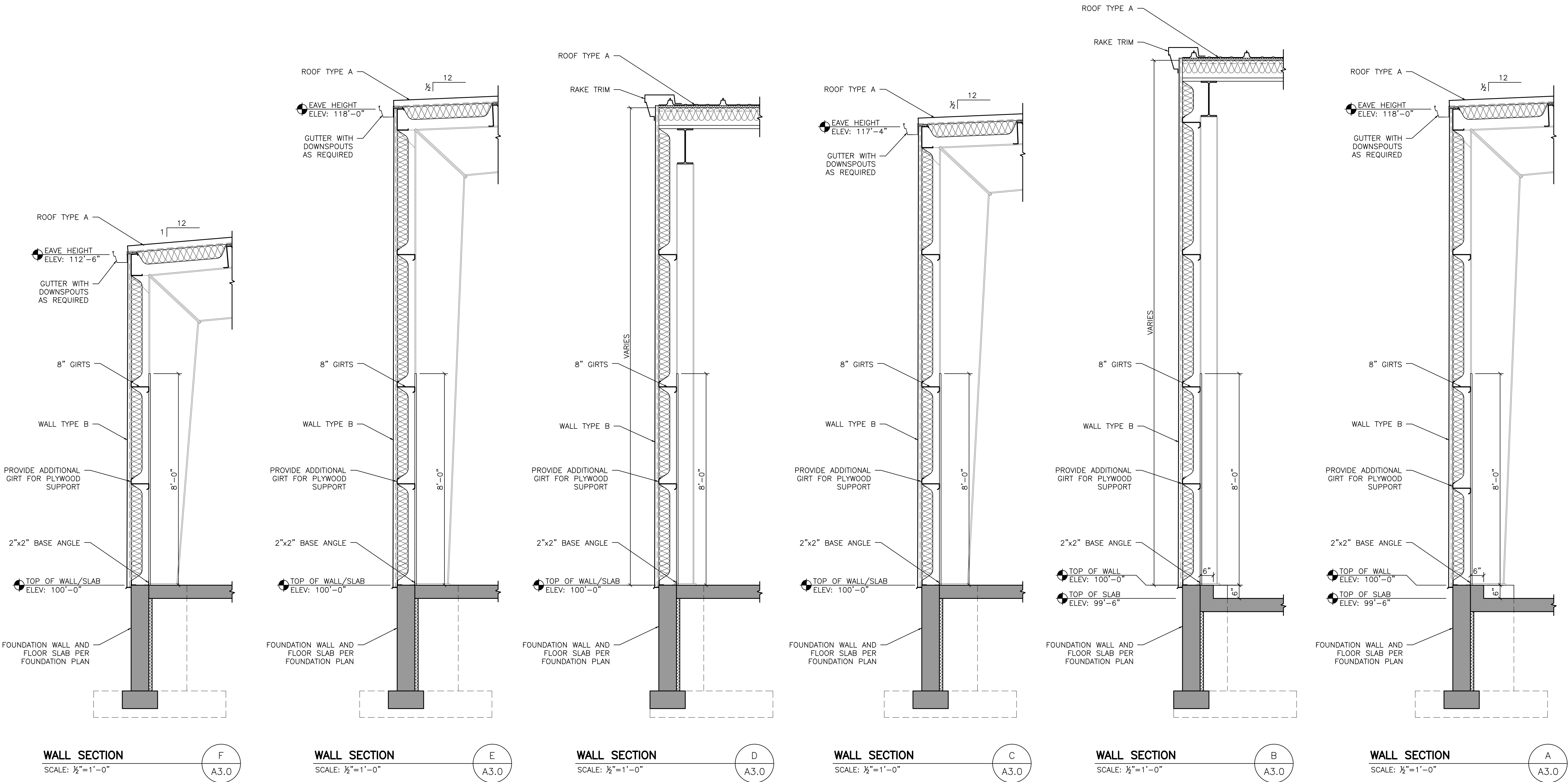
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WALL AND ROOF TYPE SCHEDULE	
LETTER	DESCRIPTION
A	24 GA. STANDING SEAM METAL ROOF PANELS WITH THERMAL BLOCKS 6" PSK INSULATION (R-19) METAL PURLINS
B	26 GA. METAL WALL PANEL 5" PSK INSULATION (R-16) GIRTS ¾" FIRE TREATED PLYWOOD TO ELEV. 108'-0"
C	26 GA. METAL WALL PANEL 1½" FURRING STRIPS WITH 1½" RIGID INSULATION 8" PAINTED CMU WALL (3 HOUR PER UL U904)



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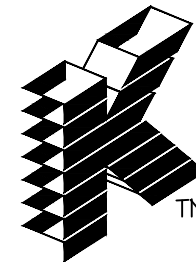
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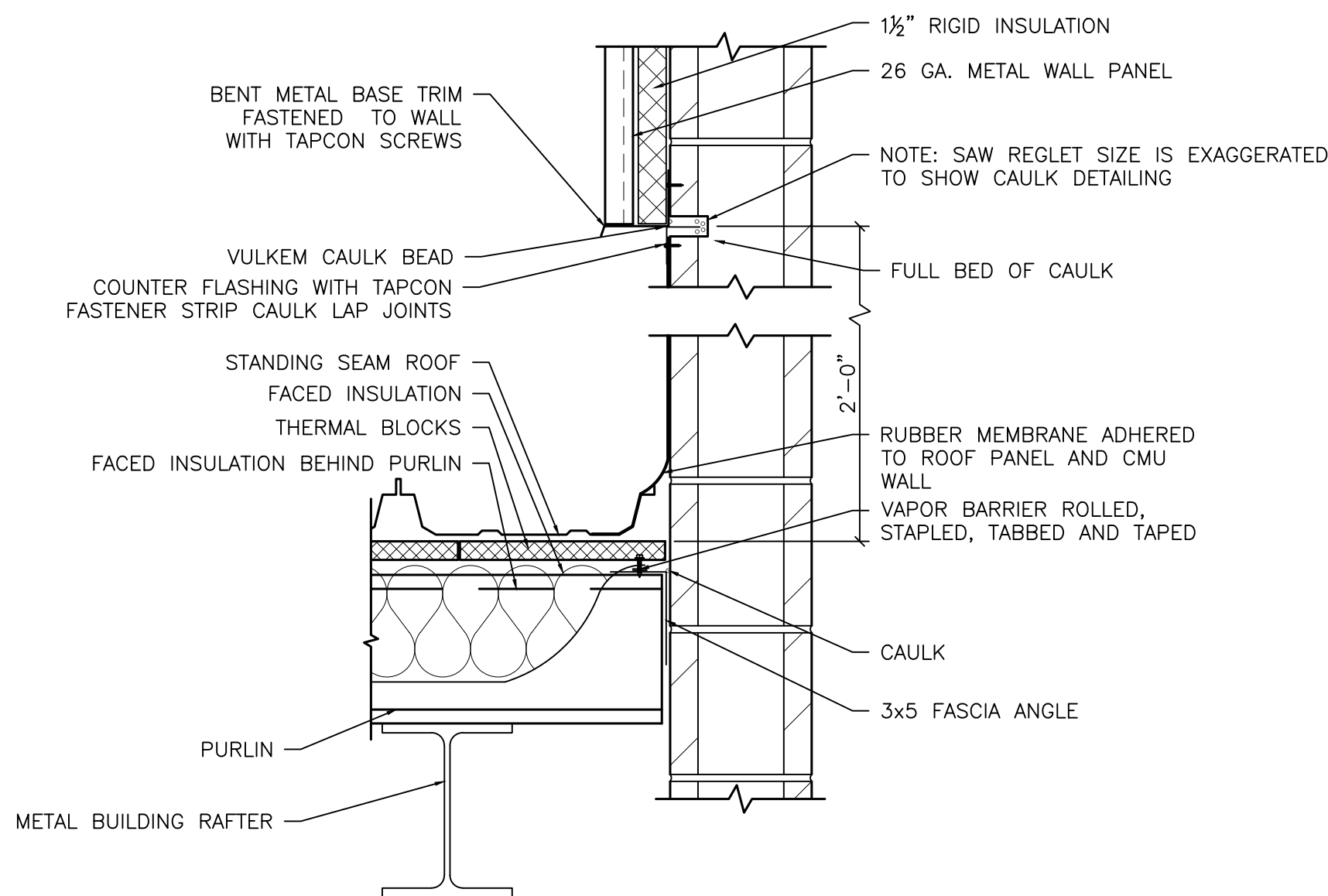
21157

ISSUED DATE:

Nov. 5, 2021

SHEET:

A3.1



ROOF TO WALL FLASHING

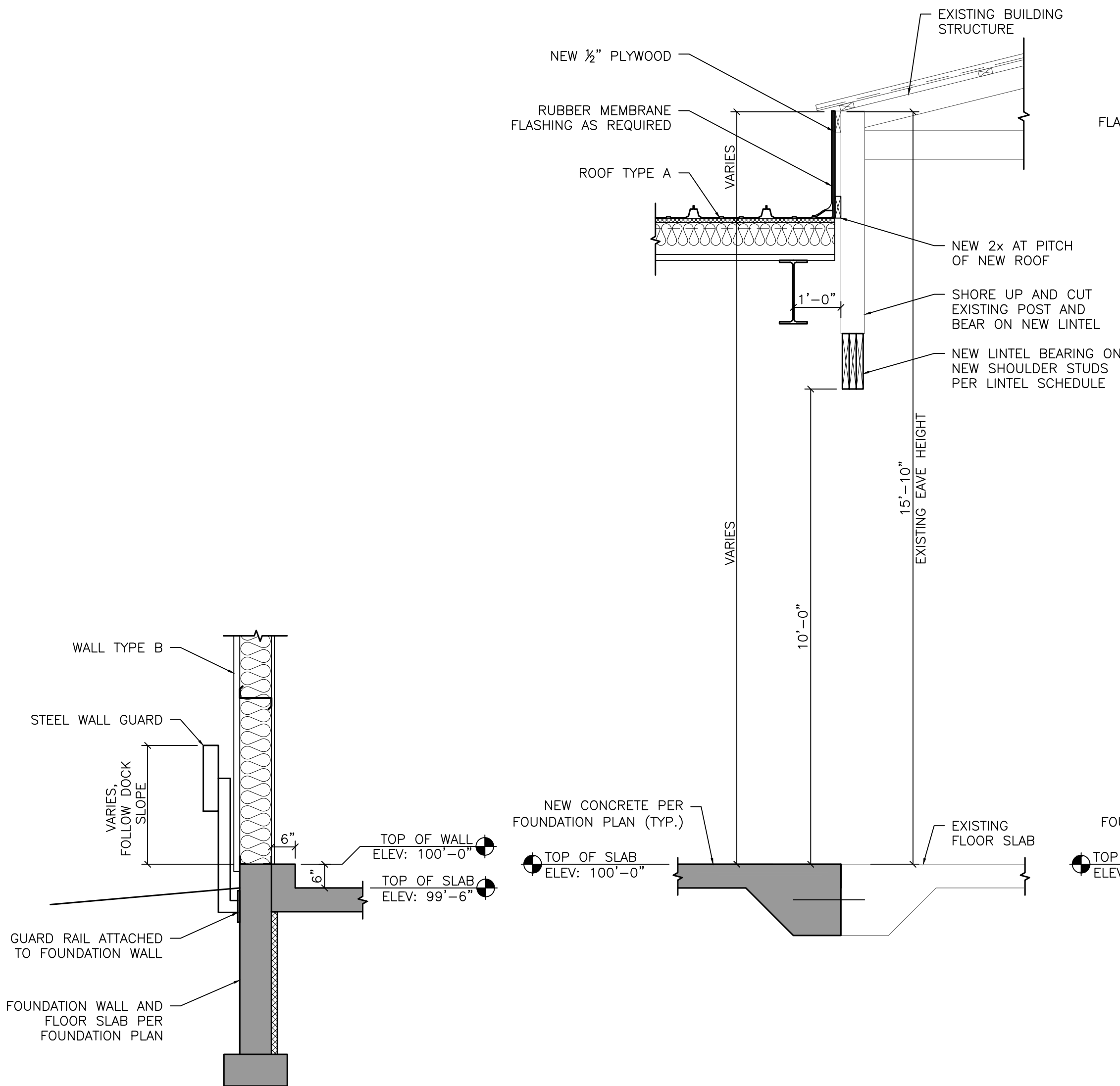
SCALE: 1 1/2"=1'-0"

1

A3.1

WALL AND ROOF TYPE SCHEDULE

LETTER	DESCRIPTION
A	24 GA. STANDING SEAM METAL ROOF PANELS WITH THERMAL BLOCKS 6" PSK INSULATION (R-19) METAL PURLINS
B	26 GA. METAL WALL PANEL 5" PSK INSULATION (R-16) GIRTS 3/4" FIRE TREATED PLYWOOD TO ELEV. 108'-0"
C	26 GA. METAL WALL PANEL 1 1/2" FURRING STRIPS WITH 1 1/2" RIGID INSULATION 8" PAINTED CMU WALL (3 HOUR PER UL U904)

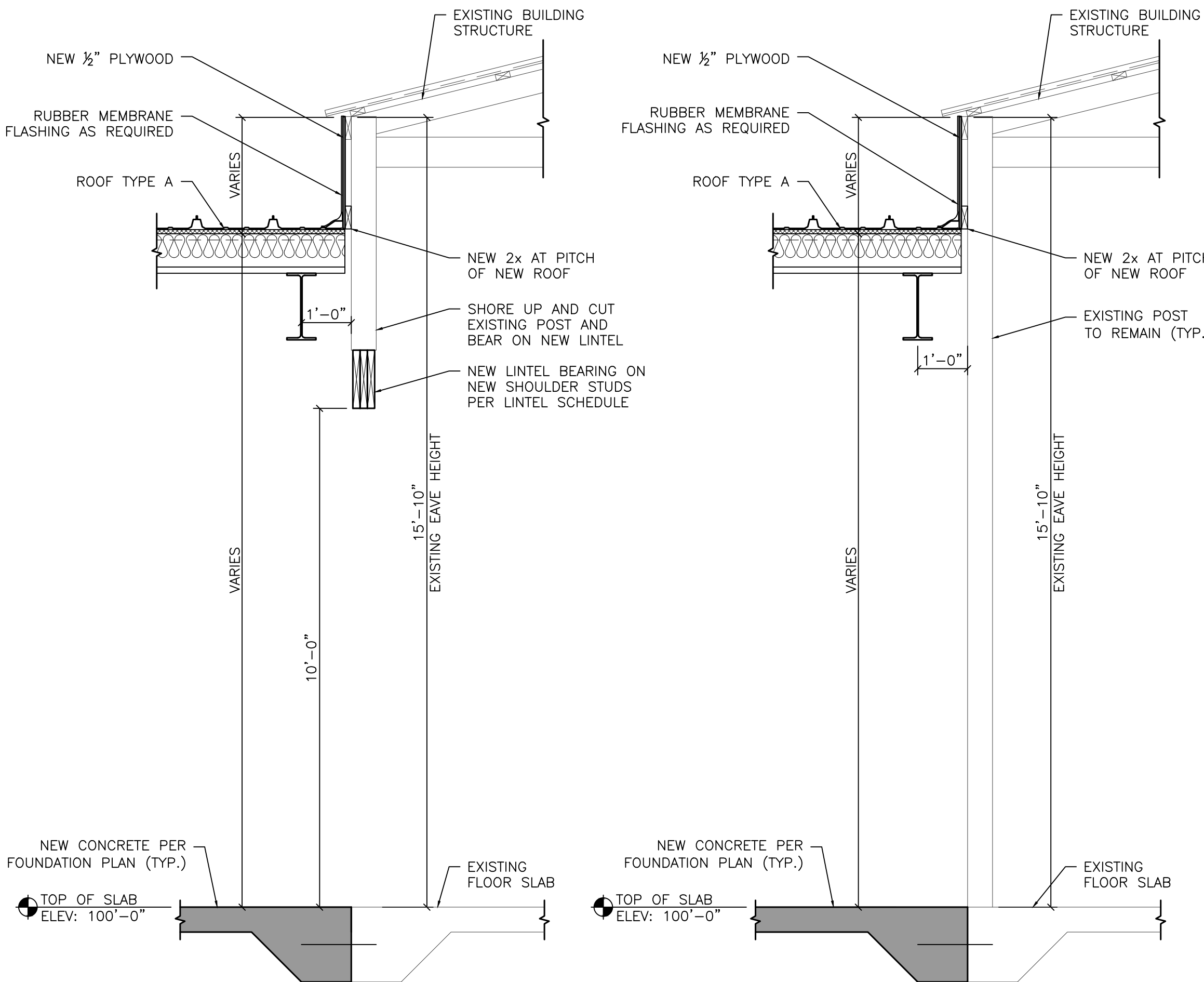


WALL GUARD DETAIL

SCALE: 1/2"=1'-0"

L

A3.1



WALL SECTION

SCALE: 1/2"=1'-0"

K

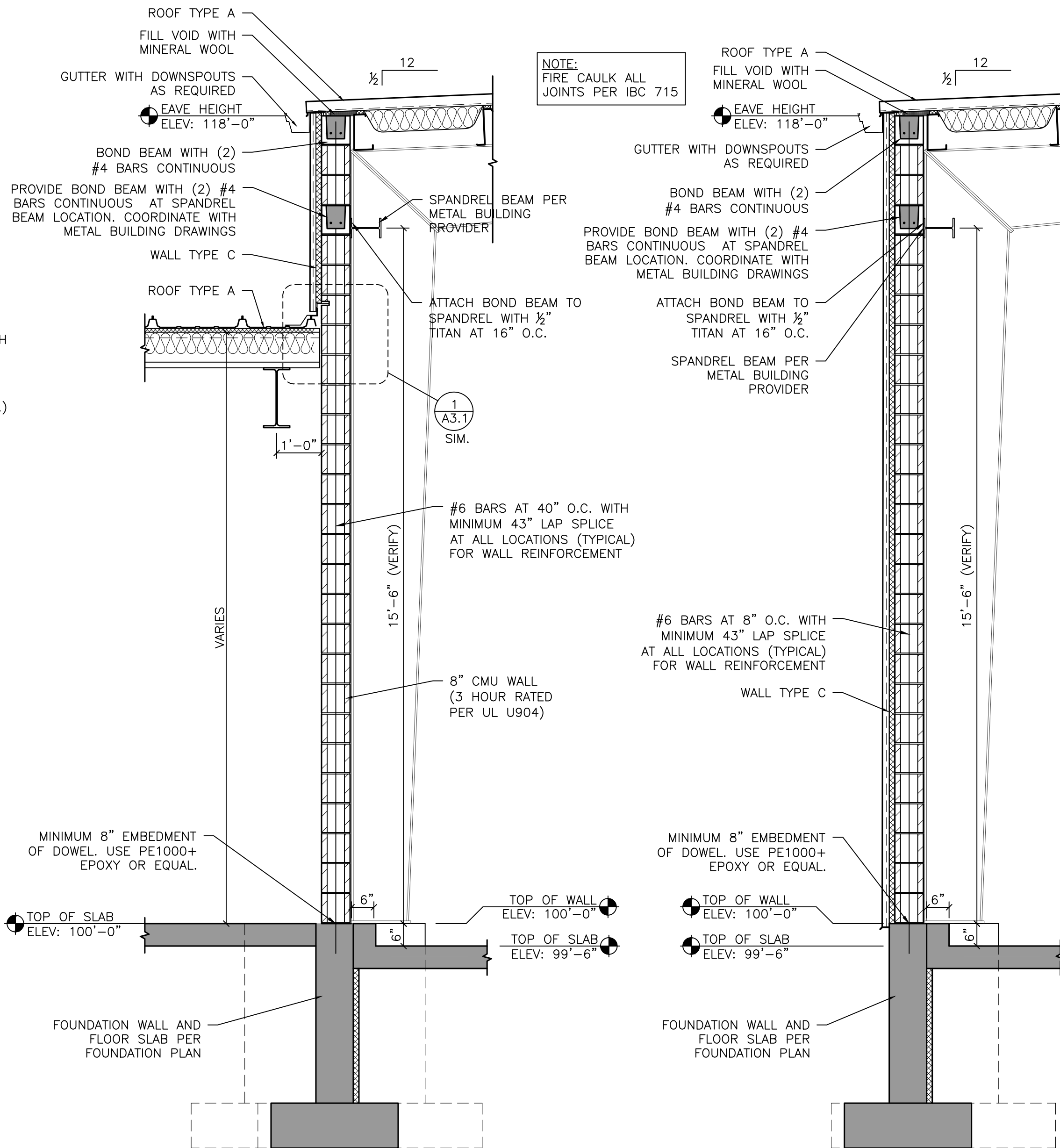
A3.1

WALL SECTION

SCALE: 1/2"=1'-0"

J

A3.1



WALL SECTION

SCALE: 1/2"=1'-0"

H

A3.1

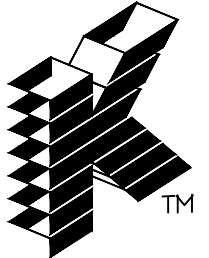
WALL SECTION

SCALE: 1/2"=1'-0"

G

A3.1

WALL AND ROOF TYPE SCHEDULE	
LETTER	DESCRIPTION
A	24 GA. STANDING SEAM METAL ROOF PANELS WITH THERMAL BLOCKS 6" PSK INSULATION (R-19) METAL PURLINS
B	26 GA. METAL WALL PANEL 5" PSK INSULATION (R-16) GIRTS ¾" FIRE TREATED PLYWOOD TO ELEV. 108'-0"
C	26 GA. METAL WALL PANEL 1½" FURRING STRIPS WITH 1½" RIGID INSULATION 8" PAINTED CMU WALL (3 HOUR PER UL U904)



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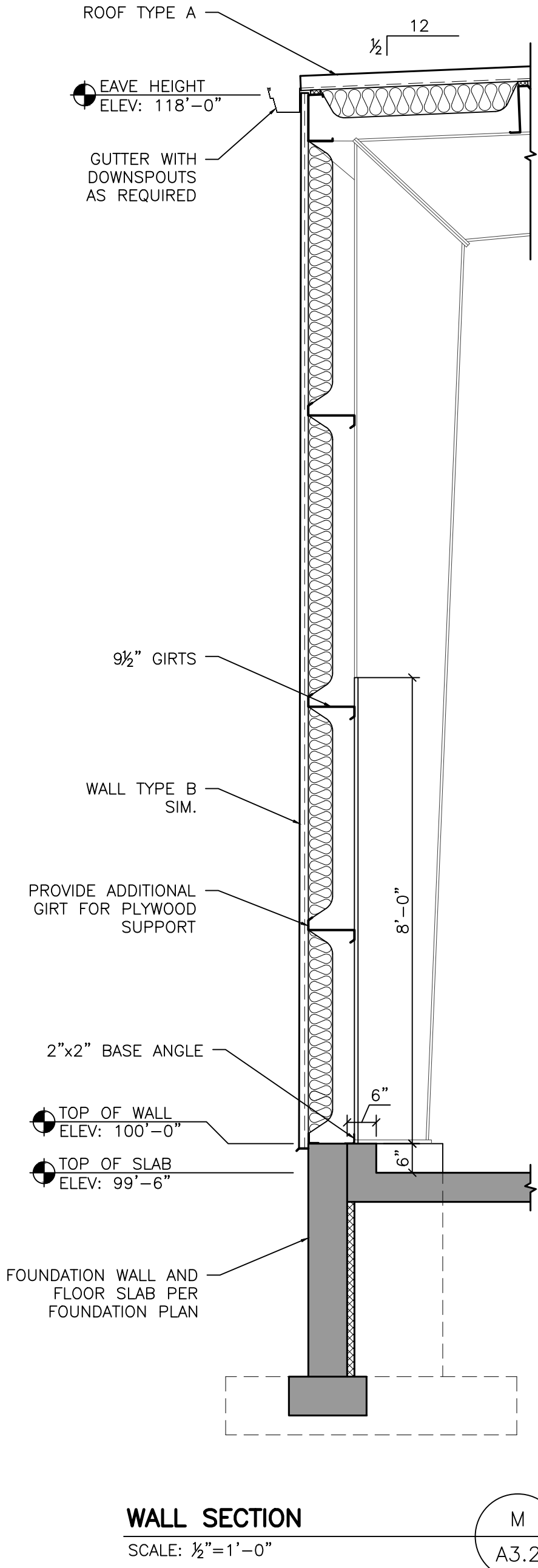
FOX CITIES
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WAUSAU
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Wausau, WI 54401
PHONE (715) 849-3141
FAX (715) 849-3181

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PROPOSED WAREHOUSE ADDITION FOR:

UNITED COOP - REEDSBURG WAREHOUSE

1360 LAUKANT ST.
REEDSBURG

WI, 53959

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REVISIONS

12-13-21 ISSUED FOR CONSTRUCTION

"ISSUED FOR CONSTRUCTION"

PROJECT MANAGER: C. VANDEWETTERING

DESIGNER: R. LINDSTROM

IED PROJECT MANAGER: C. DUESCHER

EXPEDITOR: C. HOYER

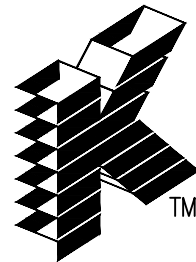
SUPERVISOR: D. CRAKER

CONTRACT NO: 77137

IED NO: 21157

ISSUED DATE: Nov. 5, 2021

SHEET: **A3.2**



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IED NO:

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ISSUED DATE:

Nov. 5, 2021

Sheet:

A4.0

ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING		REMARKS
				NORTH	SOUTH	EAST	WEST	MATERIAL	HEIGHT	
100	CONNECTOR BUILDING	EXPOSED	--	EXPOSED	EXPOSED	PAINTED CMU	EXPOSED	EXPOSED	--	--
101	MINI BULK WAREHOUSE	EXPOSED	--	EXPOSED	EXPOSED	EXPOSED	EXPOSED	EXPOSED	--	--
102	TRUCK DOCK	EXPOSED	--	EXPOSED	EXPOSED	EXPOSED	EXPOSED	EXPOSED	--	--
--	--	--	--	--	--	--	--	--	--	--

FLOOR FINISH TYPES:

EXPOSED -- EXPOSED CONCRETE WILL HAVE A COMBINATION SEALER/CURING COMPOUND EQ. TO ASTM C 309

WALL FINISH TYPES:

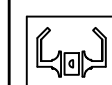
EXPOSED -- EXPOSED BUILDING STRUCTURE
PAINTED C.M.U. -- STD. CMU WALL WITH (1) COAT BLOCK FILLER AND (2) COATS FINISH PAINT (INTERIOR EGGSHELL ACRYLIC ENAMEL)

CEILING FINISH TYPES:

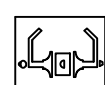
EXPOSED -- EXPOSED BUILDING STRUCTURE/INSULATION

DOOR SCHEDULE

NO.	DOORS					DOOR CLOSURE			FRAMES		REMARKS
	SIZE (WxH)	TYPE	MATERIAL	LITE	HARDWARE	FUNCTION	RATING	YES/NO	TYPE	FINISH	
100A	3'-0"x7'-0"	B	H.M.	NARROW	PASSAGE			YES	HYDRAULIC	--	NEW SERVICE DOOR IN EXISTING WALL
100B	8'-0"x10'-0"	C	--	--	--	--	--	--	--	--	NEW O.H.D. IN EXISTING WALL
100C	8'-0"x10'-0"	F	--	--	FIRE SHUTTER		3-HR	--	--	3/A4.0	3-HOUR RATED ROLLING FIRE SHUTTER
101A	3'-0"x7'-0"	A	H.M.	--	ENTRANCE			YES	HYDRAULIC	1	1/A4.0 H.M. WITH LATCH GUARD
101B	12'-0"x14'-0"	E	--	--	--	--	--	--	--	2/A4.0	--
101C	3'-0"x7'-0"	A	H.M.	--	ENTRANCE			YES	HYDRAULIC	1	1/A4.0 H.M. WITH LATCH GUARD
102A	3'-0"x7'-0"	A	H.M.	VERIFY	ENTRANCE			YES	HYDRAULIC	1	1/A4.0 H.M. WITH LATCH GUARD
102B	8'-6"x9'-0"	D	--	VERIFY	--	--	--	--	--	--	DOCK DOOR



PASSAGE
Both levers always unlocked.

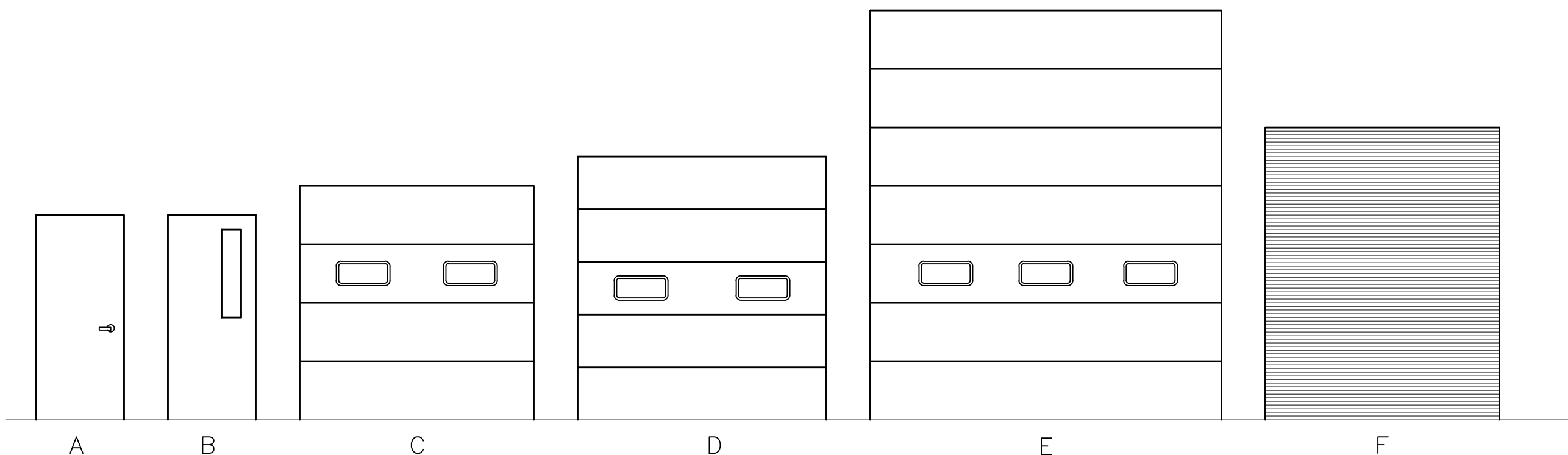


ENTRANCE
Turn/push-button locking: pushing and turning button locks outside lever requiring use of key until button is manually unlocked



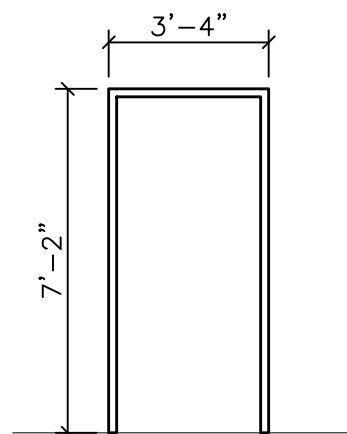
EXIT
Blank plate outside. Inside lever always unlocked.

- NOTES:
- ALL EXTERIOR DOORS TO BE INSULATED AND HAVE WEATHER--STRIPPING AND A THRESHOLD.
 - THE GLAZING CONTRACTOR IS REQUIRED TO PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE.
 - COLOR OF DOOR, FRAME AND HARDWARE TO BE DETERMINED BY OWNER.
 - DOOR PROVIDER MUST MEET ALL APPLICABLE CODES.
 - DOCK DOORS INTO CONDITIONED SPACES ARE REQUIRED TO HAVE WEATHERSEALS PER IECC 502.4.6.
 - FIRE RATED ROLLING SHUTTER DOORS REQUIRE A SMOKE ACTIVATED CLOSER PER IBC 715.4.8.3 AND APPLICABLE CODES.



DOOR DIAGRAMS

NOT TO SCALE



FRAME DIAGRAMS

NOT TO SCALE

- NOTE:
- ALL OVERALL DIMENSIONS INDICATE FRAME SIZE.
 - ALL METAL FRAMES AND MULLIONS ARE DRAWN AS 2" UNLESS DIMENSIONED OTHERWISE.

DOORS, WINDOWS AND FRAMES

FURNISH AND INSTALL ALL DOORS AND WINDOW ASSEMBLIES AS INDICATED ON THE PLANS. INCLUDE ALL HARDWARE INDICATED AND THAT MAY BE REQUIRED FOR A COMPLETE JOB. DOORS AND WINDOWS SHALL OPERATE SMOOTHLY WITHOUT BINDING AND BE INSTALLED PLUM AND TRUE. HARDWARE SHALL FIT PROPERLY AND BE ADJUSTED AS REQUIRED. PROVIDE INSECT SCREENS ON ALL OPERABLE WINDOW UNITS.

HARDWARE

UNLESS SPECIFIED IN THE HARDWARE SCHEDULE:

- ALL LOCK SETS SHALL BE LEVER TYPE AS REQUIRED TO MEET REQUIREMENTS OF THE A.D.A.
- ALL OTHER HARDWARE SHALL CONFORM TO THE REQUIREMENTS OF THE A.D.A.
- ALL EXIT DOORS SHALL BE EQUIPPED WITH LEVER TYPE EXIT HARDWARE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A LATCH, KEY, OR BOLT.

PLUMBING

PLUMBING SHALL BE COMPLETED AS A DESIGN/BUILD PACKAGE. THE PLUMBING SUBCONTRACTOR IS RESPONSIBLE TO PROVIDE EXCELLENT DESIGN, BUILDING MATERIALS, AND CRAFTSMANSHIP. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES. SEPARATE PLANS SHALL BE SUBMITTED TO THE STATE FOR APPROVAL. THE PLUMBING WORK IS NOT A PART OF THIS PLAN. SEE PLUMBING PLAN FOR SPECIFICATIONS. ALL PENETRATIONS THRU RATED CONSTRUCTION SHALL BE A U.L. APPROVED METHOD. PLUMBING FIXTURES TO MEET ALL APPLICABLE REQUIREMENTS.

HEATING, VENTILATION, AND AIR CONDITIONING (HVAC)

HVAC SHALL BE COMPLETED AS A DESIGN/BUILD PACKAGE. THE HVAC SUBCONTRACTOR IS RESPONSIBLE TO PROVIDE EXCELLENT DESIGN, BUILDING MATERIALS, AND CRAFTSMANSHIP. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES. SEPARATE PLANS SHALL BE SUBMITTED TO THE STATE FOR APPROVAL. THE HEATING AND VENTILATION WORK IS NOT A PART OF THIS PLAN. SEE HVAC PLAN FOR SPECIFICATIONS. ALL PENETRATIONS THRU RATED CONSTRUCTION SHALL BE A U.L. APPROVED METHOD.

ELECTRICAL

ELECTRICAL SHALL BE COMPLETED AS A DESIGN/BUILD PACKAGE. THE ELECTRICAL SUBCONTRACTOR IS RESPONSIBLE TO PROVIDE EXCELLENT DESIGN, BUILDING MATERIALS, AND CRAFTSMANSHIP. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES.

THE ELECTRICAL WORK IS NOT DEFINED ON THIS PLAN. SEE THE ELECTRICAL PLAN AND SPECIFICATIONS FOR DETAILS. SEPARATE PLANS AND CALCULATIONS SHALL BE SUBMITTED TO THE STATE FOR APPROVAL. THESE INCLUDE A GENERAL LIGHTING AND EMERGENCY LIGHTING PLAN AND CALCULATIONS TO SHOW COMPLIANCE WITH THE INTERNATIONAL ENERGY COMPLIANCE CODE (IECC).

PROVIDE MEANS OF EGRESS ILLUMINATION PER IBC 1006. THE ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT CANDLE AT THE WALKING SURFACE LEVEL.

ALL PENETRATIONS THRU RATED CONSTRUCTION SHALL BE A U.L. APPROVED SPECIFICATIONS.

FINISHES

PROVIDE AND INSTALL ALL FINISHES AS INDICATED ON PLANS. INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. FINISH INSTALLER INSPECT SUBSURFACE AND PREPARE AS REQUIRED PRIOR TO INSTALLATION OF THE PRODUCT.

INTERIOR FINISHES TO MEET THE REQUIREMENTS OF IBC CHAPTER 8.

PAINTING

PAINT ALL AREAS REQUIRED FOR A COMPLETE JOB.

APPLY PAINT AS RECOMMENDED BY STANDARD PRACTICE AND MANUFACTURER'S RECOMMENDATIONS.

REMOVE OR PROTECT HARDWARE, PLATES, LIGHT FIXTURES, SPRINKLER HEADS, ETC. THAT ARE NOT INTENDED TO BE PAINTED. PROVIDE MASKING AS REQUIRED.

DISPOSAL OF EXCESS PAINT MATERIALS IS THE RESPONSIBILITY OF THE PAINTING CONTRACTOR. DISPOSAL MUST BE IN ACCORDANCE WITH APPLICABLE LAWS AND CODES.

SEALANTS

PROVIDE CAULKING AND BACKER ROD AS RECOMMENDED BY THE MANUFACTURER TO SEAL EXTERIOR AND INTERIOR JOINTS, AT EXPANSION JOINTS, FRAMES OF DOORS, WINDOWS, AND OTHER EXTERIOR OPENINGS. ALSO CAULK AROUND PLUMBING FIXTURES, COUNTERTOPS, ROOF OPENINGS, ETC. AND AS REQUIRED FOR A COMPLETE JOB. CAULK TO BE INSTALLED AFTER FINISH IS APPLIED TO SURFACES. PENETRATIONS THROUGH FIRE RATED ASSEMBLIES MUST MEET U.L. REQUIREMENTS.

SIGNAGE

SIGNAGE SHALL MEET THE REQUIREMENTS OF THE A.D.A.

WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE-LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL.

MOUNTING HEIGHT SHALL BE 60" ABOVE FINISH FLOOR TO THE CENTERLINE OF THE SIGN UNLESS INDICATED OTHERWISE.

PROVIDE HANDICAP PARKING SIGNS AS INDICATED ON THE PLANS AND AS REQUIRED BY APPLICABLE LAWS.

INTERIOR WALL FINISHES PER
ROOM FINISH SCHEDULE

SHUTTER DOOR, SEE DOOR
AND FRAME SCHEDULE

SEE LINTEL SCHEDULE FOR
LINTEL SIZE AND TYPE

HEAD

JAMB

SHIM, FLASH, AND
CAULK AS REQUIRED

ROLLING SHUTTER DOOR

SCALE: 1½"=1'-0"

3

A4.0

INTERIOR WALL FINISHES PER
ROOM FINISH SCHEDULE

EXTERIOR SIDE

INTERIOR SIDE

FRAME PER METAL
BUILDING MANUFACTURER

FLASHING

SEAL

OVERHEAD DOOR, SEE DOOR
AND FRAME SCHEDULE

HEAD

SEAL

OVERHEAD DOOR, SEE DOOR
AND FRAME SCHEDULE

JAMB

SHIM, FLASH, AND
CAULK AS REQUIRED

OVERHEAD DOOR

SCALE: 1½"=1'-0"

2

A4.0

INTERIOR WALL FINISHES PER
ROOM FINISH SCHEDULE

EXTERIOR SIDE

INTERIOR SIDE

FRAME PER METAL
BUILDING MANUFACTURER

FLASHING

HOLLOW METAL FRAME

DOOR PER DOOR AND
FRAME SCHEDULE

HEAD

HOLLOW METAL FRAME

DOOR PER DOOR AND
FRAME SCHEDULE

JAMB

SHIM, FLASH, AND
CAULK AS REQUIRED

HOLLOW METAL DOOR FRAME

SCALE: 1½"=1'-0"

1

A4.0